



SAMPLE REPORT

PRE-PURCHASE BUILDING INSPECTION REPORT

For: John Smith

Mar 09, 2021

PROPERTY ADDRESS

Sample Address

Inspection Date: 09 Mar 2021

| Inspected by: Scott Topham

| Ph.: 0211199816

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03 Summary of Inspection

Results of Building Inspection - Summary

	Found	Not Found
Safety Hazard		✓
Action Required	✓	
Minor Maintenance	✓	

Please refer to the report for explanations.

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is Average.

04 Inspector

04 Inspector

Scott Topham, Qualified Builder

Ph. 0211199816

scott@checkhome.co.nz

05 Terms & Conditions

CheckHome building inspection terms and conditions

1. These terms and Conditions govern the property inspection services that CheckHome will provide to you. You must confirm in writing that you accept the terms and conditions before CheckHome Will provide the property inspection services.
2. The Terms and conditions cover:
 - the scope of CheckHome's inspection;
 - limitations on the resulting inspection report; and
 - CheckHome's terms of trade.

Applicable standard

3. The inspection and resulting report are undertaken in accordance with NZS 4306:2005, Residential Property Inspection. A copy of this standard is available at our office for inspection, or you may obtain a copy from Standards New Zealand.

Intellectual property

4. The inspection report is the intellectual property of, and upon creation the copyright vests in, CheckHome.

Inspection report personal to you

5. The inspection report will be prepared exclusively for you. You agree that the inspection report is personal to you and shall not be assigned or disclosed or distributed (other than disclosed or distributed to professional advisors) without the written permission of the CheckHome.
6. CheckHome accepts no liability to any person other than you. Any third party relying on the contents of the inspection report does so at their own risk and CheckHome disclaims any liability for any loss (direct or consequential), cost or damage resulting.

Limitation of liability

7. To the extent permitted by legislation, if CheckHome becomes liable to you, for any reason, for any loss, damage, harm or injury in any way connected with the completion of the inspection and/or the resulting report, its liability shall be limited to a sum not exceeding five times the fee paid, or payable, to CheckHome.
8. CheckHome will not be liable to you for any consequential loss of whatever nature suffered by you or any other person injured, and you agree to indemnify CheckHome in respect of any claims concerning any such loss.

Payment

9. You are responsible for paying CheckHome's fee. An invoice is sent with the inspection report. Total payment is required within 7 days of receipt of the invoice. An additional service charge of \$100 will be added to any debt collection fees.
10. You must pay CheckHome default interest compounding monthly on all monies due but unpaid, for the period from the expiry of the time provided for payment until actual payment. The right to default interest is additional to any other remedy that CheckHome may be entitled to. The rate of default interest is 7% per month.
11. CheckHome is entitled to recover from you, on an indemnity basis, all costs and expenses, including legal costs on a solicitor/client basis, incurred in connection with the recovery of any amount due and payable by you to CheckHome.

Cancellation Fee

12. A cancellation fee may be charged by CheckHome if an inspection is cancelled within 24 hours of the time arranged. The amount of the cancellation fee is recorded on CheckHome's website on the Pricing page:

<http://checkhome.co.nz>

Site Re-check Fee

13. Your engagement of CheckHome allows for one site visit per inspection. If, for any reason, you request an additional site visit, it will incur a site re-check fee. The amount of the site re-check fee is recorded on CheckHome's website on the Pricing page

<http://checkhome.co.nz>

Consumer Guarantees Act

14. Nothing in these terms and conditions limits your rights under the Consumer Guarantees Act 1993.

Scope of the inspection - visual inspection only

15. The scope of CheckHome's inspection is limited to a visual inspection of the components of the building that the inspector has reasonable access to and that are in the inspector's clear line of sight.
16. The inspection will not include:
 - examination of any areas or components which are concealed or closed behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring) or which require the moving of anything which impedes access or limits visibility (such as floor coverings, furniture, appliances, personal property, vehicles, vegetation, debris or soil);
 - intrusive or destructive inspection of any part of the building or any building component, disassembly of equipment, or the removal or testing of electrical or other building components or materials.

Multi-unit property

17. In a multi-unit property, the inspection and resulting report will only cover the condition of the interior and accessible parts of the immediate exterior of the unit and any related accessory units.

Reasonable access to be provided

18. You agree to ensure that reasonable access can be gained to the property, including but not limited to the roof cavity and foundation spaces and any such spaces if they exist are cleared for an inspection to be carried out.
19. 'Reasonable access' means access that is safe, unobstructed and which has a minimum clearance of 600mm for a roof cavity and 500mm for a floor cavity.
20. For safety reasons, access to the exterior of any roof surface for inspection purposes will only occur if:
 - the Weather is fine;
 - the Roof is dry;
 - the roof slope does not exceed 35°; and
 - the roof height does not exceed 2m.
21. Any area of the property that cannot be reasonably accessed will not be inspected and will be excluded from any inspection report. The report will state the areas that could not be inspected.

Scope of the inspection report

22. The inspection report should be seen as a reasonable attempt to identify any significant fault or defect visible at the time of the inspection, rather than an all encompassing report dealing with the building from every aspect. The reporting of any significant fault or defect is on an exceptional basis, rather than reporting on items, which are in an acceptable condition for their age.
23. We define significant fault or defect as 'a matter that requires substantial repairs or urgent attention and rectification'.
24. We will address the significant fault and/or defect in the summary section of the inspection report as maintenance or remedial work.

Limitations of the inspection report

25. The inspection report is intended only as a general guide to help you make your own evaluation of the overall condition of the building and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase.
26. The inspection report expresses the opinions of the inspector, based on his or her visual examination of the conditions that existed at the time of the inspection only.
27. The inspection and resulting report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered.
28. All building components and conditions which, by the nature of their location are concealed, deliberately hidden, camouflaged or difficult to inspect are excluded from the report.
29. Any suggestions or recommendations contained in the inspection report are suggestions only and it is the responsibility of the person or persons carrying out any design or building work to ensure that the most appropriate remedy is carried out in conjunction with any further discoveries, warranties or manufacturer's recommendation and warranties, and any necessary local authority concerns conveyed prior to proceeding with remedial work.
30. Inspection of the systems at the building are outside the scope of our inspection report. The inspector will, however, conduct a cursory check of the hot water system, the plumbing system, and the electrical system. You should note this will only be the opinion of the inspector, who is not a qualified plumber, electrician or gas fitter.
31. The inspection and resulting report should not be construed as a compliance inspection of any building, legal or territorial authority standards, codes or regulations. The inspection report is not intended to be a warranty or guarantee of the present or future weather tightness, adequacy or performance of the structure, its systems, or their component parts. The inspection report does not constitute any express or implied warranty of merchantability, fitness for use or habitation, or building code compliance and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or extended life of components are general statements based on information about similar components and occasional variations are to be expected between such estimates and actual experience.
32. You accept that the inspector will not detect some faults because:
 - The fault only occurs intermittently.
 - Part of the building has not been used for a while and the fault usually occurs after regular use (or detection of the fault would only occur after regular use).
 - The type of weather that would normally reveal the fault is not prevailing at, or around, the time of the inspection.
 - The fault has been deliberately concealed.
 - Furnishings are obscuring the fault.
 - We have been given incorrect information by you, the vendor, the real estate consultant, or any other person.
 - The fault is/was not apparent on a visual inspection.

