



# Barrett Homes

Welcome to the *whānau*.

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ARTIST IMPRESSION ONLY

NEW DWELLING FOR:  
BARRETT HOMES (CENTRAL PLATEAU) LTD

ADDRESS:  
LOT 559, 91 MARU TERRACE  
NGA ROTO ESTATE, STAGE 14, TAUPO

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**DRAFT**



Barrett Homes

Project No:	NGA559	Designed:	DP	Wind:	HIGH	Drawing:	COVER SHEET	Date:	5/04/2024
Plan:	The Sea La Vie	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	4.2	Checked:	KB	Exposure:	B	Site Address:	LOT 559, 91 MARU TERRACE	Sheet:	
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	



**Roofing**  
 - Longrun roofing- trapezoidal profile



**Brick cladding**



**Weatherboard**  
 - BGC Nuline Plus 175 Smooth weatherboard



**Joinery**

**CONCEPT PLAN APPROVAL** (confirmation to consent drawings)  
Signature \_\_\_\_\_ Date \_\_\_\_\_

**CONCEPT ONLY**  
 MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

*\*The above materiality is for look & feel purposes only*

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**DRAFT**



Barrett Homes

Project No:	NGA559	Designed:	DP	Wind:	HIGH	Drawing:	MATERIALITY	Date:	5/04/2024
Plan:	The Sea La Vie	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	4.2	Checked:	KB	Exposure:	B	Site Address:	LOT 559, 91 MARU TERRACE	Sheet:	
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	

**General Notes:**  
 Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access  
 Minimum slip resistance to steps and landings  
 Concrete or H5 timber step to all access points, min. 150mm below finished floor level

CJ = Control joint

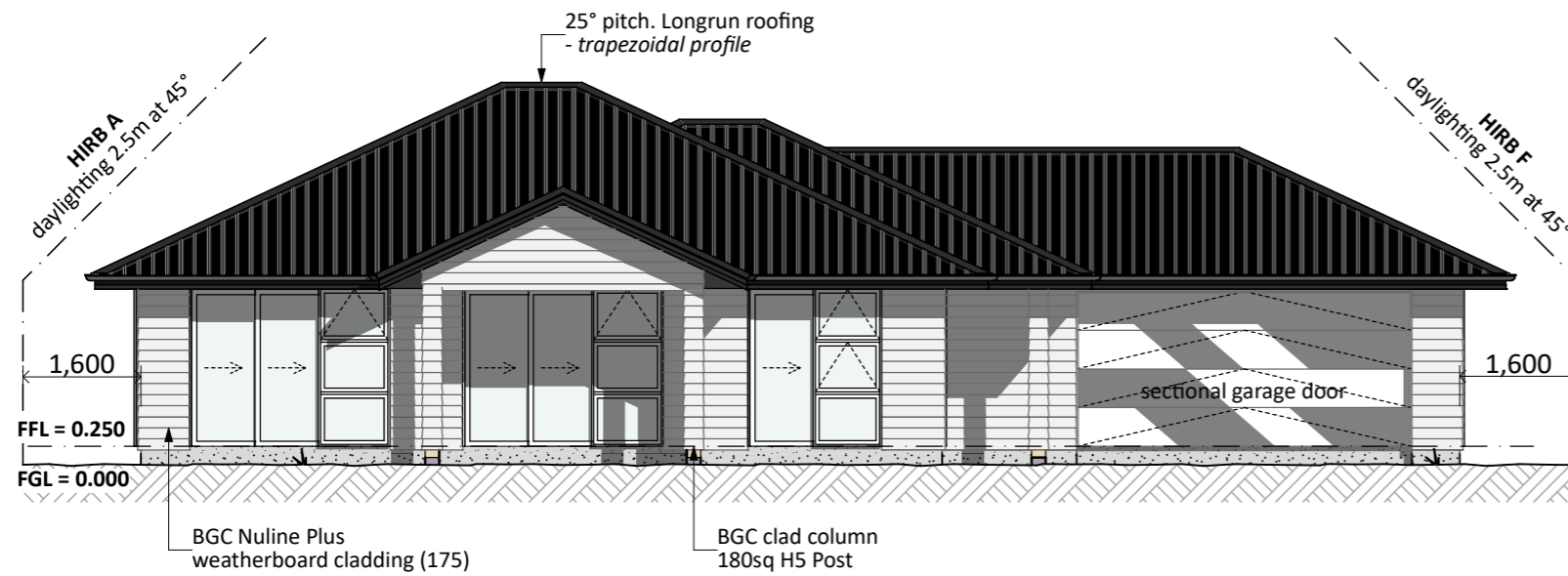
**Foundation:**  
 Ribraft floor to Firth specifications (see plan notes and details)

**Wall Cladding:**  
 70 series brick veneer - ensure cavity and weep holes are free from excess mortar  
 BGC Nuline Plus 175 Smooth weatherboard cladding  
 \*All claddings to be installed over FPS Weathertight System. FPS Weathertight System to be installed over timber framing strictly as per manufacturers specification.

