



# SAMPLE HANDOVER REPORT

## BUILDING INSPECTION REPORT

For John Smith

May 31, 2023

**PROPERTY ADDRESS**

SAMPLE ADDRESS  
Wellington  
New Zealand

Inspected by: Kieran Long | Inspection Date: 31 May 2023 | Ph: 0212621120

This report has been produced for the exclusive use of the client(s) listed in the report title in accordance with the terms and conditions accepted via the contact page. Use of this report by any third party is prohibited. The report is the property of Checkhome LTD. All printed content is based on the sole observations of the inspector at time of inspection.

# Contents

---

**03** Summary of Inspection

**04** Inspector

**05** Terms & Conditions

**06** Glossary

**07** Description of Building

**08** General

**09** Areas Inspected

**10** Interior of Building

**11** Exterior of Building

**12** Roof Exterior

**13** Roof Space

**14** Sub Floor Space

**15** Moisture

**16** Electrical

**17** Plumbing

**18** The Site

**19** Recommendations for Further Inspections

**20** Certificate of Inspection

**21** Appendix

# 03 Summary of Inspection

---

## Results of Building Inspection - Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

**The incidence of Safety Hazards** in this Residential Building as compared with similar Buildings is considered:

**Low**

**The incidence of Action Required Items** in this Residential Building as compared with similar Buildings is considered:

**Low**

**The incidence of Minor Maintenance** in this Residential Building as compared with similar Buildings is considered:

**Typical**

**The overall condition** of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

**Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.**

# Overall Condition Comments:

This report has been produced for the exclusive use of the client(s) listed in the report title in accordance with the terms and conditions accepted via the contact page. The use of this report by any third party is prohibited. This report is the property of CheckHome Ltd. All printed content is based on the sole observations of the inspector at the time of inspection.

**Overall the condition of this property was fairly consistent with properties of a similar age and style. There are some areas that should be looked at to maintain the quality of the house.**

**The matters that we recommend require priority attention are summarised below.**

**- Cladding** - The vertical fibre cement weatherboard/shiplap cladding appeared in reasonable condition.

- Southern wall - A gap was detected at the cladding to the lower roof junction. This could lead to potential water ingress into the cavity. The installation of a beading or flashing is required. Refer to the council plans for the detail required or engage the architect to create a sufficient detail.

- Southern wall - The cladding has insufficient clearances to the lounge sliding door head flashing. A 5mm gap is required as per E2/AS1. Refer to the council plans for the detail required. Areas of the cladding require maintenance to the painting coating. This is to protect the cladding and ensure the longevity of the cladding product. The cladding requires the correct and right amounts of coatings as per the specifications. Refer to photographs and details below.

- Southern wall - A flashing detail has been installed to the bottom right corner of the lounge sliding door. A large gap was detected between the aluminium door and cladding junction, which could lead to potential water ingress into the cavity. The flashing detail is at a similar height as the floor level. The installation of a section of cladding or flashing is required. Refer to the council plans for the detail required or engage the architect to create a sufficient detail.

**- Windows & doors** - The door & window units appeared reasonable condition for their age. Gaps were sighted at the lower window & door to cladding junctions. This could potentially lead to water ingress into the cavity. I recommend referring to the council plans to see if sealant or a scrubber is required.

- Head flashing details: The window/door head flashings were missing kick-outs and stop-ends, these are designed to stop any water travelling along the head flashing and entering the wall cavity at the junction with the door/window jamb. Recommend checking the council-approved consented drawings to determine if stop-ends/kick-outs were required or if an alternative detail was used. We recommend kick-outs or stop-ends be installed on all doors and window head flashings to avoid potential moisture ingress and potential damage to the wall framing.

- The door & windows have excess construction dust/dirt around the sill drains. Sill drains are used to allow excess moisture/condensation that can occur to the interior of the door/window to drain to the exterior. These should be cleared to ensure they can drain freely.

Maintenance is important to all houses, I recommend washing down the house, clearing gutters and drains regularly. It is also important to keep a sufficient amount of paint on exterior claddings as paint acts as a protective coating. Always ensure your house is weathertight and sealed.

I recommend having a lawyer read over the lim report & check if there are outstanding consents or any information that you may not be aware of about this property. Ask for all manuals and warranties for recent work that has taken place.

## Notes & Recommendations

*- The chattels were not tested during this inspection, it is recommended these be checked on the final inspection before settlement.*

- *The electrical power points & switches were only tested in visible and accessible areas.*
- *The testing of fireplaces or heating is outside the scope of the inspection, we recommend testing takes place by a specialist prior to use.*

**Please Note:**

This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This report is for the use of John Smith and cannot be used be against CheckHome in anyway. This is the opinion of the building inspector on the day of the inspection

**This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.**

# 04 Inspector

---

**Inspector:** Kieran Long, Qualified Builder

**Mobile Phone:** 0212621120

**Email:** kieran@checkhome.co.nz

# 05 Terms & Conditions

---

## CheckHome building inspection terms and conditions

1. These terms and Conditions govern the property inspection services that CheckHome will provide to you. You must confirm in writing that you accept the terms and conditions before CheckHome Will provide the property inspection services.
2. The Terms and conditions cover:
  - the scope of CheckHome's inspection;
  - limitations on the resulting inspection report; and
  - CheckHome's terms of trade.

## Applicable standard

3. This is a non-invasive inspection. We believe our report encompasses NZS 4306:2005 Residential Property Inspection. A copy of this standard is available at our office for inspection, or you may obtain a copy from Standards New Zealand.

## Intellectual property

4. The inspection report is the intellectual property of, and upon creation the copyright vests in, CheckHome.

## Inspection report personal to you

5. The inspection report will be prepared exclusively for you. You agree that the inspection report is personal to you and shall not be assigned or disclosed or distributed (other than disclosed or distributed to professional advisors) without the written permission of the CheckHome.
6. CheckHome accepts no liability to any person other than you. Any third party relying on the contents of the inspection report does so at their own risk and CheckHome disclaims any liability for any loss (direct or consequential), cost or damage resulting.

## Limitation of liability

7. To the extent permitted by legislation, if CheckHome becomes liable to you, for any reason, for any loss, damage, harm or injury in any way connected with the completion of the inspection and/or the resulting report, its liability shall be limited to a sum not exceeding five times the fee paid, or payable, to CheckHome.
8. CheckHome will not be liable to you for any consequential loss of whatever nature suffered by you or any other person injured, and you agree to indemnify CheckHome in respect of any claims concerning any such loss.

## Payment

9. You are responsible for paying CheckHome's fee. An invoice is sent with the inspection report. Total payment is required within 7 days of receipt of the invoice. An additional service charge of \$100 will be added to any debt collection fees.
10. You must pay CheckHome default interest compounding monthly on all monies due but unpaid, for the period from the expiry of the time provided for payment until actual payment. The right to default interest is additional to any other remedy that CheckHome may be entitled to. The rate of default interest is 7% per month.
11. CheckHome is entitled to recover from you, on an indemnity basis, all costs and expenses, including legal costs on a solicitor/client basis, incurred in connection with the recovery of any amount due and payable by you to CheckHome.