Disputes

33. Should any dispute arise as a result of the inspection or resulting report, it must be submitted to CheckHome in writing immediately.
34. You agree that upon raising a dispute, the contents of the inspection report may not be used to satisfy any terms of a sale and purchase agreement until the disagreement/dispute has been resolved.
35. You agree that if, after raising a dispute, you used the inspection or resulting report to make an unconditional offer or confirm the sale and purchase agreement, that you waive all of your rights to continue with the dispute, and/or raise any future dispute or claim about the inspection or resulting report with CheckHome.
36. In the event of a claim/dispute regarding damage to a building, you will allow CheckHome to investigate the claim prior to any repairs to the building being undertaken or completed. You agree that if you do not allow CheckHome to investigate the claims of damage before any repairs are carried out, that you waive your rights to continue with and/or make any claims against CheckHome.
37. In the event of any dispute, you agree not to disturb, alter, repair, or attempt to repair anything that may constitute evidence relating to the dispute without first providing CheckHome with a reasonable opportunity to reinspect the building, except in the case of an emergency. You agree that if you do not provide CheckHome with a reasonable opportunity to reinspect the building before anything that may constitute evidence relating to the dispute is disturbed, altered, or repaired, that you waive your rights to continue with and/or make any claims against CheckHome.

06 Glossary

06 Glossary

Fascia boards and barge boards: Is a board fastened to the projecting gables of a roof to give them strength and mask, hide and protect the otherwise exposed end of the horizontal timbers or purlins of the roof to which they were attached.

Soffit/Eaves: The exposed under surface of any exterior overhanging section of a roof eave.

Cladding: The exterior wall claddings is the application of one material over another to provide a skin or layer intended to control the infiltration of weather elements, or for aesthetic purposes. Cladding does not necessarily have to provide a waterproof condition but is instead a control element.

Trim: (Skirting, scotia and architraves) the finishing timbers around the floor and ceiling and the timbers around windows and doors.

Hardware: Door handles, door hinges, bolts, latches, window hardware, screws, switch plates, and doorknockers.

Gully Trap: A gully trap is a basin in the ground with a water seal to prevent foul odour of the sewer reaching the surface.

Flashings: Are placed around discontinuities or objects which protrude from the roof of a building (such as pipes and chimneys, or the edges of other roofs) to deflect water away from seams or joints.

Bearer and Joists: A joist, in architecture and engineering, is one of the horizontal supporting members that run from wall to wall, wall to beam, or beam to beam to support a ceiling, roof, or floor. It may be made of wood, steel or concrete. Typically, a beam is bigger than, and is thus distinguished from, a joist. Joist are often supported by beams and are usually repetitive.

GIB: (Drywall), also known as plasterboard or gypsum board, is a panel made of gypsum plaster pressed between two thick sheets of paper. It is used to line interior walls and ceilings.

07 Description of Building

Type of Building:

Residential

Style of Building:

House

Number of Stories:

Single storey

Age of Building:

50-75 years old

Roof Covering:

Metal tiles over corrugated iron

Roof Frame:

Timber hand pitched & timber truss

External Walls:

Main Cladding; Timber weather board, Secondary Cladding; Fibrous cement sheeting

Floor Construction:

Timber on timber framed

Footings:

Concrete piles, Concrete ring foundation

Building Tenancy:

Owner

Building Furnished:

Yes

Building Frontage Faces:

North

08 General

Weather Conditions at the time of the inspection:

Clear & sunny

Recent weather conditions:

Clear & sunny

Date and time of inspection:

09 Mar 2021 10:00 AM

Building Furnished:

Yes

Occupied By:

Owner

Onsite attendees:

Agent, Vendor

Did the homeowner, Agent or representation disclose any known issues to the property?

No

Inspection Requested:

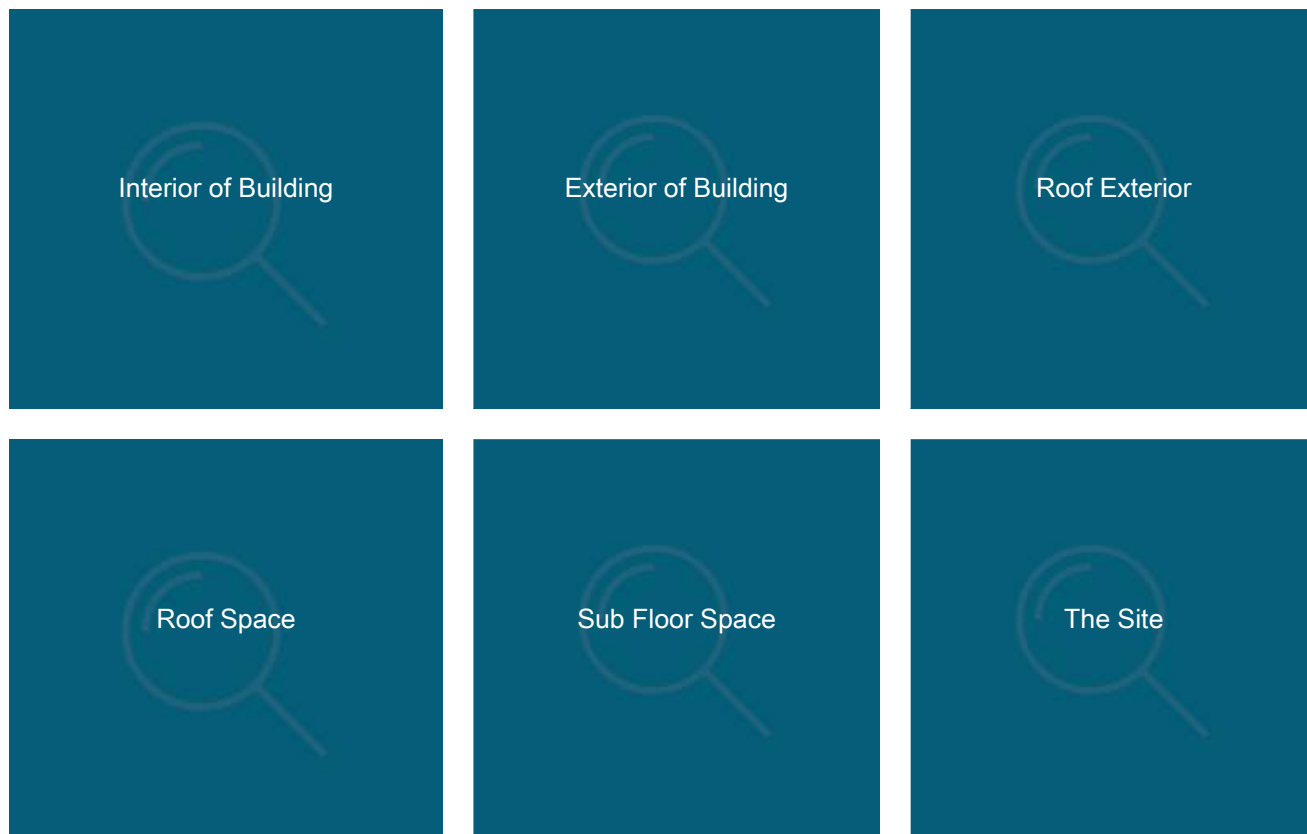
Pre-Purchase Building

Terms & Conditions Accepted:

Yes

09 Areas Inspected

The Actual Areas Inspected were:



10 Restrictions

10 Restrictions

Did the inspector have unrestricted access to all areas?

✗ No

EXPLANATIONS

Areas not inspected including reasons were::

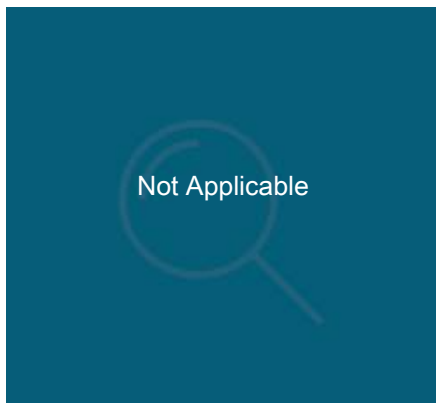
- Furniture, closed wardrobes/cupboards and clutter restricted full view of the interior in some areas,
- Storage restricted full view of the exterior cladding outside the kitchen,
- The roof space was only inspected from the man hole and no ceiling joists were inspected as these were covered by insulation,
- The floor joists or flooring was not visible at time inspection as this was covered by foil which was restricting the view,
- Vegetation restricted views of the fencing in areas, the garage was also full of storage restricting views of the wall and floor areas

Areas to which access should be gained, or fully gained, are::

- Roof space,
- Subfloor,
- Internally; storage/furniture,
- Garage storage,
- Walls & fencing

11 Areas Not Inspected

The Areas Not Inspected were:



12 Interior of Building

12 Interior of Building

Access Limitations

○ Furniture, closed wardrobes/cupboards and clutter restricted full view of the interior in some areas

IMAGES



Photo Ref #14 :



Photo Ref #15 :



Photo Ref #16 :

Ceilings; Are the ceiling linings in a reasonable condition for their age?

✓ Yes - The ceilings appeared in good condition for their age.

SUPPLEMENTARY INFORMATION

A mixture of plasterboard and softboard ceilings were in place, these appeared well painted and in good condition with minor plaster and paint imperfections sighted.

IMAGES



Photo Ref #17 :



Photo Ref #18 :



Photo Ref #19 :

Wall linings; Are the wall linings in reasonable condition for their age?

✓ Yes - The wall linings appeared in good condition for their age.

SUPPLEMENTARY INFORMATION

Plasterboard wall linings were in place, these appeared in good condition with some plaster imperfections noted in areas.

IMAGES

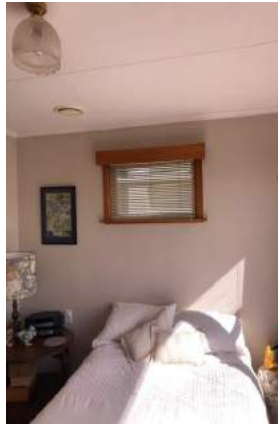


Photo Ref #23 :



Photo Ref #24 :

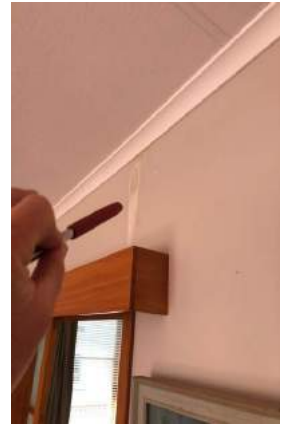


Photo Ref #25 :

Floors (Timber); Do the floors appear in reasonable condition for their age, and are they free of excessive movement?

✓ Yes - The timber floors were in good condition for their age with no excessive movement noted.

Floors; Are floors/floor coverings in reasonable condition for their age?

✓ Yes - The carpet floor coverings appeared in good condition for their age.

IMAGES



Photo Ref #26 :



Photo Ref #27 :



Photo Ref #28 :

Windows (Timber); Are the windows operating freely and are they in reasonable condition for their age and style?

✓ Yes - The single glazed accessible timber window units were operating freely and in good condition

IMAGES



Photo Ref #32 :



Photo Ref #33 :

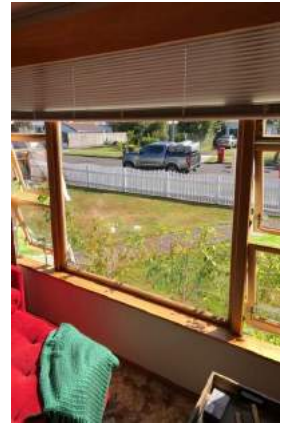


Photo Ref #34 :

Windows & doors joinery: Was there double glazing in place?

☐ No - Single glazed units were in place

SUPPLEMENTARY
INFORMATION

Overtime a great improvement would be to upgrade the joinery to double-glazing as this will improve energy efficiency and help to reduce condensation.

Doors/Frames; Do all doors and hardware operate freely and are they in reasonable condition for their age and style?

✓ Yes - The accessible doors were operating freely and in good condition.

IMAGES



Photo Ref #35 :

Locks; Do all doors and windows have security locks?

✓ Yes on the doors & some windows

Kitchen; Is the benchtop in reasonable condition for its age and sealed at the wall junction?

✓ Yes - The benchtop appeared in reasonable condition for its age and was well sealed at wall junction.

EXPLANATIONS

Details :

- Some minor water damage was noted to the front edge of the benchtop. Improvement can take place if desired.

Rating:

Observation

IMAGES



Photo Ref #36 :



Photo Ref #37 :

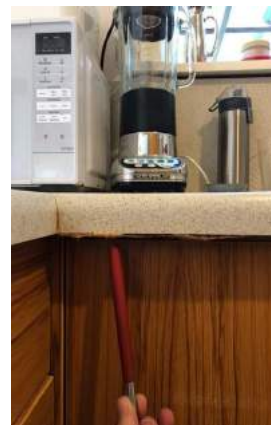


Photo Ref #38 :

Kitchen; Is the cabinetry in reasonable condition for its age and in working order?

✓ Yes - The cabinetry appeared in good condition for its age and was in working order.