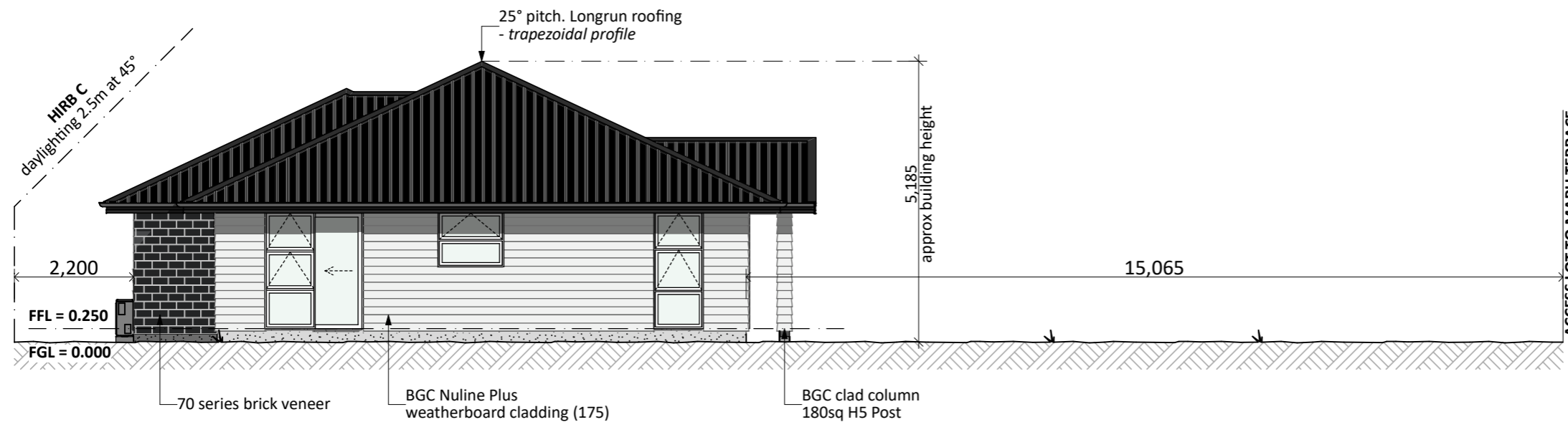
**Roof Cladding:**  
 25° pitch. Longrun roofing - Trapezoidal profile

**Fascia and Spouting:**  
 COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

**Joinery:**  
 Selected powder coated aluminium joinery with thermally improved double glazing



**NORTH ELEVATION**



**EAST ELEVATION**

**PRELIMINARY ONLY.**  
 Elevations are subject to the following:  
 - Site Levels

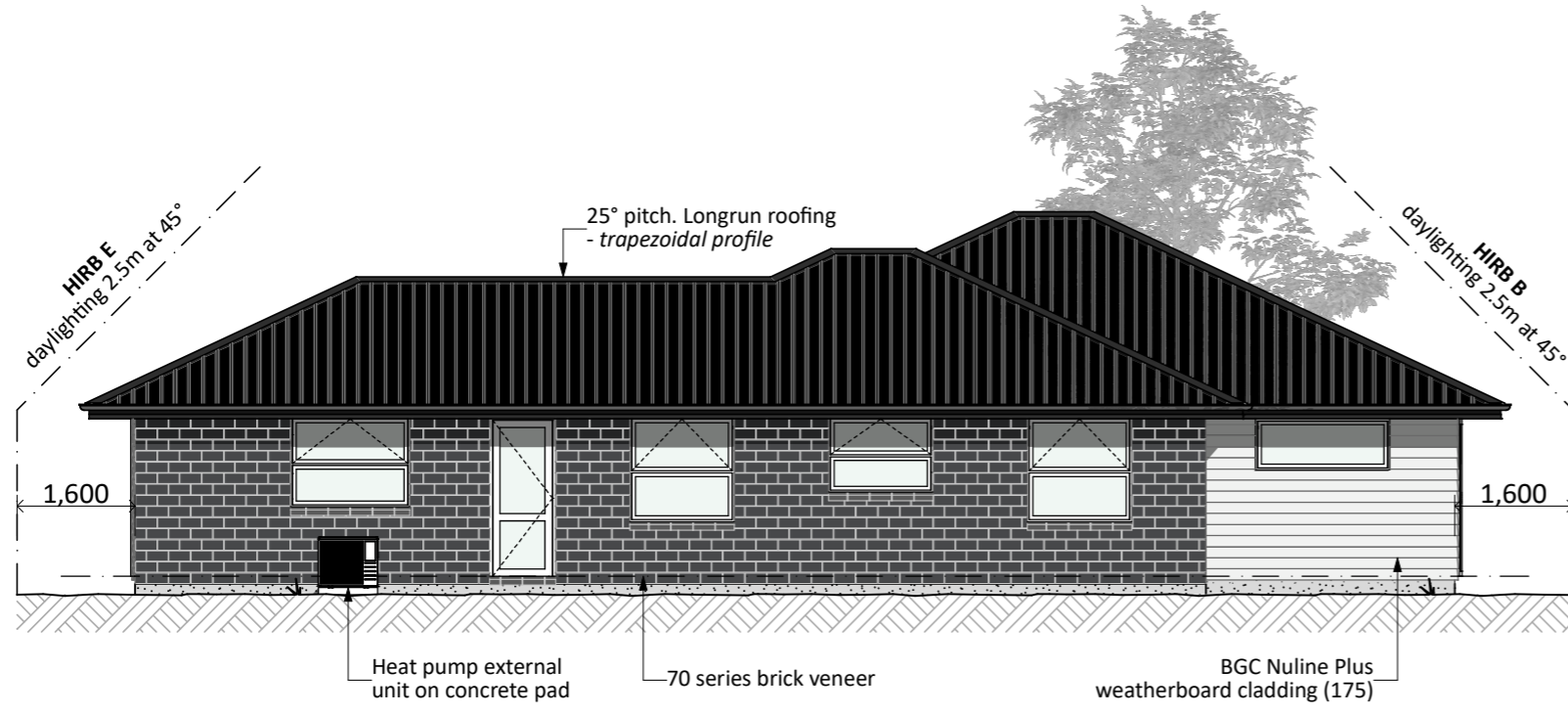
**CONCEPT PLAN APPROVAL** (confirmation to consent drawings)  
 Signature \_\_\_\_\_ Date \_\_\_\_\_