### Cancellation Fee

12. A cancellation fee may be charged by CheckHome if an inspection is cancelled within 24 hours of the time arranged. The amount of the cancellation fee is recorded on CheckHome's website on the Pricing page:

<http://checkhome.co.nz>

### Site Re-check Fee

13. Your engagement of CheckHome allows for one site visit per inspection. If, for any reason, you request an additional site visit, it will incur a site re-check fee. The amount of the site re-check fee is recorded on CheckHome's website on the Pricing page

<http://checkhome.co.nz>

### Consumer Guarantees Act

14. Nothing in these terms and conditions limits your rights under the Consumer Guarantees Act 1993.

### Scope of the inspection - visual inspection only

15. The scope of CheckHome's inspection is limited to a visual inspection of the components of the building that the inspector has reasonable access to and that are in the inspector's clear line of sight.
16. The inspection will not include:
  - examination of any areas or components which are concealed or closed behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring) or which require the moving of anything which impedes access or limits visibility (such as floor coverings, furniture, appliances, personal property, vehicles, vegetation, debris or soil);
  - intrusive or destructive inspection of any part of the building or any building component, disassembly of equipment, or the removal or testing of electrical or other building components or materials.

### Multi-unit property

17. In a multi-unit property, the inspection and resulting report will only cover the condition of the interior and accessible parts of the immediate exterior of the unit and any related accessory units.

### Reasonable access to be provided

18. You agree to ensure that reasonable access can be gained to the property, including but not limited to the roof cavity and foundation spaces and any such spaces if they exist are cleared for an inspection to be carried out.
19. 'Reasonable access' means access that is safe, unobstructed and which has a minimum clearance of 600mm for a roof cavity and 500mm for a floor cavity.
20. For safety reasons, access to the exterior of any roof surface for inspection purposes will only occur if:
  - the Weather is fine;
  - the Roof is dry;
  - the roof slope does not exceed 35°; and
  - the roof height does not exceed 2m.
21. Any area of the property that cannot be reasonably accessed will not be inspected and will be excluded from any inspection report. The report will state the areas that could not be inspected.



## Scope of the inspection report

22. The inspection report should be seen as a reasonable attempt to identify any significant fault or defect visible at the time of the inspection, rather than an all encompassing report dealing with the building from every aspect. The reporting of any significant fault or defect is on an exceptional basis, rather than reporting on items, which are in an acceptable condition for their age.
23. We define significant fault or defect as 'a matter that requires substantial repairs or urgent attention and rectification'.
24. We will address the significant fault and/or defect in the summary section of the inspection report as maintenance or remedial work.

## Limitations of the inspection report

25. The inspection report is intended only as a general guide to help you make your own evaluation of the overall condition of the building and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase.
26. The inspection report expresses the opinions of the inspector, based on his or her visual examination of the conditions that existed at the time of the inspection only.
27. The inspection and resulting report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered.
28. All building components and conditions which, by the nature of their location are concealed, deliberately hidden, camouflaged or difficult to inspect are excluded from the report.
29. Any suggestions or recommendations contained in the inspection report are suggestions only and it is the responsibility of the person or persons carrying out any design or building work to ensure that the most appropriate remedy is carried out in conjunction with any further discoveries, warranties or manufacturer's recommendation and warranties, and any necessary local authority concerns conveyed prior to proceeding with remedial work.
30. Inspection of the systems at the building are outside the scope of our inspection report. The inspector will, however, conduct a cursory check of the hot water system, the plumbing system, and the electrical system. You should note this will only be the opinion of the inspector, who is not a qualified plumber, electrician or gas fitter.
31. The inspection and resulting report should not be construed as a compliance inspection of any building, legal or territorial authority standards, codes or regulations. The inspection report is not intended to be a warranty or guarantee of the present or future weather tightness, adequacy or performance of the structure, its systems, or their component parts. The inspection report does not constitute any express or implied warranty of merchantability, fitness for use or habitation, or building code compliance and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or extended life of components are general statements based on information about similar components and occasional variations are to be expected between such estimates and actual experience.
32. You accept that the inspector will not detect some faults because:
  - The fault only occurs intermittently.
  - Part of the building has not been used for a while and the fault usually occurs after regular use (or detection of the fault would only occur after regular use).
  - The type of weather that would normally reveal the fault is not prevailing at, or around, the time of the inspection.
  - The fault has been deliberately concealed.
  - Furnishings are obscuring the fault.
  - We have been given incorrect information by you, the vendor, the real estate consultant, or any other person.
  - The fault is/was not apparent on a visual inspection.

## Disputes

33. Should any dispute arise as a result of the inspection or resulting report, it must be submitted to CheckHome in writing immediately.
34. You agree that upon raising a dispute, the contents of the inspection report may not be used to satisfy any terms of a sale and purchase agreement until the disagreement/dispute has been resolved.
35. You agree that if, after raising a dispute, you used the inspection or resulting report to make an unconditional offer or confirm the sale and purchase agreement, that you waive all of your rights to continue with the dispute, and/or raise any future dispute or claim about the inspection or resulting report with CheckHome.
36. In the event of a claim/dispute regarding damage to a building, you will allow CheckHome to investigate the claim prior to any repairs to the building being undertaken or completed. You agree that if you do not allow CheckHome to investigate the claims of damage before any repairs are carried out, that you waive your rights to continue with and/or make any claims against CheckHome.
37. In the event of any dispute, you agree not to disturb, alter, repair, or attempt to repair anything that may constitute evidence relating to the dispute without first providing CheckHome with a reasonable opportunity to reinspect the building, except in the case of an emergency. You agree that if you do not provide CheckHome with a reasonable opportunity to reinspect the building before anything that may constitute evidence relating to the dispute is disturbed, altered, or repaired, that you waive your rights to continue with and/or make any claims against CheckHome.

# 06 Glossary

---

**Accessible area:** is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

**HHGA:** Healthy Homes Guarantee's Act

**Fascia boards and barge boards:** Is a board fastened to the projecting gables of a roof to give them strength and mask, hide and protect the otherwise exposed end of the horizontal timbers or purlins of the roof to which they were attached.

**Soffit/Eaves:** The exposed under surface of any exterior overhanging section of a roof eave.

**Cladding:** The exterior wall claddings is the application of one material over another to provide a skin or layer intended to control the infiltration of weather elements, or for aesthetic purposes. Cladding does not necessarily have to provide a waterproof condition but is instead a control element.

**Trim:** (Skirting, scotia and architraves) the finishing timbers around the floor and ceiling and the timbers around windows and doors.

**Hardware:** Door handles, door hinges, bolts, latches, window hardware, screws, switch plates, and doorknockers.

**Gully Trap:** A gully trap is a basin in the ground with a water seal to prevent foul odour of the sewer reaching the surface.

**Flashings:** Are placed around discontinuities or objects which protrude from the roof of a building (such as pipes and chimneys, or the edges of other roofs) to deflect water away from seams or joints.