IMAGES



Photo Ref #39 :



Photo Ref #40 :



Photo Ref #41 :

Kitchen; Are the sinks/taps free of defects, leaks and does the water supply operate correctly?

✓ Yes - The sink and taps appeared free from defect and the water supply was operating correctly.

IMAGES



Photo Ref #43 :

Bathrooms/WC; Are cisterns/pans/bidets free of cracks, leakages, do they flush correctly and are they stable and rigid?

✗ No - The pan was inadequately secured to the floor

SUPPLEMENTARY
INFORMATION

The pan requires securing to the floor to prevent movement & leakages. Maintenance is required by a tradesman plumber.

EXPLANATIONS

Rating: Minor Maintenance

IMAGES



Photo Ref #45 :

Bathrooms/WC; Are taps free of leaks, and does the water supply operate correctly?

✓ Yes - The taps appeared free from leaks and the water supply was operating correctly.

IMAGES



Photo Ref #46 :

Bathrooms/WC; Are the floor coverings in reasonable condition for their age and appear watertight?

✗ No - Vinyl sealing required

SUPPLEMENTARY
INFORMATION

The vinyl floor coverings require sealing around the perimeter so they are watertight and to prevent floor damage and the vinyl up lifting.

EXPLANATIONS

Rating: Minor Maintenance

IMAGES



Photo Ref #47 :



Photo Ref #48 :



Photo Ref #49 :

Bathrooms/WC; Is the shower, free of signs of leaking/seepage or other defects?

✓ Yes - The shower over bath appeared free of signs of leaking/seepage and other defects.

IMAGES



Photo Ref #50 :



Photo Ref #51 :



Photo Ref #52 :

IMAGES

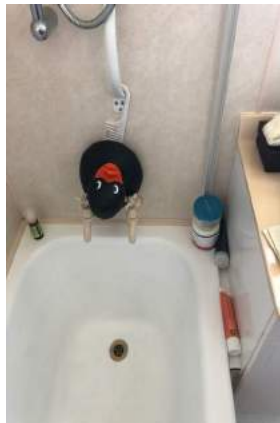


Photo Ref #53 :

Bathrooms/WC; Is the vanity/basin and cabinet in reasonable condition for their age and in working order?

✓ Yes - The vanity appeared in reasonable condition and in working order with some minor wear noted to the bottom of the doors.

IMAGES



Photo Ref #55 :



Photo Ref #56 :

Bathrooms/WC; Is the bathroom adequately ventilated?

✓ Yes - The bathroom appeared adequately ventilated.

IMAGES



Photo Ref #57 :

Laundry; Are taps free of leaks, and does the water supply operate correctly?

✓ Yes - The taps appeared free from leaks and the water supply was operating correctly.

IMAGES



Photo Ref #59 :

Laundry; Is the tub/cabinet in reasonable condition for their age and in working order?

✓ Yes - The tub appeared in good condition and in working order.

IMAGES



Photo Ref #60 :

Laundry; Are the floor coverings in reasonable condition for their age and appear watertight?

✓ Yes - The floor covering appeared in reasonable condition and watertight where visible.

IMAGES



Photo Ref #61 :

Laundry; Is the room adequately ventilated?

✓ Yes - The laundry appeared adequately ventilated.

13 Exterior of Building

13 Exterior of Building

Access Limitations

○ Storage restricted full view of the exterior cladding outside the kitchen

IMAGES

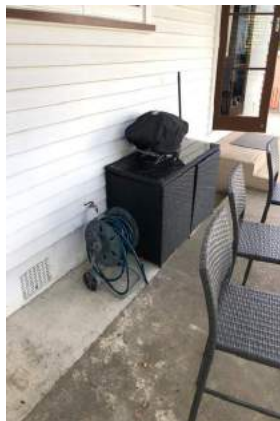


Photo Ref #64 :

Walls; Are all walls/wall cladding free of defect/damage, and is the paint/coating maintained?

✓ Yes - The timber weatherboards appeared solid, well painted and in good condition for their age.

SUPPLEMENTARY INFORMATION

The dwelling is clad in a bevel back timber weatherboard directly fixed to framework, overall the weatherboards appeared well painted and of sound condition. However minor improvements are recommended in areas. Refer to details below.

EXPLANATIONS

Details :

- I recommend installing corner soaker flashings to the external corners, this will help prevent the chance of moisture ingress and keep these joins well sealed.
- Minor paint imperfections were noted to the bathroom wall, I recommend touch ups take place.

Rating:

Minor Maintenance

IMAGES



Photo Ref #70 :



Photo Ref #71 :



Photo Ref #72 :

IMAGES



Photo Ref #73 :



Photo Ref #74 :



Photo Ref #75 :

IMAGES



Photo Ref #76 :



Photo Ref #77 :

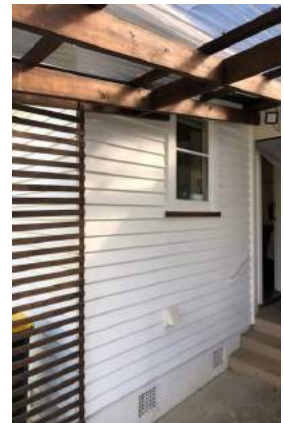


Photo Ref #78 :

Walls; Are all walls/wall cladding free of defect/damage, and is the paint/coating maintained?

✓ Yes - The fibrous cement sheeting at the back door appeared in good condition for the age of the property.

EXPLANATIONS

Details :

- Take note this cladding may contain asbestos due to age, however this is unknown without lab testing. I recommend keeping it well painted at all times and testing is recommended prior to any remedial works.

IMAGES



Photo Ref #79 :



Photo Ref #80 :



Photo Ref #81 :

Walls; Does the wall cladding have suitable flashings and damp proof course, and is it free of dampness damage?

✓ Yes

Walls; For doors & windows, do suitable flashings, mouldings, and sills exist & are they free of defect/damage?

✓ Yes - Overall the window and door units appeared well painted and in good condition for their age. However a handful of rusted head flashings were sighted

SUPPLEMENTARY INFORMATION

The rusted head flashings sighted above the windows & doors will require rust treatment repair work to ensure a weathertight barrier and prevent water ingress. This is a simple task for a licensed painter.

EXPLANATIONS

Rating:

Minor Maintenance

IMAGES



Photo Ref #83 :



Photo Ref #84 :



Photo Ref #85 :

IMAGES



Photo Ref #86 :



Photo Ref #87 :



Photo Ref #88 :

Wall frames (Timber or steel); Are frames free of bulging, appear plumb and structurally rigid?

✓ Yes

Balconies/verandahs/patios/decks/suspended floors/balustrades; do they appear structurally sound and in reasonable condition for their age?

✓ Yes - The patio appears structurally sound and in reasonable condition for its age with some typical cracks sighted.