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 MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

**DRAFT**



Project No:	NGA559	Designed:	DP	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	5/04/2024
Plan:	The Sea La Vie	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	4.2	Checked:	KB	Exposure:	B	Site Address:	LOT 559, 91 MARU TERRACE	Sheet:	1
		Council:	TDC				NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	1:100



**SOUTH ELEVATION**

**General Notes:**  
 Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access  
 Minimum slip resistance to steps and landings  
 Concrete or H5 timber step to all access points, min. 150mm below finished floor level

CJ = Control joint

**Foundation:**  
 Ribraft floor to Firth specifications (see plan notes and details)

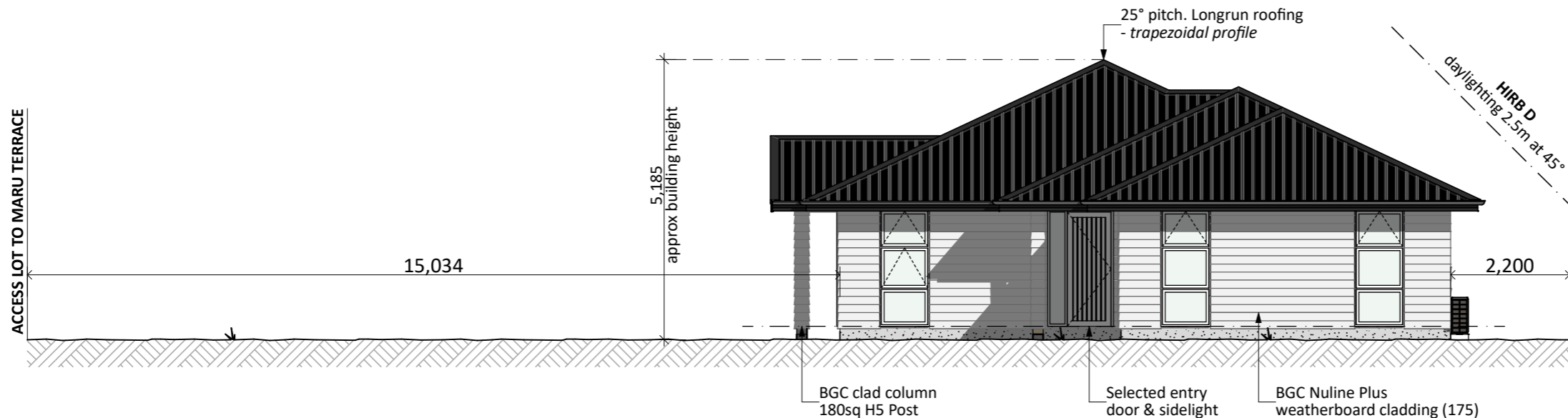
**Wall Cladding:**  
 70 series brick veneer - ensure cavity and weep holes are free from excess mortar  
 BGC Nuline Plus 175 Smooth weatherboard cladding

**\*All claddings to be installed over FPS Weathertight System. FPS Weathertight System to be installed over timber framing strictly as per manufacturers specification.**