**Bearer and Joists:** A joist, in architecture and engineering, is one of the horizontal supporting members that run from wall to wall, wall to beam, or beam to beam to support a ceiling, roof, or floor. It may be made of wood, steel or concrete. Typically, a beam is bigger than, and is thus distinguished from, a joist. Joist are often supported by beams and are usually repetitive.

**GIB:** (Drywall), also known as plasterboard or gypsum board, is a panel made of gypsum plaster pressed between two thick sheets of paper. It is used to line interior walls and ceilings.

**Header tank:** Hot water supply systems that were installed in the 1940s-60s most often had a 'header' or 'supply' tank that was fitted in the roof space or in some cases the ceiling. Most often they are located in the ceiling space but sometimes they will be located on the roof.

**Water Toby:** A toby is the water shut-off valve, generally located at the boundary of your property, that sits between the council water main and your private water pipe.

**Thermostat:** A device that automatically regulates temperature, or that activates a device when the temperature reaches a certain point.

**Rangehood:** A kitchen hood, exhaust hood, or range hood is a device containing a mechanical fan that hangs above the stove or cooktop in the kitchen. It removes airborne grease, combustion products, fumes, smoke, heat, and steam from the air by evacuation of the air and filtration.

# 07 Description of Building

---

Type of Building:

Townhouse complex

Style of Building:

Townhouse

Number of Stories:

Three storey

Age of Building:

New

Roof Covering:

Light weight metal corrugated sheet roofing

Roof Frame:

Unable to sight

External Walls:

Fibrous cement sheeting, Fibrous cement weatherboards

Floor Construction:

Timber on timber framed & Concrete slab

Footings:

Concrete slab, Masonry block ring foundation

Building Tenancy:

Vacant

Building Furnished:

No

Building Frontage Faces:

East

# 08 General

---

Weather Conditions at the time of the inspection:

Clear & sunny

Recent weather conditions:

Overcast & recent rain

Date and time of inspection:

31 May 2023 10:00 AM

Building Furnished:

No

Occupied By:

Vacant

Onsite attendees:

Vendor, Agent

Did the homeowner, Agent or representation disclose any known issues to the property?

No - There were no disclosers about the property.

Inspection Requested:

Building

Terms & Conditions Accepted:

Yes

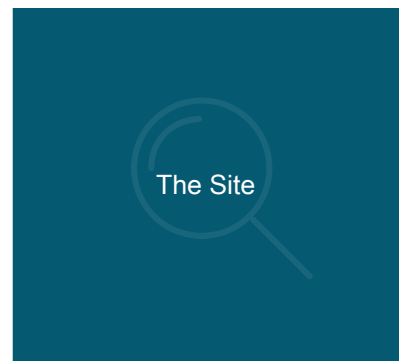
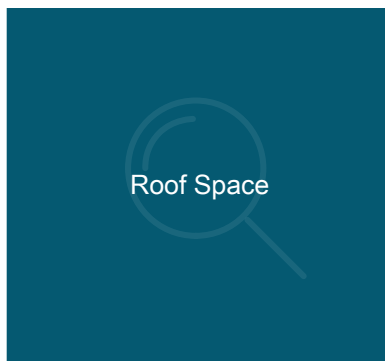
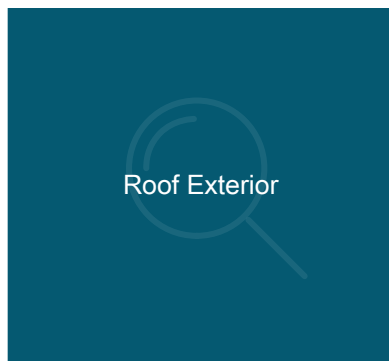
# 09 Areas Inspected

---

The Actual Areas Inspected were:



The Areas Not Inspected were:



# 10 Interior of Building

## Access Limitations

No limitations

## Ceilings

Some general plaster/paint imperfections were sighted. Refer to photographs and details below.






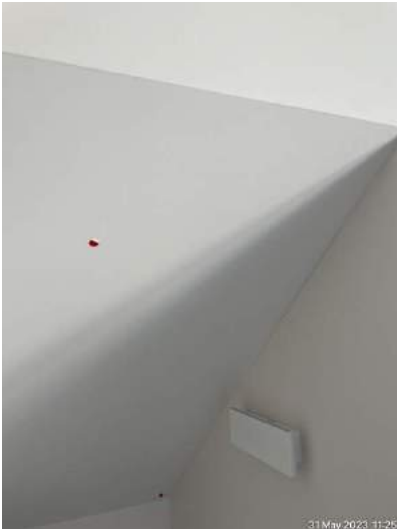
Rating:	Observation	
		
	Photo Ref #1: Skylight - Excess paint to interior and exterior of skylight	Photo Ref #2: Skylight - Excess paint to interior and exterior of skylight
		
	Photo Ref #3: Separate toilet - plaster/paint imperfection	Photo Ref #4: Separate toilet - plaster/paint imperfection
		
	Photo Ref #5: Hallway ceiling - plaster/paint imperfection	Photo Ref #6: Hallway ceiling - plaster/paint imperfection



Photo Ref #7: Lounge ceiling  
infront of steps - plaster/paint  
imperfection

### Walls

Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

Rating:

Observation



Photo Ref #8: Upstairs spare  
bedroom - plaster/paint  
imperfection



Photo Ref #9: Upstairs spare  
bedroom - plaster/paint  
imperfection

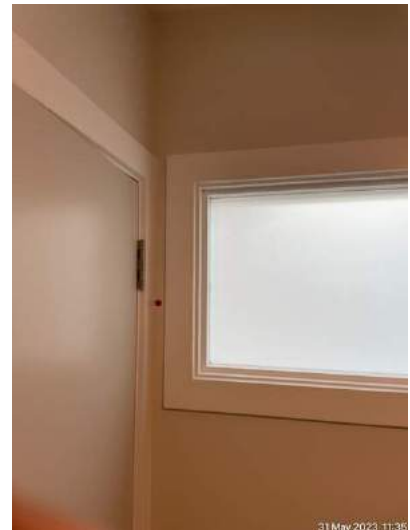


Photo Ref #10: Bathroom  
Upstairs spare bedroom -  
plaster/paint imperfection





Photo Ref #11: Bathroom  
Upstairs spare bedroom -  
plaster/paint imperfection



Photo Ref #12: Bathroom  
Upstairs spare bedroom -  
plaster/paint imperfection



Photo Ref #13: Main bathroom -  
plaster/paint imperfection

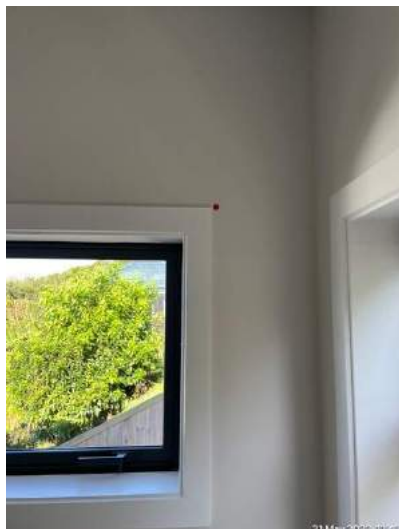


Photo Ref #14: Main bathroom -  
plaster/paint imperfection

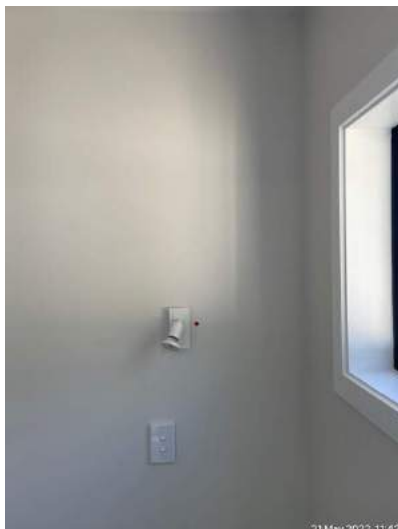


Photo Ref #15: Main bathroom -  
plaster/paint imperfection



Photo Ref #16: Main bathroom -  
plaster/paint imperfection



Photo Ref #17: Main bathroom - plaster/paint imperfection



Photo Ref #18: Entrance way - plaster/paint imperfection



Photo Ref #19: Entrance way - plaster/paint imperfection



Photo Ref #20: Entrance/Hallway - plaster/paint imperfection



Photo Ref #21: Entrance/Hallway - plaster/paint imperfection



Photo Ref #22: Entrance/Hallway - plaster/paint imperfection



Photo Ref #23: Entrance/Hallway - plaster/paint imperfection



Photo Ref #24: Kitchen wall - plaster/paint imperfection



Photo Ref #25: Kitchen wall - plaster/paint imperfection



Photo Ref #26: Kitchen back wall - plaster/paint imperfection(Back wall not sanded)



Photo Ref #27: Kitchen wall - plaster/paint imperfection

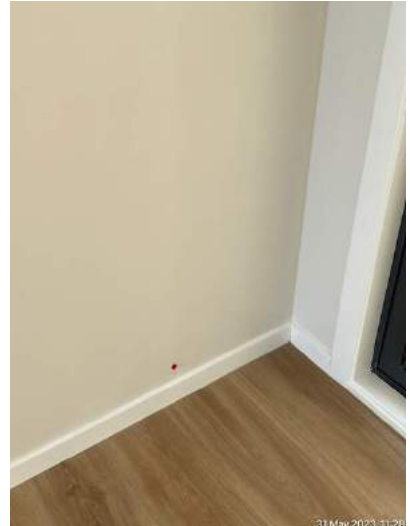


Photo Ref #28: Kitchen wall - plaster/paint imperfection



Photo Ref #29: Lounge - plaster/ paint imperfection



Photo Ref #30: Lounge - plaster/ paint imperfection



Photo Ref #31: Lounge - plaster/ paint imperfection



Photo Ref #32: Lounge - plaster/paint imperfection

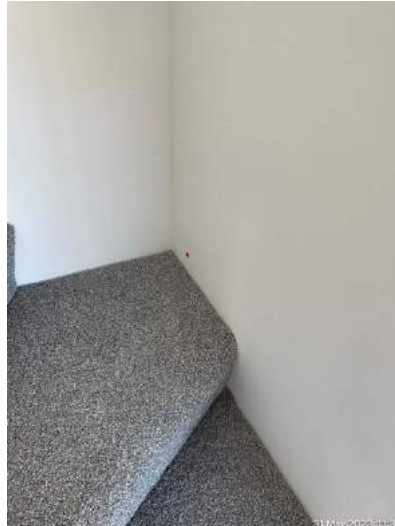


Photo Ref #33: Staircase - plaster/paint imperfection

### Windows; Metal framed

Lounge window: The window was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

Rating:

Observation



Photo Ref #34



Photo Ref #35: Minor putty defects



## Windows; Metal framed

Spare bedroom window: The window was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

### Sill Drain Details:

- The window has excess construction dust/dirt around the sill drains. Sill drains are used to allow excess moisture/condensation that can occur to the interior of the window to drain to the exterior. These should be cleared to ensure they can drain freely.

### Rating:

Minor Maintenance



Photo Ref #36

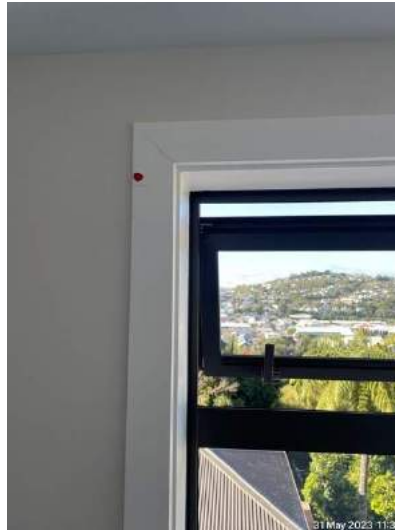


Photo Ref #37: Plaster/paint imperfection



Photo Ref #38: Plaster/paint imperfection



Photo Ref #39: Minor putty defects



Photo Ref #40: Excess construction dust/dirt around the sill drains

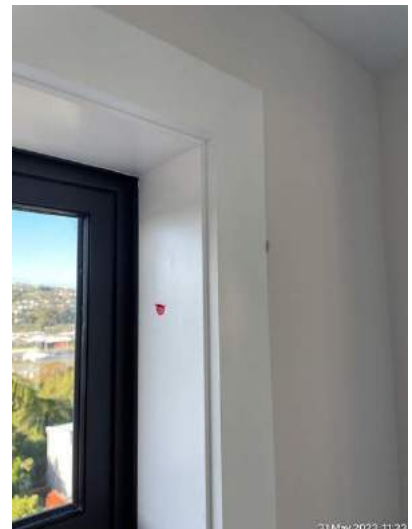


Photo Ref #41: Plaster/paint imperfection

## Windows; Metal framed

Spare bedroom window: The window was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

### Sill Drain Details:

- The window has excess construction dust/dirt around the sill drains. Sill drains are used to allow excess moisture/condensation that can occur to the interior of the window to drain to the exterior. These should be cleared to ensure they can drain freely.

### Rating:

Minor Maintenance



Photo Ref #42



Photo Ref #43: Plaster/paint imperfection



Photo Ref #44: Excess construction dust/dirt around the sill drains



Photo Ref #45: Excess construction dust/dirt around the sill drains

## Windows; Metal framed

Separate toilet window: The window was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

### Sill Drain Details:

- The window has excess construction dust/dirt around the sill drains. Sill drains are used to allow excess moisture/condensation that can occur to the interior of the window to drain to the exterior. These should be cleared to ensure they can drain freely.