IMAGES



Photo Ref #89 :



Photo Ref #90 :

14 Roof Exterior

14 Roof Exterior

Access Limitations

✓ No limitations

Roof; For tiles, shingles, slates, is the roof free of cracked and broken/decayed tiles?

✗ No - Dented and loose tiles were noted

SUPPLEMENTARY INFORMATION

A metal tiled roof was in place. Some deterioration was sighted due to age, the metal tile roof requires minor re coating and painting on the front section of the roof to prevent rusting and also ensure it is watertight. Replacement is required of all dented tiles as this will allow water to sit in the tile and cause rust, further investigation is required by a licensed roofing specialist.

Take note the coating on the metal tiles may contain asbestos due to age however this is unknown without lab testing, I recommend testing takes place prior to any remedial works.

EXPLANATIONS

Details :

- Take note this metal tiled roof appears too have been installed over the top of the original corrugated iron roof. The condition of the corrugated iron below and how the metal tiled roof is connected to the below roof is unknown without an invasive inspection, also take into consideration should a re roof take place to the metal tiles it is more than likely the corrugated iron will also need replacement.

Rating:

Action Required

IMAGES



Photo Ref #91 :



Photo Ref #92 :



Photo Ref #93 :

IMAGES



Photo Ref #94 :



Photo Ref #95 :



Photo Ref #96 :

IMAGES



Photo Ref #97 :



Photo Ref #98 :



Photo Ref #99 :

IMAGES



Photo Ref #100 :



Photo Ref #101 :

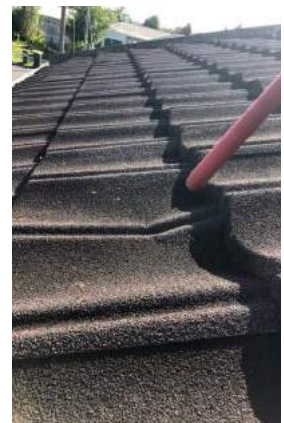


Photo Ref #102 :

IMAGES



Photo Ref #103 :



Photo Ref #104 :



Photo Ref #105 :

Roof; Is the roof free of bulges, sagging or other movement?

✓ Yes

Vents & flues; Do the services and flashings appear water tight?

✗ No - Seal deterioration detected

SUPPLEMENTARY INFORMATION

I recommend upgrading the vent seals with a water tight seal, this can take place by a licensed plumbing or roofing contractor.

EXPLANATIONS

Rating:

Action Required

IMAGES



Photo Ref #106 :



Photo Ref #107 :



Photo Ref #108 :

Valleys; Are they free of rust, and do they appear to drain effectively?

✓ Yes - The valleys appeared functional with no major deterioration or blockages sighted at the time of the inspection.

EXPLANATIONS

Details :

- Take note the original corrugated iron valley tray is still in place below and rust deterioration was noted.

IMAGES



Photo Ref #110 :



Photo Ref #111 :



Photo Ref #112 :

Gutters & downpipes; Are they free of rust, and do they appear to drain effectively?

✓ Yes - The gutters & downpipes appeared functional with no major blocking sighted.

IMAGES



Photo Ref #113 :



Photo Ref #114 :



Photo Ref #115 :

Eaves/fascias/barges; Are they free of corrosion/decay and do they appear to be sufficiently rigid?

✓ Yes - No visible damage and appear to be in reasonable condition for the age of the building.

SUPPLEMENTARY
INFORMATION

Be aware that due to the age of the eave product there is a chance it contains asbestos, this is unknown without lab testing. CheckHome recommends keeping the product painted and sealed, we recommend testing prior to any remedial works taking place.

IMAGES



Photo Ref #116 :

Chimneys; Do chimneys appear plumb and structurally sound, with adequate flashings?

✗ No - Chimney cracks were detected

SUPPLEMENTARY INFORMATION

Chimney cracks were sighted, this style of chimney is a safety hazard in the event of an earthquake. I recommend repairing or removing now, seek further advice from a structural engineer.

EXPLANATIONS

Rating:

Further investigation

IMAGES



Photo Ref #117 :



Photo Ref #118 :

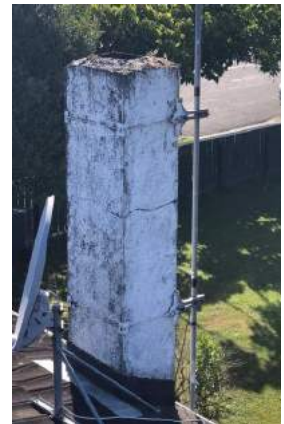


Photo Ref #119 :

15 Roof Space

15 Roof Space

Access Limitations

○ The roof space was only inspected from the man hole and no ceiling joists were inspected as these were covered by insulation

IMAGES



Photo Ref #120 :



Photo Ref #121 :

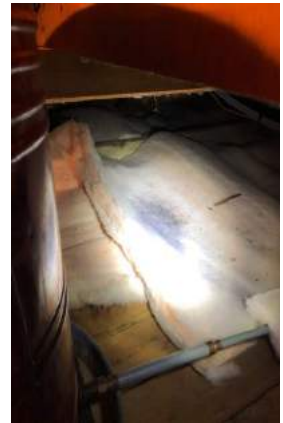


Photo Ref #122 :

Roof; Is the underside of the roof free of water staining or observed daylight?

✓ Yes

Roof framing; Does the framing appear to be structurally sound and free of defects/decay/corrosion or other damage?

✓ Yes - The visible roof framing members were in reasonable condition for the age of this dwelling

Roof framing; Is the framing free of modifications?

✗ No - It appears modification have taken place, I recommend further investigation takes place by checking the plans to see if the modifications have a consent or permit.

IMAGES



Photo Ref #123 :

Roofing paper; Is the building paper in place, and is it free of holes/tears or other damage?

✗ No - Tears and holes exist

SUPPLEMENTARY
INFORMATION

Repairs and maintenance is recommended in the affected areas to ensure this is a weathertight barrier.

EXPLANATIONS

Rating:

Minor Maintenance

IMAGES



Photo Ref #124 :



Photo Ref #125 :



Photo Ref #126 :

Insulation; If insulation exists on the upper surface of the ceiling, does it fully cover the ceiling area, and not interfere with electrical fixtures?

✓ Yes - Insulated and adequate clearance from electrical fixtures.

IMAGES



Photo Ref #127 :



Photo Ref #128 :



Photo Ref #129 :

General; Is the roof space free of any other damage or defects?

✗ No - Securing is required to the header tank

SUPPLEMENTARY
INFORMATION

This is to help prevent movement in the event of an earthquake.

EXPLANATIONS

Rating:

Minor Maintenance

IMAGES



Photo Ref #130 :

16 Sub Floor Space

16 Sub Floor Space

Access Limitations

○ The floor joists or flooring was not visible at time inspection as this was covered by foil which was restricting the view

IMAGES



Photo Ref #131 :

Timber floor; Are bearers and joists free of deflection and sag, are they free of cracks, corrosion and decay?