**Roof Cladding:**  
 25° pitch. Longrun roofing - Trapezoidal profile

**Fascia and Spouting:**  
 COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

**Joinery:**  
 Selected powder coated aluminium joinery with thermally improved double glazing



**WEST ELEVATION**

**PRELIMINARY ONLY.**  
 Elevations are subject to the following:  
 - Site Levels

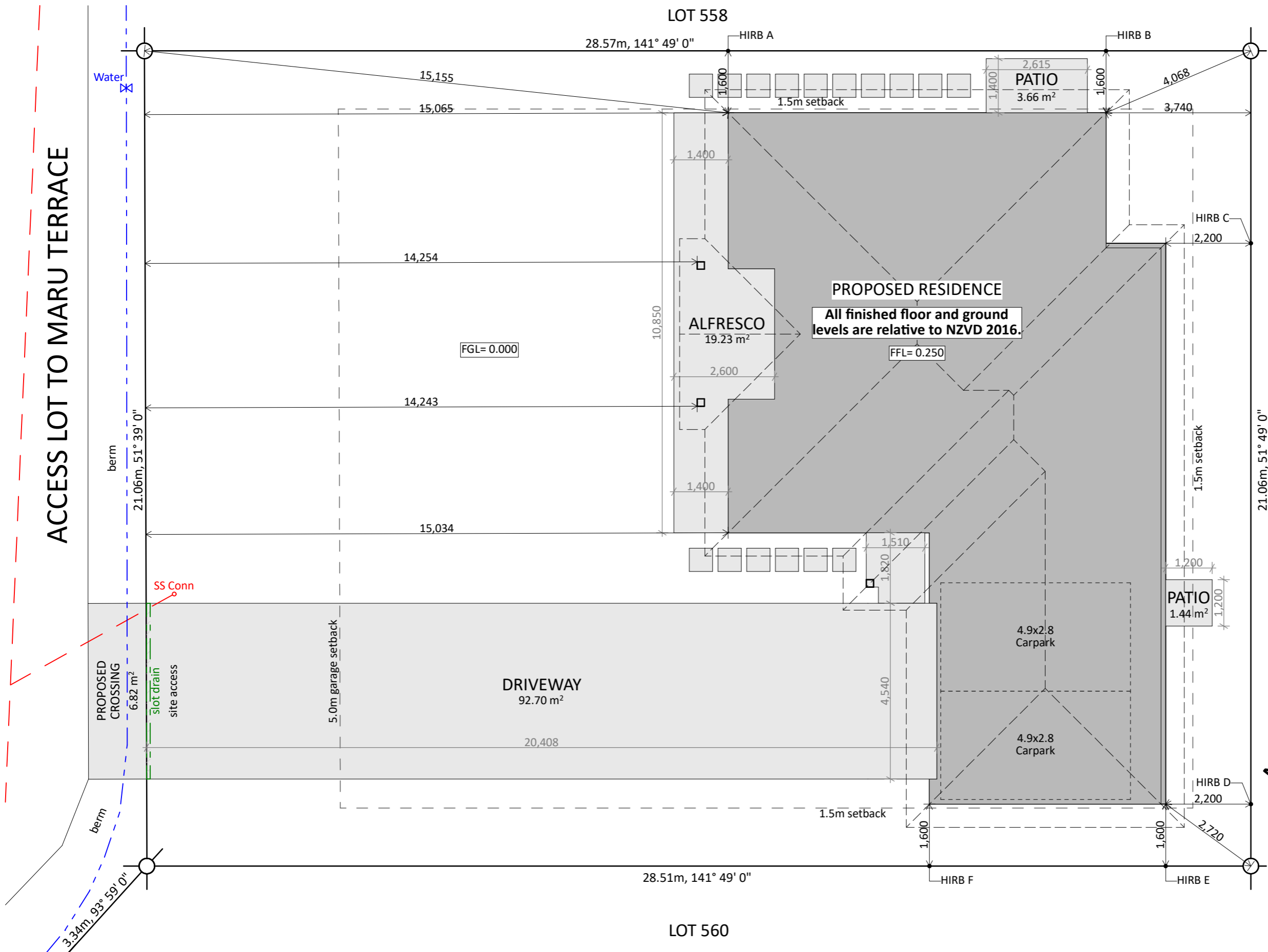
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**DRAFT**



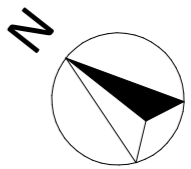
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Plan: The Sea La Vie	Drawn: -	EQ: 2	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev: -
Version: 4.2	Checked: KB	Exposure: B	Site Address: LOT 559, 91 MARU TERRACE	Sheet: 2
		Council: TDC	NGA ROTO ESTATE, STAGE 14, TAUPU	Scale: 1:100



**Information required/awaiting confirmation:**  
 • Site levels/contours

**NOTE: SLOT DRAIN REQUIRED**  
 In accordance with Consent Notice for Lot 559 - All future driveways which slope toward the public road shall have a slot drain or stormwater catch-pit installed within the lot boundary to ensure all surface runoff from the driveways is collected and disposed of within the lot boundary.

<b>Site Info:</b>
<b>LOT:</b> 559
<b>DP:</b> 581637
<b>AREA:</b> 601m <sup>2</sup>
<b>Site Coverage:</b>
155.27 m <sup>2</sup> (House area) + 5.09m <sup>2</sup> (eaves over 600mm) / 601m <sup>2</sup> (site area) = 26.68%
Living Zone = Residential
Max coverage = 35%
<b>Plot Ratio:</b>
155.27 m <sup>2</sup> (House area) / 601m <sup>2</sup> (site area) = 25.83%
Max Plot Ratio = 40%
(TDC - 4a.1.3)
<b>Total Coverage:</b>
155.27 m <sup>2</sup> (House area) + 61.22m <sup>2</sup> (Impervious Area) / 601m <sup>2</sup> (site area) = 36.02%
Max Total Coverage = 50%
(TDC - 4a.1.3)