### Rating:

Minor Maintenance



Photo Ref #46



Photo Ref #47: Plaster/paint imperfection



Photo Ref #48: Excess construction dust/dirt around the sill drains



Photo Ref #49: Plaster/paint imperfection



Photo Ref #50: Plaster/paint imperfection

Windows; Metal framed

Master bedroom window: The window was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

Rating:	Observation
---------	-------------



Photo Ref #51



Photo Ref #52: Plaster/paint imperfection

Windows; Metal framed

Master bedroom window: The window was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

Sill Drain Details:	- The window has excess construction dust/dirt around the sill drains. Sill drains are used to allow excess moisture/condensation that can occur to the interior of the window to drain to the exterior. These should be cleared to ensure they can drain freely.
Rating:	Minor Maintenance



Photo Ref #53



Photo Ref #54: Plaster/paint imperfection



Photo Ref #55: Plaster/paint imperfection





Photo Ref #56: Excess construction dust/dirt around the sill drains

### Windows & doors joinery; Glazing type

The windows & doors were double glazed units

### Doors/Frames

Kitchen/dining room door: The door was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

#### Door Details:

- A loose door handle was detected on the sliding door. This requires securing.

#### Sill Drain Details:

- The door has excess construction dust/dirt around the sill drains. Sill drains are used to allow excess moisture/condensation that can occur to the interior of the door to drain to the exterior. These should be cleared to ensure they can drain freely.

#### Rating:

Minor Maintenance



Photo Ref #58

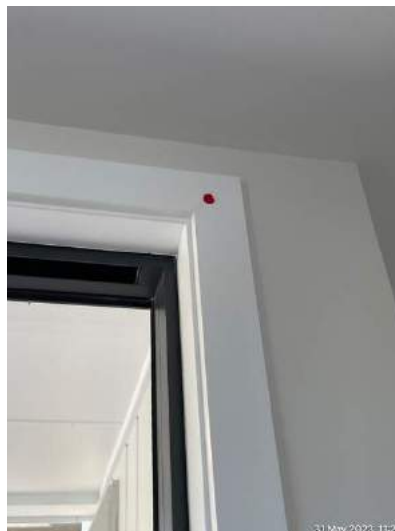


Photo Ref #59: Plaster/paint imperfection

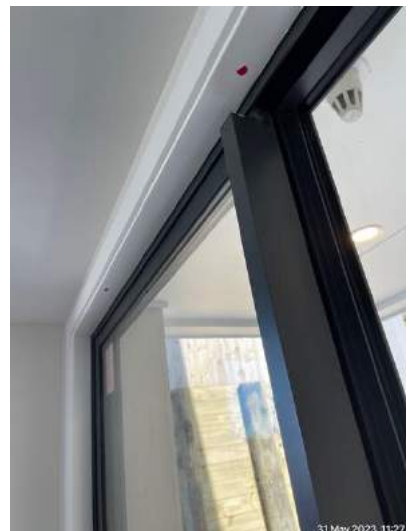


Photo Ref #60: Plaster/paint imperfection



Photo Ref #61: Excess construction dust/dirt around the sill drains



Photo Ref #62: Loose door handle

### Doors/Frames

Lounge door: The door was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

#### Sill Drain Details:

- The door has excess construction dust/dirt around the sill drains. Sill drains are used to allow excess moisture/condensation that can occur to the interior of the door to drain to the exterior. These should be cleared to ensure they can drain freely.

#### Rating:

Minor Maintenance



Photo Ref #63



Photo Ref #64: Plaster/paint imperfection



Photo Ref #65: Plaster/paint imperfection



Photo Ref #66: Plaster/paint imperfection



Photo Ref #67: Plaster/paint imperfection



Photo Ref #68: Excess construction dust/dirt around the sill drains

## Doors/Frames

Spare bedroom door: The door was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

Rating:

Observation



Photo Ref #69

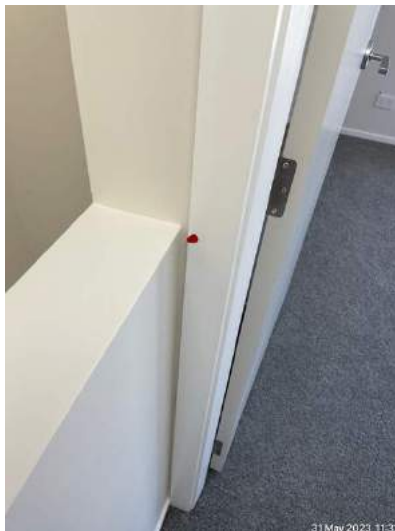


Photo Ref #70: Plaster/paint imperfection

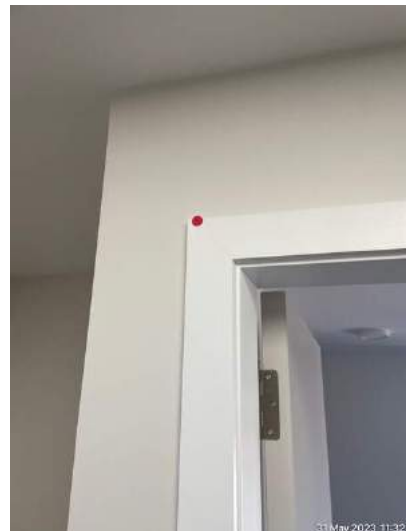


Photo Ref #71: Plaster/paint imperfection



Photo Ref #72: Plaster/paint imperfection

### Doors/Frames

Bathroom door: The door was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

Rating:

Observation



Photo Ref #73



Photo Ref #74: Screw heads were visible between bathroom and separate toilet door



Photo Ref #75: Plaster/paint imperfection





Photo Ref #76: Paint  
imperfection to upper jam

### Doors/Frames

Separate toilet door: The door was operating as to be expected. The door was catching on the frame. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

#### Door Details:

- The door was binding on its frame. Adjustment is required to allow the unit to open and close freely.

#### Rating:

Minor Maintenance



Photo Ref #77

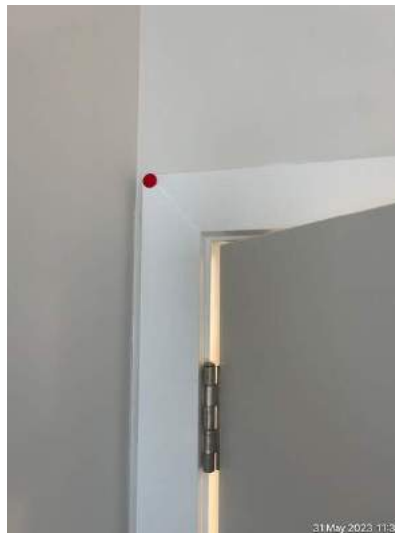


Photo Ref #78: Plaster/paint  
imperfection



Photo Ref #79: Door binding on  
frame

### Doors/Frames

Main bedroom door: The door was operating as to be expected. Some general plaster/paint imperfections were sighted. Refer to photographs and details below.

