



# SAMPLE REPORT

## MAINTENANCE INSPECTION REPORT

for Sample Report

Apr 14, 2022

**PROPERTY ADDRESS**

Sample Report Address  
Lower Hutt, Wellington  
New Zealand

Inspected by: Kieran Long | Inspection Date: 14 Apr 2022 | Ph: 0212621120

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# 03 Summary of Inspection

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## Results of Building Inspection - Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

**The incidence of Safety Hazards** in this Residential Building as compared with similar Buildings is considered:

**Typical**

**The incidence of Action Required Items** in this Residential Building as compared with similar Buildings is considered:

**Typical**

**The incidence of Minor Maintenance** in this Residential Building as compared with similar Buildings is considered:

**Typical**

**The overall condition** of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

**Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.**

## Overall Condition Comments:

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**The property is considered to be solid and in good condition for its age. The dwelling is well designed and built, and appears to have withstood the test of time. The issues that are identified in this report, and that fall within the scope of the inspection and/or are not otherwise excluded under our terms and conditions, fall within the category of repair and maintenance.**

**The matters that we recommend require priority attention are summarised below.**

**- Roof - Lower Roof:** A lightweight metal sheet & flashing roof was in place. This was in average condition for its age, flashing defects were detected. Gaps were visible to the apron flashing at the cladding junction. Upgrades to the flashing junctions are required now to ensure they are performing and watertight. A licensed roofer should be engaged to assess and complete.

**Upper roof:** The apron flashing from the upper roof over the western end of the hallway was installed in an unconventional way. The upstand of the flashing has been installed on the face of the cladding, ideally, this should be installed behind the cladding to ensure a more weathertight junction. Water ingress and elevated moisture readings were detected below this area, refer to the moisture section for location. It is recommended that upgrades to the flashings take place. Engage a licensed roofer to determine the best repair solution.

**- Chimney -** Two brick chimneys were in place, movement was detected to the southern chimney in place. Brick chimneys are a recognised hazard in the event of an earthquake, due to the movement detected, we recommend engaging a specialist now to determine if strengthening or removal is recommended

**- Borer -** Borer was sighted to some of the timbers in the property; this is not unusual in a property of this age but should not be left unchecked. I recommend treatment by a specialist to prevent any further deterioration, the in wall condition of the framing is unknown as this can't be physically seen. Further investigation is required by a specialist.

**- Cladding -** The majority of the timber weatherboard cladding appeared to be performing and in reasonable condition for its age. The paint coating was generally well maintained. Some timber and paint deterioration were sighted in localised areas. Timber decay was detected to sections of the weatherboards on the southern face as photographed below. A builder should be engaged to repair or replace the defective boards as soon as possible to prevent possible water ingress and weatherboard deterioration. Deterioration to the paint coating was sighted to the majority of the cladding as photographed below. The cladding requires a full repaint to ensure the cladding is sealed to help prevent further deterioration. A trade qualified painter should be engaged to complete.

**- Doors & windows -** The majority of door & window units have suitable flashings. The units were in average/below-average condition for their age. Deterioration to the paint coating was sighted to the majority of the joinery as photographed below. The units require a full repaint to ensure they are sealed to help prevent further deterioration. A trade qualified painter should be engaged to complete.

- Timber decay was detected to the downstairs lounge northern door unit and the kitchen northern door unit, replacement of the entire units is recommended.

**- Decks -** The membrane decks appeared in average condition for their age, defects were detected. The decking has a waterproofing coating installed overtop of a timber substrate. The waterproof coating was in below-average condition. Cracks and deterioration to the coating were detected. Upgrades to the deck

and waterproofing are required now to ensure the deck is watertight. A membrane specialist should be engaged to assess and determine the best repair method.

**- Subfloor -** The foundations appeared in average condition for their age.

- A number of piles have been overpacked in areas, this appears to have taken place to help level the floor due to settlement over the years. A general rule of thumb is that any pile that is packed over 100mm should be replaced with a new longer pile to provide sufficient support. Engage a licensed builder or piling specialist to improve these areas.

- No pile/foundation connectors were sighted. Pile connectors anchor the pile to timber subfloor framing to help prevent potential movement which is particularly important during earthquakes. A licensed builder or piling specialist should be engaged to assess and determine if the installation of new pile connectors is recommended.

**- Moisture –** Elevated moisture was detected in areas of the dwelling, I recommend further investigation and external repairs take place to reduce this, the in the wall condition is unknown. Elimination work is required in these areas.

Maintenance is important to all houses, I recommend washing down the house, clearing gutters and drains regularly. It is also important to keep a sufficient amount of paint on exterior cladding as paint acts as a protective coating. Always ensure your house is weathertight and sealed.