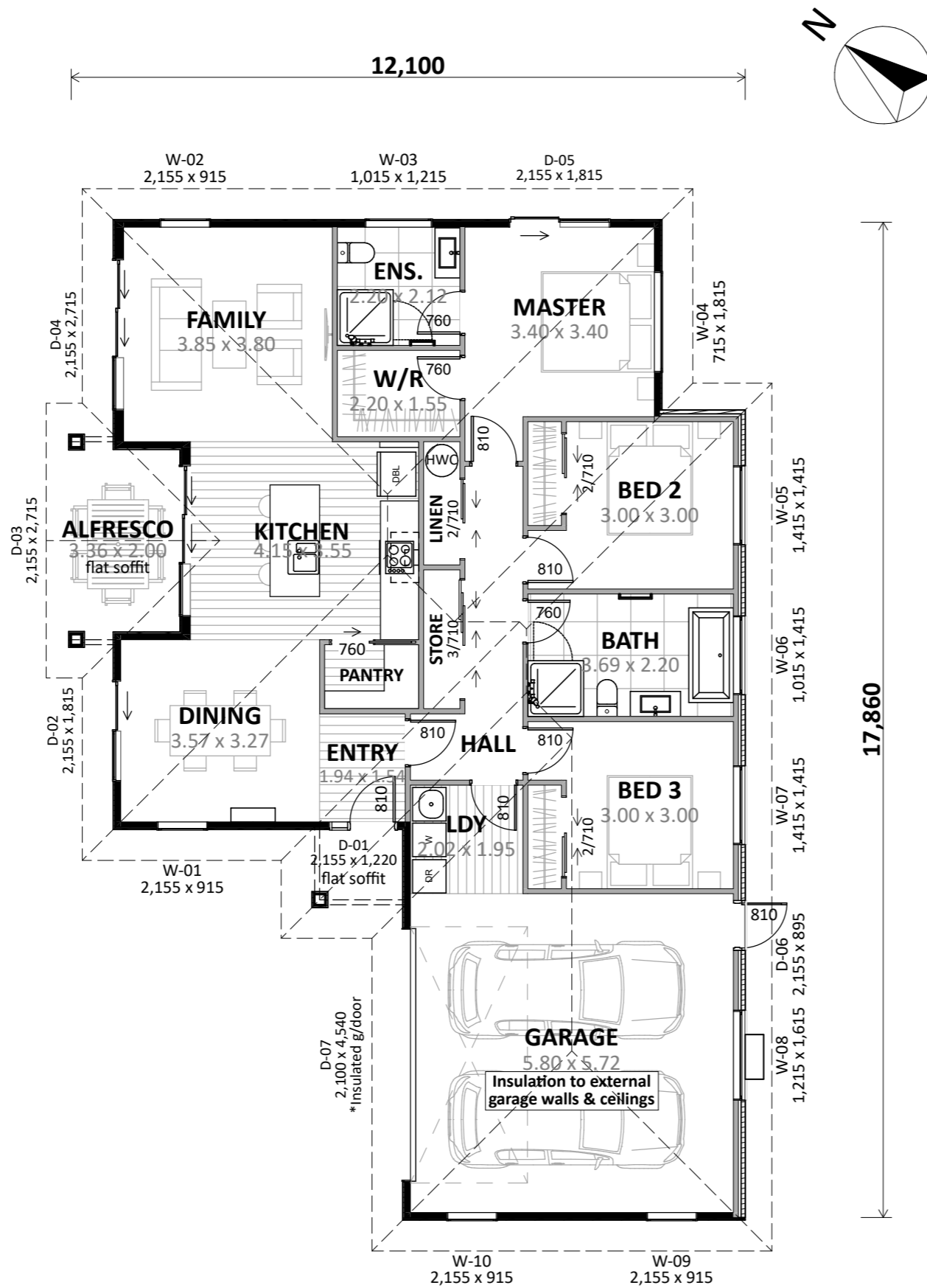
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Project No: NGA559	Designed: DP	Wind: HIGH	Drawing: SITE PLAN	Date: 5/04/2024
Plan: The Sea La Vie	Drawn: EQ	EQ: 2	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:
Version: 4.2	Checked: KB	Exposure: B	Site Address: LOT 559, 91 MARU TERRACE	Sheet: 3
	Council: TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale: 1:100



**CHANGES TO PLAN:**  
 - Brick to Nuline w/board at garage side.  
 - Polished concrete to vinyl planking to Entry and Kitchen.  
 - Gable end changed to hip over garage area.

**Plan Notes:**  
 2.425 Stud height throughout  
 All joinery 2155 head height  
 Flat soffit to Entry and Alfresco

<b>Floor Area:</b>
Area o/frame: 153.36 m <sup>2</sup> Area o/foundation: 155.27 m <sup>2</sup>
<b>Cladding Key:</b>
BGC Nuline Plus
Brick Veneer