#### Rating:

Observation



Photo Ref #80



Photo Ref #81: Plaster/paint  
imperfection

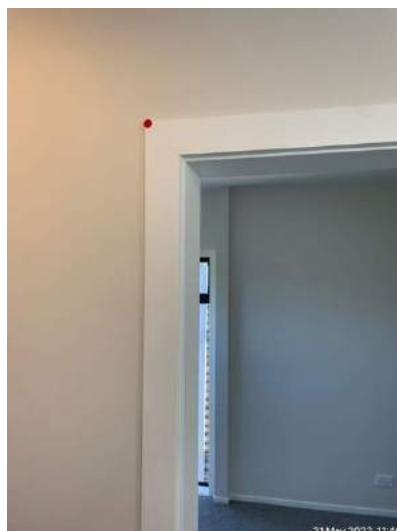


Photo Ref #82: Plaster/paint  
imperfection



Photo Ref #83: Plaster/paint  
imperfection



Photo Ref #84: Plaster/paint  
imperfection



Photo Ref #85: Plaster/paint  
imperfection

### Doors/Frames

Main bedroom wardrobe door: The door was operating as to be expected. Some general paint imperfections were sighted. Refer to photographs and details below.

Rating:

Observation



Photo Ref #86



Photo Ref #87: Paint imperfection



Photo Ref #88: Paint imperfection

### Kitchen; Cabinetry

The cabinetry was in working order.

Rating:

Observation



Photo Ref #90



Photo Ref #91



Photo Ref #92



Photo Ref #93: Suff marks to toe kicks

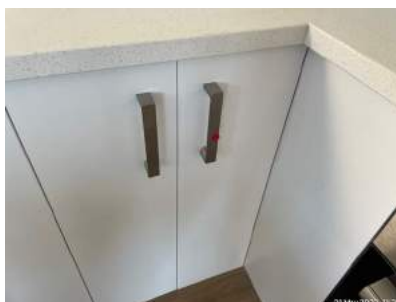


Photo Ref #94

### Kitchen; Ventilation

The kitchen had a functional range hood/extractor fan in place.

### Kitchen; Sinks/taps

The water supply was operating correctly with no leaks detected.



Photo Ref #95



Photo Ref #96



Photo Ref #97

### Bathrooms/WC; Cisterns/pans/bidets

The toilet was operating correctly and was stable and rigid.



Photo Ref #98

### Bathrooms/WC; Floor coverings

The floor coverings appeared to be in good condition.



Photo Ref #99



Photo Ref #100

### Bathrooms/WC; Shower

The shower unit appeared to be operating correctly and free of any visible leaks when spray tested.





Photo Ref #101



Photo Ref #102



Photo Ref #103

### Bathrooms/WC; Vanity/basin

The vanity/basin was in working order and appeared in good condition.



Photo Ref #104



Photo Ref #105



Photo Ref #106

### Bathrooms/WC; Vanity/basin

The vanity/basin was in working order.

Rating:

Observation



Photo Ref #107



Photo Ref #108: Excess paint to tile trim

### Bathrooms/WC; Ventilation

The bathroom has an extractor fan in place. This was externally vented and in working order.



Photo Ref #109

### Laundry; Taps

The water supply was operating correctly with no leaks detected.

### Laundry; Tub/cabinet

The tub/cabinet was in working order.



Photo Ref #110

### Stairs

The lower stairs & handrails were sufficiently rigid.



Photo Ref #111

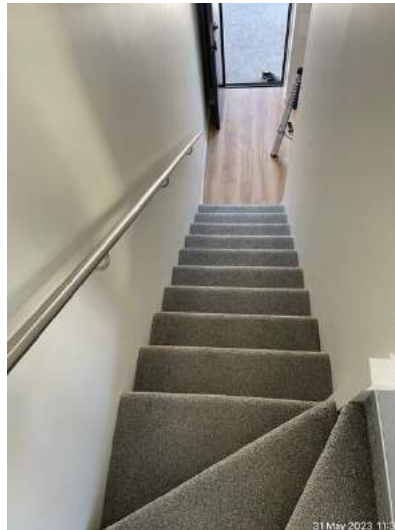


Photo Ref #112

### Stairs

The upper stairs & handrails were sufficiently rigid.



Photo Ref #113



Photo Ref #114

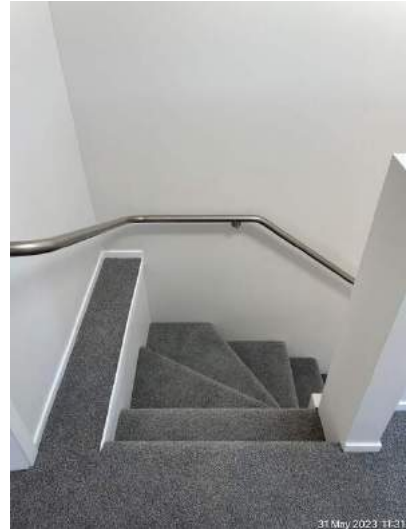


Photo Ref #115

# 11 Exterior of Building

## Access Limitations

The lower cladding was accessible, although height-restricted access to the upper cladding and windows; therefore, some areas were not inspected. Safe access would be required to assess these areas.

## Walls; Walls/Wall cladding; Fibre cement

The vertical fibre cement weatherboard/shiplap cladding appeared in reasonable condition. The paint coating was unfinished in some areas. Refer to photographs and details below.

*The fibre cement weatherboards are installed on a drained cavity system, this is a common construction method for the era of the property.*

### Paint Coating Details:

- Areas of the cladding require maintenance to the painting coating. This is to protect the cladding and ensure the longevity of the cladding product. The cladding requires the correct and right amounts of coatings as per the specifications. Refer to photographs and details below.

### Rating :

Minor Maintenance



Photo Ref #116: Southern wall - imperfections to paint coating



Photo Ref #117: Southern wall - imperfections to paint coating

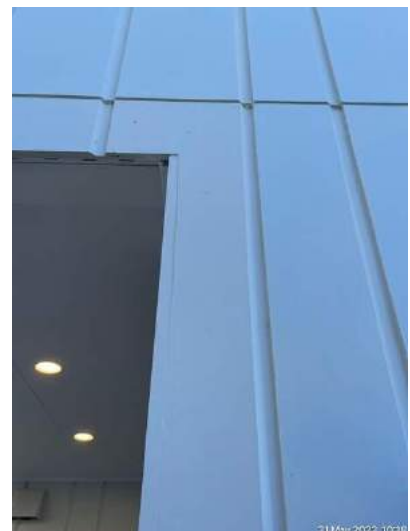


Photo Ref #118: Southern wall - imperfections to paint coating

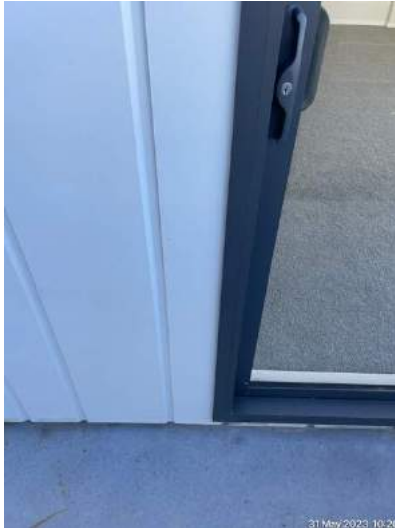


Photo Ref #119: Southern wall - imperfections to paint coating



Photo Ref #120: Southern wall - imperfections to paint coating

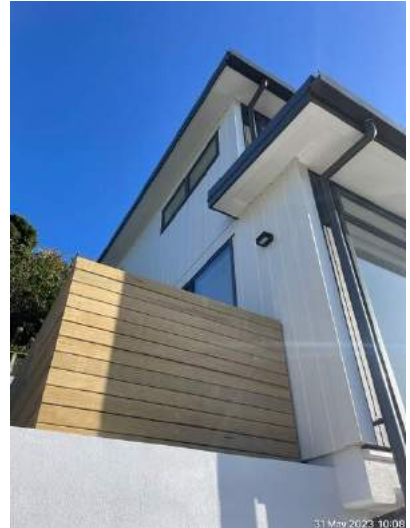


Photo Ref #121



Photo Ref #122: Bottom of southeastern box corner not painted



Photo Ref #123: Southern wall - bottom of cladding not painted



Photo Ref #124: Southern wall - bottom of cladding not painted





Photo Ref #125: Southern wall - Untidy finishing at eave junction - maintenance required