✓ Yes - Where visible the bearers and joists appear in sufficient condition for their age.

Timber floor; Do piles/posts appear to be structurally sound, with undamaged antcaps, and free of cracks, corrosion, decay?

✓ Yes - The piles where visible appear in sufficient condition for their age at time of inspection.

Timber floor; Does the sub floor area appear to be adequately ventilated, and free of dampness?

✓ Yes - The ventilation appears adequate where visible.

IMAGES



Photo Ref #132 :

Timber floor; Are the floor boards free of dampness and decay?

✓ Yes - Where visible the floor boards appear free of dampness and decay.

SUPPLEMENTARY INFORMATION

Due to limited access in the subfloor space not all can be visibly seen, further investigation will be required.

IMAGES



Photo Ref #133 :



Photo Ref #134 :

Timber floor; Was there underfloor insulation in place and was it in good condition?

✗ No - Older style foil is in place throughout the majority of the subfloor

SUPPLEMENTARY INFORMATION

Older style foil was in place, improvement can be made by insulating this area. Take note this style of insulation can be a safety hazard, This product has the potential of becoming live if wires are in contact with the foil. Removal is highly recommended by an insulation specialist or licensed builder when power is disconnected.

EXPLANATIONS

Rating: Minor Maintenance

IMAGES



Photo Ref #136 :



Photo Ref #137 :

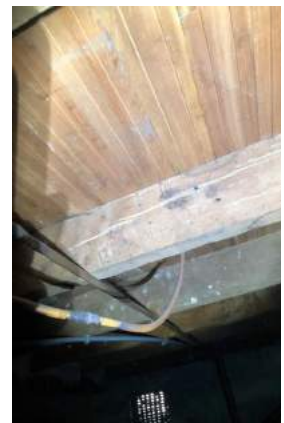


Photo Ref #138 :

Sub floor; Was the subfloor free of borer?

✗ No - Borer was sighted in the timber

SUPPLEMENTARY
INFORMATION

Treatment is required now by a specialist to prevent deterioration. Further investigation is required by a specialist,

EXPLANATIONS

Rating: Further investigation

IMAGES



Photo Ref #139 :



Photo Ref #140 :

Has the house been re piled?

☐ Not required

SUPPLEMENTARY
INFORMATION

The piles where visible appear in sufficient condition for the age of the property.

What type of piles were in place?

☐ Concrete

IMAGES



Photo Ref #142 :



Photo Ref #143 :



Photo Ref #144 :

Were there pile connectors in place and were they free of corrosion?

✓ Yes - Pile connectors were sighted where visible.

IMAGES



Photo Ref #145 :



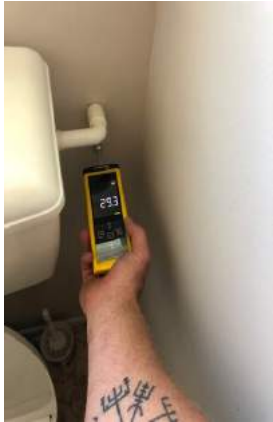
17 Moisture

17 Moisture

This was a non invasive moisture test to random areas of possible concern (like around the windows and doors on the exterior walls and wet areas; or areas with pipe work running through them). Accessible areas have been checked on the interior to check for moisture within the wall cavity. The moisture measurement is up to approximately 40mm deep. Levels will vary from house to house and any elevated reading will be recorded and further investigation will be required. The conditions and treatment type of internal framing is not known. An invasive instrument will never be used to prevent damage.

Were the moisture readings sufficient at the time of the inspection?

✗ No - Elevated moisture readings were detected in the one located area of the dwelling, further investigation and elimination of the elevated readings noted is recommended.

EXPLANATIONS	<div>Location of elevated moisture reading(s) -</div> <div>Optional:</div> <div>Rating:</div> <div>- Right of the shower at skirting height; Take note this appears to be caused by water dripping off the shower curtain.</div> <div>Further Investigation Required</div>		
IMAGES			
	Photo Ref #170 : Sufficient reading	Photo Ref #171 : Sufficient reading	Photo Ref #172 : Sufficient reading

IMAGES



Photo Ref #173 :
Elevated moisture;
Right of the shower at
skirting height



Photo Ref #174 :
Sufficient reading



Photo Ref #175 :
Sufficient reading

IMAGES



Photo Ref #176 :
Sufficient reading



Photo Ref #177 :
Sufficient reading

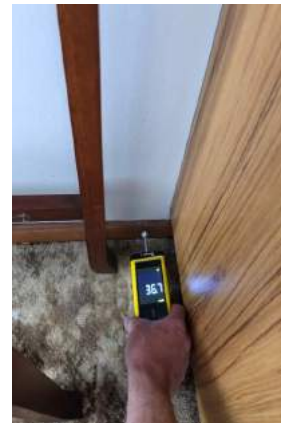


Photo Ref #178 :
Sufficient reading

Does the house have a moisture system?

✓ Yes

IMAGES



Photo Ref #179 :

Moisture instrument used

☐ Trotec T660

SUPPLEMENTARY INFORMATION

The Trotec T660 is a non invasive moisture meter that measures capacitance. This has a scale of 0 – 199 & detects up to 40mm deep. In general any reading above 60 generally indicates there could be moisture entering the building envelope.

IMAGES



Photo Ref #180 :

Recommendations: To keep readings down, keep exterior watertight and weather tight, ensure there is a sufficient amount of paint on the building, ensure the flashings meet the building code NZS 3604, and the roof is water tight.

18 Electrical

18 Electrical

Lights; Were the lights tested and working?

✗ No - Older style switches were in place & some blown bulbs detected

SUPPLEMENTARY INFORMATION

Upgrades to the switches are recommended in the near future. It is recommended the bulbs are tested prior to settlement, further investigation is required by a licensed electrician.

EXPLANATIONS

Location :
- Hallway
- Dining room
Rating: Minor Maintenance

IMAGES



Photo Ref #181 :



Photo Ref #182 :



Photo Ref #183 :

Power Points; Were the power points tested and working?

✓ Yes - However older style hot points were in place

SUPPLEMENTARY INFORMATION

Upgrades are recommended to the older hot points in the near future.

EXPLANATIONS

Rating: Recommendation

IMAGES



Photo Ref #184 :

Electrical Cable type?

☐ Two core cabling sighted, TPS wiring sighted

IMAGES



Photo Ref #185 :

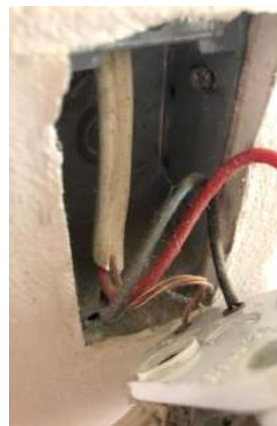


Photo Ref #186 :

Overhead cables; Were the overhead wires clear from trees?