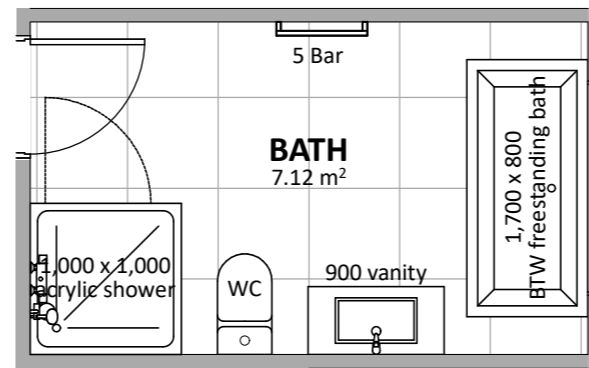
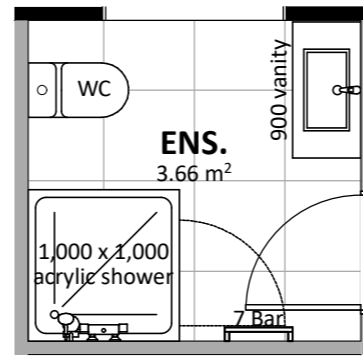
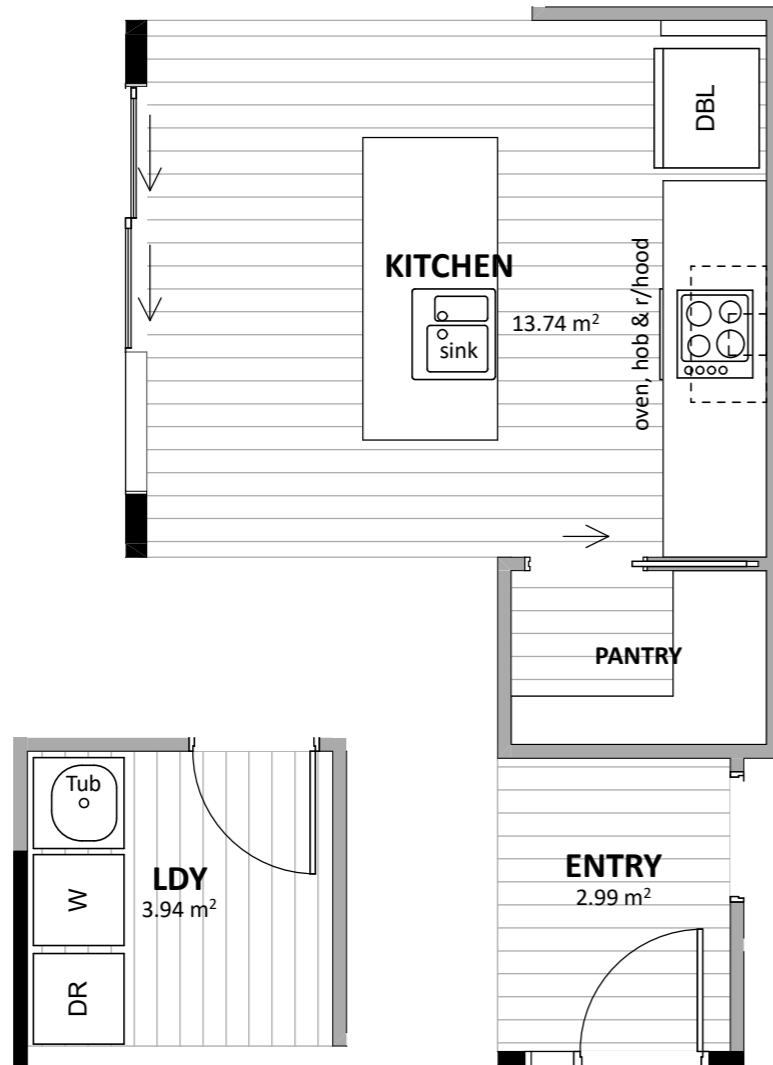
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Project No: NGA559	Designed: DP	Wind: HIGH	Drawing: CONCEPT PLAN	Date: 5/04/2024
Plan: The Sea La Vie	Drawn: -	EQ: 2	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev: -
Version: 4.2	Checked: KB	Exposure: B	Site Address: LOT 559, 91 MARU TERRACE	Sheet: 4
		Council: TDC	NGA ROTO ESTATE, STAGE 14, TAUPO	Scale: 1:100



**Floor Types Key:**

	= Tiled Floor
	= Vinyl Floor

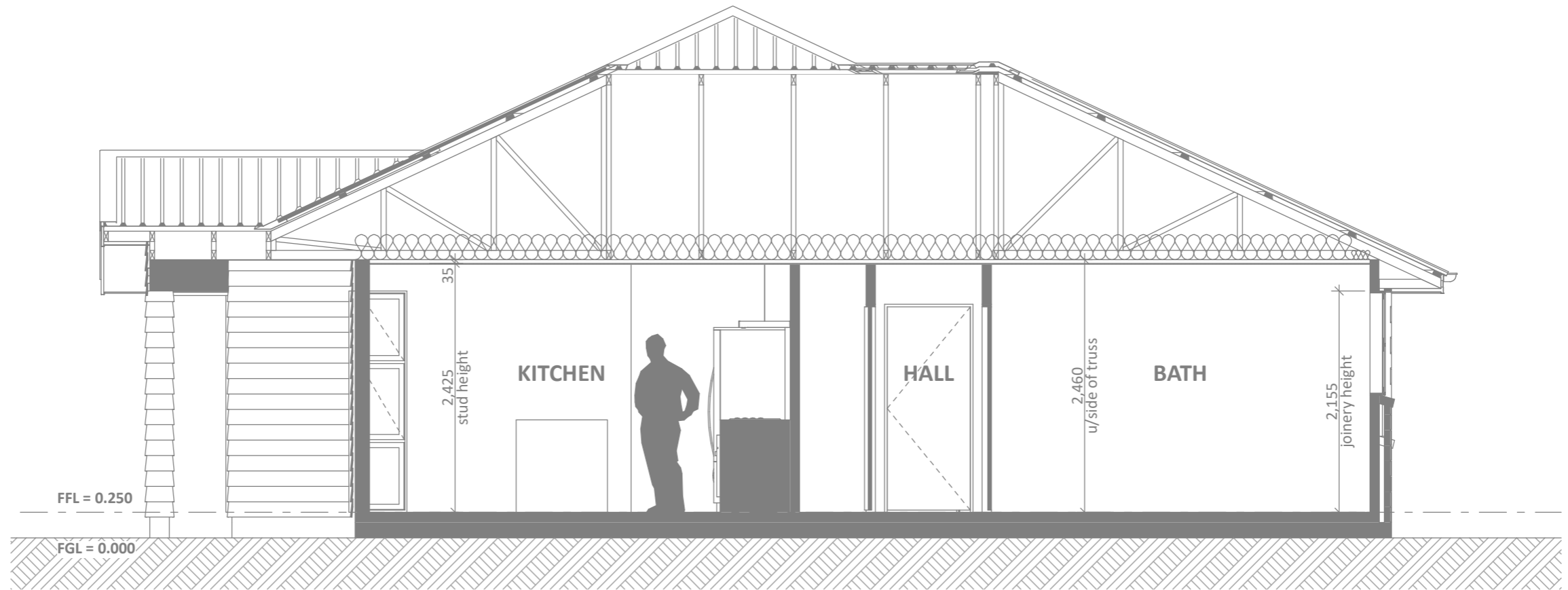
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**DRAFT**