Photo Ref #126: Southern wall - imperfections to paint coating

#### Walls; Walls/Wall cladding; Fibre cement

Southern wall - A gap was detected at the cladding to the lower roof junction. This could lead to potential water ingress into the cavity. The installation of a beading or flashing is required. Refer to the council plans for the detail required or engage the architect to create a sufficient detail.

Rating :

Minor Maintenance

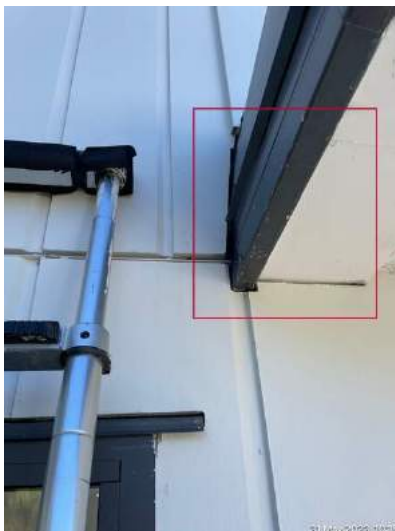


Photo Ref #127

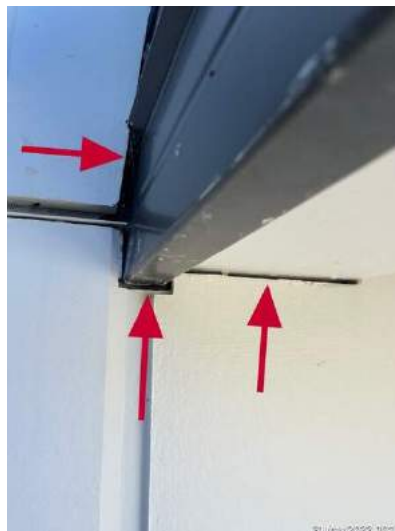


Photo Ref #128

#### Walls; Walls/Wall cladding; Fibre cement

Southern wall - The cladding has insufficient clearances to the lounge sliding door head flashing. A 5mm gap is required as per E2/AS1. Refer to the council plans for the detail required.

Rating :

Minor Maintenance



Photo Ref #129

#### Walls; Walls/Wall cladding; Fibre cement

Southern wall - A flashing detail has been installed to the bottom right corner of the lounge sliding door. A large gap was detected between the aluminium door and cladding junction, which could lead to potential water ingress into the cavity. The flashing detail is at a similar height as the floor level. The installation of a section of cladding or flashing is required. Refer to the council plans for the detail required or engage the architect to create a sufficient detail.

Rating :

Minor Maintenance



Photo Ref #130



## Walls; Walls/Wall cladding; Fibre cement

The fibre cement sheet cladding appeared in reasonable condition. The paint coating was unfinished in some areas. Refer to photographs and details below.

*The fibre cement sheeting is installed on a drained cavity system, this is a common construction method for the era of the property.*

### Details:

- Areas of the cladding require maintenance to the painting coating. This is to protect the cladding and ensure the longevity of the cladding product. The cladding requires the correct and right amounts of coatings as per the specifications. Refer to photographs and details below.

### Rating :

Minor Maintenance



Photo Ref #131



Photo Ref #132: Eastern wall - bottom edge of cladding not painted



Photo Ref #133: Eastern wall - bottom edge of cladding not painted

## Walls; Walls/Wall cladding; Concrete/Masonry

The solid concrete/masonry block walls appeared solid, and in reasonable condition for their age. The paint coating was unfinished in some areas. Refer to photographs and details below.

### Details:

- Areas of the cladding require maintenance to the painting coating. Refer to photographs and details below.

### Rating:

Observation



Photo Ref #134



Photo Ref #135: Paint imperfections



Photo Ref #136: Paint imperfections

### Walls; Wall/Cladding Penetrations

An unsealed cladding penetration was detected. Refer to photograph and details below.

**Cladding Penetration Details:** - It is recommended all penetrations are sealed and have a flange around the perimeter to ensure they are watertight.

**Rating:** Minor Maintenance



Photo Ref #137

Walls; Doors & Windows

The door & window units appeared reasonable condition for their age. Some observations are photographed and detailed below.

Details:	- Gaps were sighted at the lower window & door to cladding junctions. this could potentially lead to water ingress in the cavity. I recommend referring to the council plans to see if sealant or a scrubber is required.
Rating:	Minor Maintenance



Photo Ref #139: Excess paint to front door frame



Photo Ref #140: Gaps at joinery to cladding



Photo Ref #141: Gaps at joinery to cladding



Photo Ref #142: Gaps at joinery to cladding

## Walls; Doors & Windows

- Head flashing details: The window/door head flashings were missing kick-outs and stop-ends, these are designed to stop any water travelling along the head flashing and entering the wall cavity at the junction with the door/window jamb. Recommend checking the council-approved consented drawings to determine if stop-ends/kick-outs were required or if an alternative detail was used. We recommend kick-outs or stop-ends be installed on all doors and window head flashings to avoid potential moisture ingress and potential damage to the wall framing.

Rating:

Minor Maintenance



Photo Ref #143

## Walls; Doors & Windows



Photo Ref #144

## Stairs

The stairs and handrails were well-formed and were operating as expected for their age.



Photo Ref #145

# 12 Roof Exterior

## Access Limitations

No access was gained to the roof due to height and safety. Therefore, the roof was not inspected. Safe access would be required to assess the roof.

## Overview



Photo Ref #146



Photo Ref #147

## Gutters & downpipes

The gutters & downpipes appeared to be operating as to be expected for their type and age.

## Eaves/fascias/barges

The eaves/fascias/barges appeared in reasonable condition for their age. The paint coating was unfinished in some areas.

### Eaves/Fascias/Barges Details:

- Areas of the eaves require maintenance to the painting coating. This is to protect the cladding and ensure the longevity of the cladding product. The eaves and boarding require the correct and right amounts of coatings as per the specifications. Refer to photographs and details below.

### Rating:

Minor Maintenance



Photo Ref #148



Photo Ref #149



# 13 Roof Space

---

## Access Limitations

No accessible roof space cavity was in place as the ceiling line followed the roofline. Therefore, the roof space, roofspace components, wiring & plumbing works were not inspected in this area. The property file could be checked to help determine the structure and the potential of insulation.