✓ Yes

Meter Board Position

☐ Back of house

IMAGES



Photo Ref #187 :

Meter Type

☐ Smart meter

IMAGES



Photo Ref #188 :

Fuse Switchboard

☐ Some older porcelain fuses sighted and some newer sighted, I recommend having a licensed electrician inspect this fuse board to see what fuses are in use. I recommend all fuses are circuit breakers, upgrades are recommended on this style switch board in the near future to keep up with current safety standards.

EXPLANATIONS

Rating:

Action Required

IMAGES

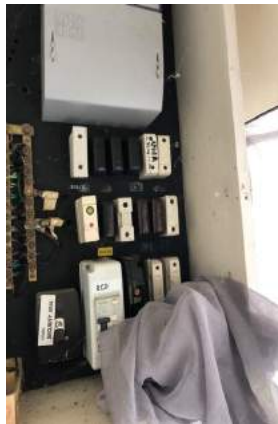


Photo Ref #189 :

Has the house been rewired?

☐ Not required

SUPPLEMENTARY INFORMATION

The wiring sighted appears in sufficient condition for its age where visible.

Alarm; Does the house have an alarm system?

☒ No

Exterior Lights; Tested and in good working order?

✓ Yes

IMAGES



Photo Ref #190 :

Were Smoke Alarms Sighted?

✓ Yes, adequate number and type

EXPLANATIONS

Replacement
Recommended:
Type:

No

Battery Smoke Alarms

IMAGES



Photo Ref #191 :

19 Plumbing

19 Plumbing

Hot Water Cylinder

☐ Electric cylinder - Low Pressure System

IMAGES



Photo Ref #192 :



Photo Ref #193 :

Age of Cylinder

☐ Unable to sight

SUPPLEMENTARY INFORMATION

The age on the cylinder was not visible, further investigation is recommended.

Is the plumbing generally in good condition?

✓ Yes

SUPPLEMENTARY INFORMATION

The plumbing appears in sufficient condition for its age where visible.

Plumbing Pipe Type Sighted

☐ Copper pipe, Grey pipe, PVC, Galvanised pipe

Where gully traps clear and free of defect?

✓ Yes

Foul Water (Sewer & Waste)

☐ Earthenware drains (older style)

IMAGES



Photo Ref #194 :

Were the downpipes connected to stormwater or water tank system?

✓ Yes

Position of Water Toby

☐ Front of house

IMAGES



Photo Ref #195 :



Photo Ref #196 :

Did the hot water cylinder have a seismic strap & over flow tray in place?

✗ No - There is no seismic strap or overflow tray in place

SUPPLEMENTARY
INFORMATION

It is recommended a seismic strap and a overflow tray is installed.

General; Is the plumbing or drainage free of any other damage or defects that can be visually seen?

✓ Yes

Plumbing Comments:

☐ The water pressure was tested and sufficient for the current system in place.

(Note: For underground pipe work we recommend a camera inspection, which will show the areas that we are unable to sight)

20 The Site

20 The Site

Access Limitations

○ Vegetation restricted views of the fencing in areas, the garage was also full of storage restricting views of the wall and floor areas

IMAGES



Photo Ref #197 :



Photo Ref #198 :



Photo Ref #199 :

Buildings; For car accommodation, detached laundry/ablution, garden sheds, do the buildings appear structurally sound and free of defects/damage?

✗ No - Deterioration detected due to age

SUPPLEMENTARY INFORMATION

Repairs are required by a licensed building and roofing contractor as deterioration was detected to the garage due to age, improvement should be made to prevent further deterioration.

EXPLANATIONS

Details :

- Take note the roof coating and some of the garage cladding may contain asbestos due to age however this is unknown without lab testing. I recommend testing takes place prior to any remedial works

Rating:

Minor Maintenance

IMAGES



Photo Ref #203 :



Photo Ref #204 :



Photo Ref #205 :

IMAGES

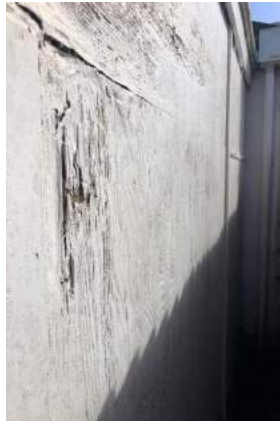


Photo Ref #206 :



Photo Ref #207 :



Photo Ref #208 :

IMAGES



Photo Ref #209 :



Photo Ref #210 :

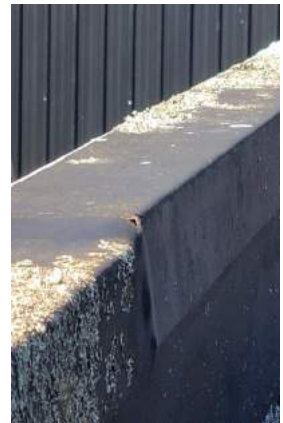


Photo Ref #211 :

Buildings; For car accommodation, detached laundry/ablution, garden sheds, do the buildings appear structurally sound and free of defects/damage?

✓ Yes - The carport appeared structurally sound and free of defects/damage. However one improvement is recommended.

SUPPLEMENTARY INFORMATION

Yes - The carport appeared structurally sound and free of defects/damage. However one improvement is recommended.

EXPLANATIONS

Details :

- It is recommended that multi grips are installed to the rafter to beam junction to ensure this connection does not pull apart in the future.

Rating:

Recommendation

IMAGES



Photo Ref #212 :



Photo Ref #213 :



Photo Ref #214 :

Paths and Driveways; Are all areas free of subsidence/cracking, and are they undamaged and safe to walk upon?

✗ No - Cracks were sighted

SUPPLEMENTARY INFORMATION

Cracks were sighted from general settlement and movement over the years, improvements can be made if desired.

EXPLANATIONS

Rating:

Observation

IMAGES



Photo Ref #216 :



Photo Ref #217 :

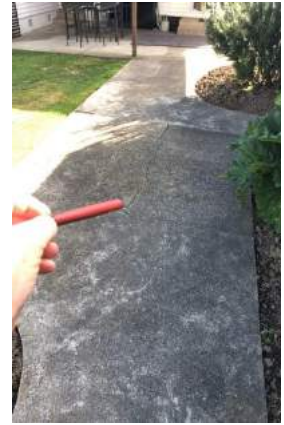


Photo Ref #218 :

Steps; Are all areas free of subsidence, trips hazards and safe to walk upon?

✓ Yes

Fencing; Do general fences appear in reasonable condition for their age?

✗ No - The fencing was directly fixed to the dwelling

SUPPLEMENTARY INFORMATION

I recommend there is a gap of at least 15mm where the fence meets the dwelling to prevent water ingress.

EXPLANATIONS

Details :

- The fence at the back of the section is leaning over. Repairs are recommended.