Project No:	NGA559	Designed:	DP	Wind:	HIGH	Drawing:	KITCHEN & BATHROOM PLAN	Date:	5/04/2024
Plan:	The Sea La Vie	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	4.2	Checked:	KB	Exposure:	B	Site Address:	LOT 559, 91 MARU TERRACE	Sheet:	5
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	1:50



**CONCEPT SECTION A**  
SCALE 1:50

**CONCEPT PLAN APPROVAL** (confirmation to consent drawings)  
*Signature* \_\_\_\_\_ *Date* \_\_\_\_\_

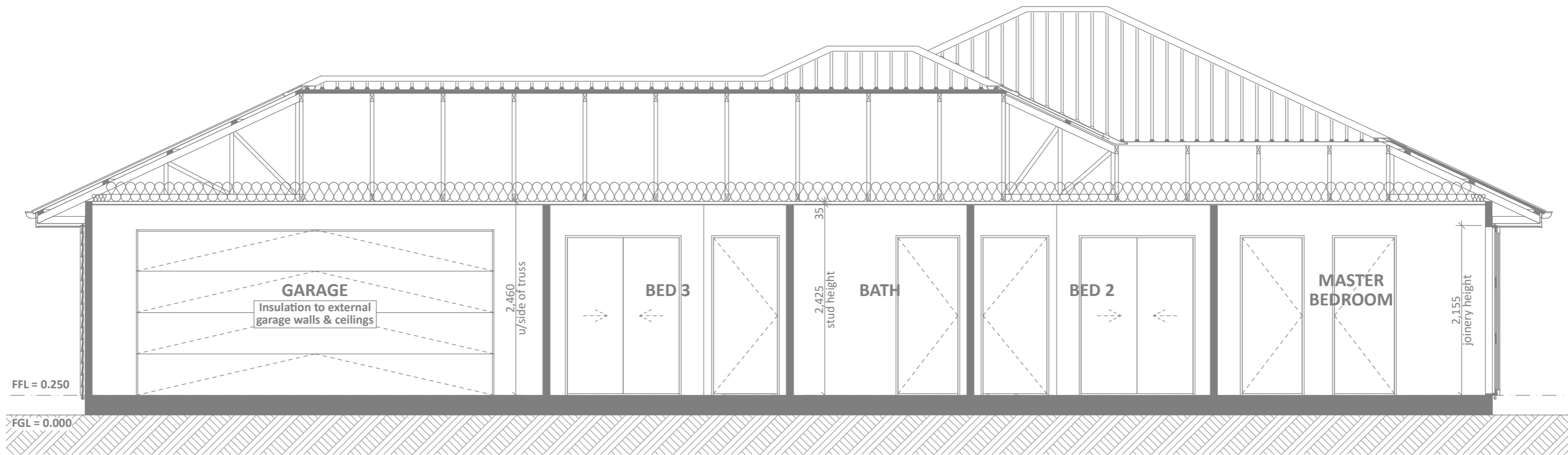
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**DRAFT**



Barrett Homes

Project No:	NGA559	Designed:	DP	Wind:	HIGH	Drawing:	CROSS SECTION	Date:	5/04/2024
Plan:	The Sea La Vie	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	4.2	Checked:	KB	Exposure:	B	Site Address:	LOT 559, 91 MARU TERRACE	Sheet:	6
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	1:50



**CONCEPT SECTION B**  
SCALE 1:50

**CONCEPT PLAN APPROVAL** (confirmation to consent drawings)  
*Signature* \_\_\_\_\_ *Date* \_\_\_\_\_

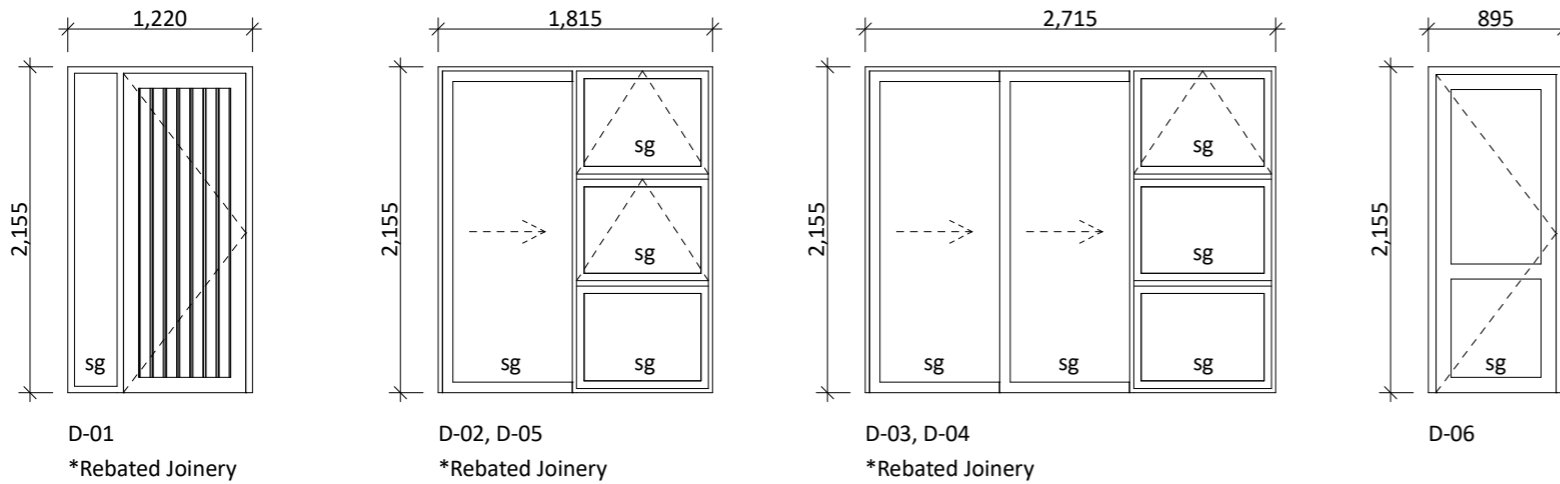
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Barrett Homes