# 14 Sub Floor Space

---

## Access Limitations

The dwelling is built on a concrete slab foundation. Therefore, there is no subfloor to inspect.

# 15 Moisture

---

This was a non invasive moisture test to random areas of possible concern (like around the windows and doors on the exterior walls and wet areas; or areas with pipe work running through them). Accessible areas have been checked on the interior to check for moisture within the wall cavity. The moisture measurement is up to approximately 40mm deep. Levels will vary from house to house and any elevated reading will be recorded and further investigation will be required. The conditions and treatment type of internal framing is not known. An invasive instrument will never be used to prevent damage.

## Moisture readings

The moisture readings were acceptable at the time of inspection.

Recommendations: To keep readings down, keep exterior watertight and weather tight, ensure there is a sufficient amount of paint on the building, ensure the flashings meet the building code NZS 3604, and the roof is water tight.

# 16 Electrical

---

## Lights

The lights were tested and were in working order.

## Power Points

The accessible power points were tested and working.

## Electrical Cable type

TPS wiring sighted

(TPS wiring; this style of wiring is currently compliant) For further information regarding the electrical cable type & condition, engage a licensed electrician to assess.

## Fuse Switchboard

The fuse switchboard appeared in good condition with RCD's in place.

## Meter Board

Not located

## Smoke Alarms

There was an adequate number and type of smoke alarms.

Please note: Smoke alarms will never be tested, I always recommend installing new batteries and testing every 6 months.

# 17 Plumbing

## Hot Water Cylinder

### Gas Water Heater

An instantaneous hot water system generally has a lifespan of around 20 yrs, this however is dependent on water quality, service intervals and for externally mounted units location, all gas appliances should be serviced every 18 months - 2 yrs or in accordance with the manufacturers specification.

Age:

As New



Photo Ref #150

### Plumbing Pipe Type

Copper pipe, Grey polybutylene pipe, PVC, Galvanised pipe (Gas)

### Gully traps

The gully traps were free of movement/cracking and no blockages were sighted.

### Downpipes/Stormwater

The down pipes appeared to be connected to the stormwater system.

### Position of Water Toby

Not located - It is recommended this is disclosed by the vendor or engage a plumber to determine.

### Plumbing Comments

The water pressure was tested and sufficient for the current system in place.

*(Note: For underground pipe work we recommend a camera inspection, which will show the areas that we are unable to sight)*

# 18 The Site

## Access Limitations

No limitations

## Attached Garage

The attached garage appeared to operate as to be expected for its age and style.

### Details:

- Exposed nails were sighted coming through the ceiling above the garage door. This could be a hazard. These require removal with a smooth finish.
- Excess paint was in place to the garage concrete floor. This requires cleaning.
- Excess concrete seepage was sighted around the garage masonry block walls.

### Rating:

Minor Maintenance



Photo Ref #152

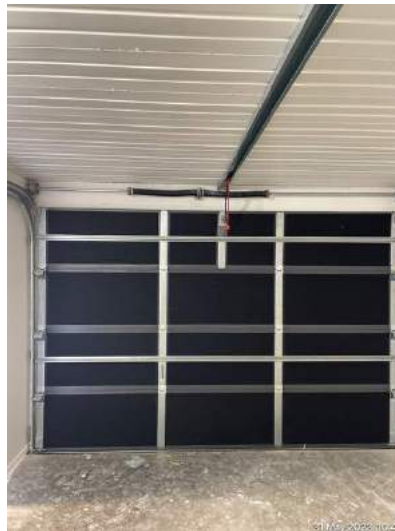


Photo Ref #153



Photo Ref #154: Exposed nails were sighted coming through the ceiling





Photo Ref #155: Excess paint was in place to the garage concrete floor



Photo Ref #156: Unpainted areas either side of garage door



Photo Ref #157: Unpainted areas either side of garage door



Photo Ref #158: Unpainted areas either side of garage door



Photo Ref #159: Untidy concrete seepage around garage walls

### Retaining walls; Timber

The timber retaining wall appeared stable and to be operating as to be expected for its age and construction type.

### Retaining walls; Concrete/Masonry

The concrete/masonry retaining wall appeared stable and to be operating as to be expected for its age and construction type.

### Paths and Driveways

The pathways and driveways appeared well-formed, free from any obvious signs of excessive subsidence and safe to walk upon.

Fencing

The fences and gates were operating as would be expected for their age and construction.

Rating:	Observation
---------	-------------



Photo Ref #160: Pencil marks to fencing



Photo Ref #161: Pencil marks to fencing



Photo Ref #162: Pencil marks to fencing

# 19 Recommendations for Further Inspections

---

## **Recommendations for Further Inspections:**

- No further inspections are recommended

# 20 Certificate of Inspection

---

## Certificate of Inspection in encompassing NZS 4306:2005

<b>Client:</b>	John Smith
<b>Site Address:</b>	Sample Address
<b>Inspector:</b>	Kieran Long
<b>Company:</b>	CheckHome Limited
<b>Qualifications:</b>	Qualified Builder
<b>Report Type:</b>	Building Inspection Report
<b>Date of Inspection:</b>	31 May 2023
<b>Areas Inspected:</b>	Interior of Building, Exterior of Building

### Certification

I hereby certify that I have carried out the inspection of the property at the above address encompassing the only recognised standard in New Zealand, NZS 4306 2005 Residential Property Inspection and I am competent to undertake this inspection and comprise a certified report on this asset.

An inspection carried out encompassing NZS 4306 2005 is not a statement that a property complies with the requirement of any regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property inspection. Refer to NZS 4306 2005 for further detail.

Signature



On behalf of CheckHome Limited

6 June 2023

# 21 Appendix

---

## Appendix - Definitions

---

**High:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Typical:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Low:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Above Average:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**Average:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average:** The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Safety Hazard:** Is a Defect requiring building works to avoid unsafe conditions.

**Action Required:** Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**Minor Maintenance:** Any Defect other than what is described as a major defect.

**Further Investigation:** Is an issue considered important to bring to your attention, which may or may not be a Safety Hazard, Action Required item or a Minor Maintenance item.

**Accessible area:** is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.



# CheckHome.

## Building Inspections

**Inspecting Throughout  
New Zealand**



### PRE PURCHASE/ SALE INSPECTION

\$645 (Pending Size)



### HANDOVER REPORT

\$745 (Pending Size)



### HEALTHY HOMES REPORT

\$350 (Pending Size)



### MAINTENANCE REPORT

\$750 (Pending Size)



### COMMERCIAL INSPECTION

\$895 (Pending Size)



### BUILDING CONSULTANCY

(Quoted on a  
case by case basis)



### VIEW MORE / BOOK YOUR NEXT INSPECTION

To view more that we  
have to offer or make a  
booking, use our QR  
code or head to our  
website  
[www.checkhome.co.nz](http://www.checkhome.co.nz)



## 100% NZ OWNED & OPERATED