Rating:

Minor Maintenance

IMAGES



Photo Ref #220 :

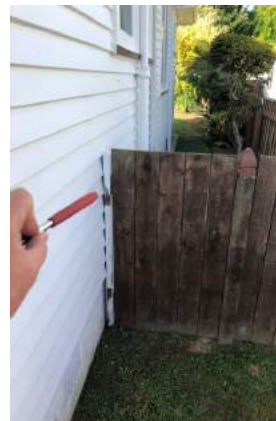


Photo Ref #221 :



Photo Ref #222 :

Surface water; Does rainwater drain effectively and not pond against structures?

✓ Yes - The paving or paths around the walls appeared to be adequately drained away from the foundation. There was no visible evidence of excess ponding or fall towards the homes walls at the time of the inspection.

21 Other Inspections and Reports Required

21 Other Inspections and Reports Required

Recommendations for Further Inspections:

CheckHome recommends the council records & the lim report are both checked by a property lawyer, yearly maintenance reports are also recommended

22 Cracking to Building Members

22 Cracking to Building Members

Is there cracking to the Building Members:

✓ Not applicable

23 Summary

23 Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Action Required Items in this Residential Building as compared with similar Buildings is considered:

Low

The incidence of Minor Maintenance in this Residential Building as compared with similar Buildings is considered:

Typical

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

Average

Overall Condition Comments:

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The property is considered to be solid and in average condition for its age. The dwelling is well built and appears to have withstood the test of time. The issues that are identified in this report, and that fall within the scope of the inspection and/or are not otherwise excluded under our terms and conditions, fall within the category of repair and maintenance.

The matters that we recommend require priority attention are summarised below. As with any dwelling of this age, ongoing maintenance is required, and it is often a good idea to obtain a regular maintenance report to achieve this.

- **Roof** - A metal tiled roof was in place. Some deterioration was sighted due to age, the metal tile roof requires minor re coating and painting on the front section of the roof to prevent rusting and also ensure it is watertight. Replacement is required of all dented tiles as this will allow water to sit in the tile and cause rust, further investigation is required by a licensed roofing specialist.

- Take note this metal tiled roof appears too have been installed over the top of the original corrugated iron roof. The condition of the corrugated iron below and how the metal tiled roof is connected to the below roof is unknown without an invasive inspection, also take into consideration should a re roof take place to the metal tiles it is more than likely the corrugated iron will also need replacement.

- **Joinery** - The rusted head flashings sighted above the windows & doors will require rust treatment repair work to ensure a weathertight barrier and prevent water ingress. This is a simple task for a licensed painter.

- **Electrical** - I recommend upgrades take place to the fuse board to ensure these areas are safe and compliant this should take place by a licensed electrician.

- **Moisture** - Elevated moisture was detected in the bathroom, I recommend further investigation and external repairs take place to reduce this, the in the wall condition is unknown. Elimination work is required in these areas.

Maintenance is important to all houses, I recommend washing down the house, clearing gutters and drains regularly. It is also important to keep a sufficient amount of paint on exterior cladding as paint acts as a protective coating. Always ensure your house is weather tight and sealed.

I recommend having a lawyer read over the lim report & check if there are outstanding consents or any information that you may not be aware of about this property. Ask for all manuals and warranties for recent work that has taken place. Always understand the risk of buildings in the event of an earthquake.

Notes & Recommendations

- *Heat pumps should be serviced & checked by a specialist & always cleaned as per manual.*
- *The chattels were not tested during this inspection, it is recommended these be checked on the final inspection before settlement.*
- *Given the age of the house it is unknown if products contain asbestos or lead without having lab testing.*
- *It is unknown if wall insulation is in place as this cannot be visually seen, thermal imaging could determine this.*
- *The electrical power points & switches were only tested in visible and accessible areas.*
- *The testing of fire places or heating is outside the scope of inspection, we recommend testing takes place by a specialist prior to use.*

Please Note:

This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This report is for the use of **John Smith** and cannot be used against CheckHome in anyway. This is the opinion of the building inspector on the day of the inspection

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

24 Certificate of Inspection

24 Certificate of inspection



Certificate of Inspection in accordance with NZS 4306:2005

Client:	John Smith
Site Address:	Sample Address
Inspector:	Scott Topham
Company:	CheckHome Wairarapa Limited
Qualifications:	Qualified Builder
Report Type:	Pre-Purchase Building Inspection Report
Date of Inspection:	09 Mar 2021
Areas Inspected:	Interior of Building, Exterior of Building, Roof Exterior, Roof Space, Sub Floor Space, The Site

Certification

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspection, and I am competent to undertake this inspection.

An inspection carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems.

Signature

A handwritten signature in blue ink, appearing to read "Scott Topham".

On behalf of CheckHome Limited

9 March 2021

25 Appendix

Appendix - Definitions

High: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Typical: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Low: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

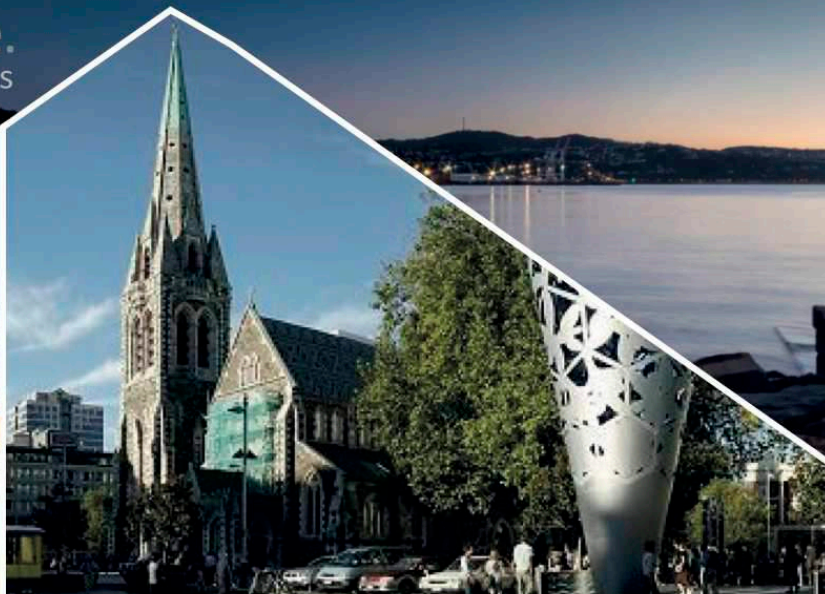
Safety Hazard: Is a Defect requiring building works to avoid unsafe conditions.

Action Required: Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Maintenance: Any Defect other than what is described as a major defect.

Further Investigation: Is an issue considered important to bring to your attention, which may or may not be a Safety Hazard, Action Required item or a Minor Maintenance item.

Accessible area: is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.



- Pre Purchase Inspection
- Pre Sale Inspection
- Maintenance Report
- Moisture Testing
- Interior Inspection
- Asbestos Testing
- Meth Testing
- Earthquake Inspection
- Handover Inspection



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