Project No:	NGA559	Designed:	DP	Wind:	HIGH	Drawing:	CROSS SECTION	Date:	5/04/2024
Plan:	The Sea La Vie	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	4.2	Checked:	KB	Exposure:	B	Site Address:	LOT 559, 91 MARU TERRACE	Sheet:	7
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	1:50



**General notes:**

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery including garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.

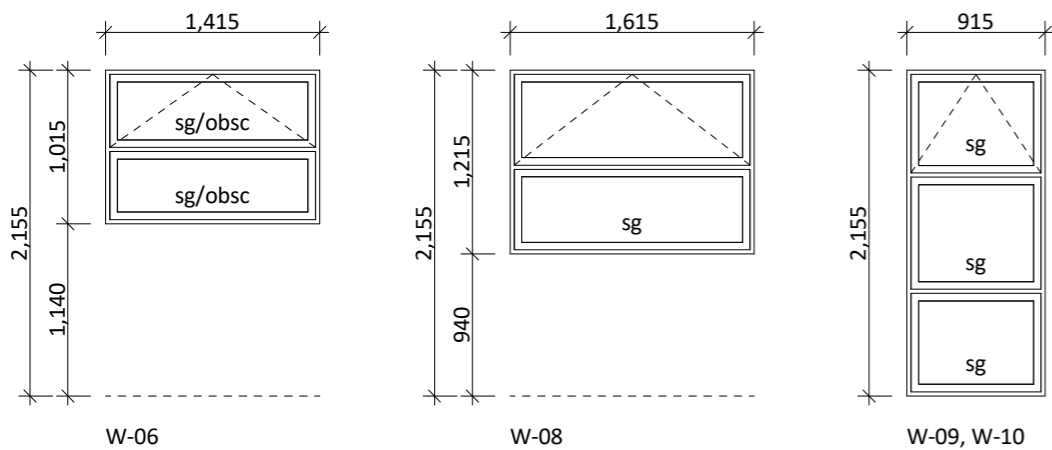
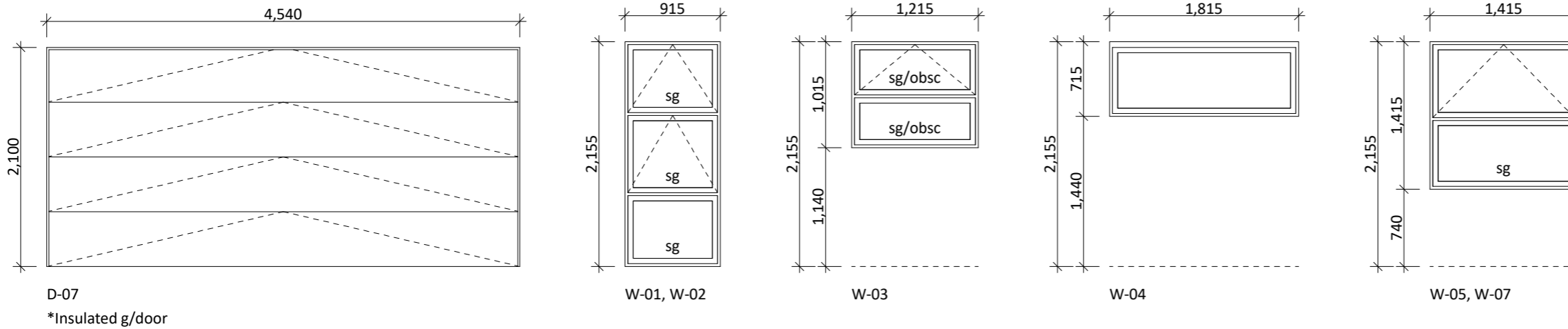
All glazing clear float unless noted anywhere, (refer to joinery schedule)

- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.
- Doors with glazing area > 0.75m<sup>2</sup> = safety glass
- Doors with glazing area < 0.75m<sup>2</sup> = 5mm annealed
- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence  
 ss = Safety stays (in accordance with NZBC:F4 clause 2.0)  
 obsc = Obscure glass

**REBATED JOINERY**

Rebated joinery sizes are to be confirmed with joinery manufacturer.



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 Signature \_\_\_\_\_ Date \_\_\_\_\_

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Project No: NGA559	Designed: DP	Wind: HIGH	Drawing: JOINERY SCHEDULE	Date: 5/04/2024
Plan: The Sea La Vie	Drawn: -	EQ: 2	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev: -
Version: 4.2	Checked: KB	Exposure: B	Site Address: LOT 559, 91 MARU TERRACE	Sheet: 8
		Council: TDC	NGA ROTO ESTATE, STAGE 14, TAUPO	Scale: 1:50