#### Notes & Recommendations

- *Our inspection was unable to determine if the house contains scrim, considering the age of the property we would advise further investigation take place.*
- *The chattels were not tested during this inspection, it is recommended these be checked on the final inspection before settlement.*
- *Given the age of the house, it is unknown if products contain asbestos or lead without having lab testing.*
- *The electrical power points & switches were only tested in visible and accessible areas.*
- *The tanking/waterproofing membrane was not visible at the time of inspection, we recommend further investigation take place by a specialist to determine the condition.*
- *The testing of fireplaces or heating is outside the scope of the inspection, we recommend testing takes place by a specialist prior to use.*

#### Please Note:

This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This report is for the use of I **Clients Name** and cannot be used be against CheckHome in anyway. This is the opinion of the building inspector on the day of the inspection

**This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.**

## 04 Inspector

Kieran Long, Qualified Builder

Ph. 0212621120

kieran@checkhome.co.nz

# 05 Terms & Conditions

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## CheckHome building inspection terms and conditions

1. These terms and Conditions govern the property inspection services that CheckHome will provide to you. You must confirm in writing that you accept the terms and conditions before CheckHome Will provide the property inspection services.
2. The Terms and conditions cover:
  - the scope of CheckHome's inspection;
  - limitations on the resulting inspection report; and
  - CheckHome's terms of trade.

## Applicable standard

3. This is a non-invasive inspection. We believe our report encompasses NZS 4306:2005 Residential Property Inspection. A copy of this standard is available at our office for inspection, or you may obtain a copy from Standards New Zealand.

## Intellectual property

4. The inspection report is the intellectual property of, and upon creation the copyright vests in, CheckHome.

## Inspection report personal to you

5. The inspection report will be prepared exclusively for you. You agree that the inspection report is personal to you and shall not be assigned or disclosed or distributed (other than disclosed or distributed to professional advisors) without the written permission of the CheckHome.
6. CheckHome accepts no liability to any person other than you. Any third party relying on the contents of the inspection report does so at their own risk and CheckHome disclaims any liability for any loss (direct or consequential), cost or damage resulting.

## Limitation of liability

7. To the extent permitted by legislation, if CheckHome becomes liable to you, for any reason, for any loss, damage, harm or injury in any way connected with the completion of the inspection and/or the resulting report, its liability shall be limited to a sum not exceeding five times the fee paid, or payable, to CheckHome.
8. CheckHome will not be liable to you for any consequential loss of whatever nature suffered by you or any other person injured, and you agree to indemnify CheckHome in respect of any claims concerning any such loss.

## Payment

9. You are responsible for paying CheckHome's fee. An invoice is sent with the inspection report. Total payment is required within 7 days of receipt of the invoice. An additional service charge of \$100 will be added to any debt collection fees.
10. You must pay CheckHome default interest compounding monthly on all monies due but unpaid, for the period from the expiry of the time provided for payment until actual payment. The right to default interest is additional to any other remedy that CheckHome may be entitled to. The rate of default interest is 7% per month.
11. CheckHome is entitled to recover from you, on an indemnity basis, all costs and expenses, including legal costs on a solicitor/client basis, incurred in connection with the recovery of any amount due and payable by you to CheckHome.



### Cancellation Fee

12. A cancellation fee may be charged by CheckHome if an inspection is cancelled within 24 hours of the time arranged. The amount of the cancellation fee is recorded on CheckHome's website on the Pricing page:

<http://checkhome.co.nz>

### Site Re-check Fee

13. Your engagement of CheckHome allows for one site visit per inspection. If, for any reason, you request an additional site visit, it will incur a site re-check fee. The amount of the site re-check fee is recorded on CheckHome's website on the Pricing page

<http://checkhome.co.nz>

### Consumer Guarantees Act

14. Nothing in these terms and conditions limits your rights under the Consumer Guarantees Act 1993.

### Scope of the inspection - visual inspection only

15. The scope of CheckHome's inspection is limited to a visual inspection of the components of the building that the inspector has reasonable access to and that are in the inspector's clear line of sight.
16. The inspection will not include:
  - examination of any areas or components which are concealed or closed behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring) or which require the moving of anything which impedes access or limits visibility (such as floor coverings, furniture, appliances, personal property, vehicles, vegetation, debris or soil);
  - intrusive or destructive inspection of any part of the building or any building component, disassembly of equipment, or the removal or testing of electrical or other building components or materials.

### Multi-unit property

17. In a multi-unit property, the inspection and resulting report will only cover the condition of the interior and accessible parts of the immediate exterior of the unit and any related accessory units.

### Reasonable access to be provided

18. You agree to ensure that reasonable access can be gained to the property, including but not limited to the roof cavity and foundation spaces and any such spaces if they exist are cleared for an inspection to be carried out.
19. 'Reasonable access' means access that is safe, unobstructed and which has a minimum clearance of 600mm for a roof cavity and 500mm for a floor cavity.
20. For safety reasons, access to the exterior of any roof surface for inspection purposes will only occur if:
  - the Weather is fine;
  - the Roof is dry;
  - the roof slope does not exceed 35°; and
  - the roof height does not exceed 2m.
21. Any area of the property that cannot be reasonably accessed will not be inspected and will be excluded from any inspection report. The report will state the areas that could not be inspected.

## Scope of the inspection report

22. The inspection report should be seen as a reasonable attempt to identify any significant fault or defect visible at the time of the inspection, rather than an all encompassing report dealing with the building from every aspect. The reporting of any significant fault or defect is on an exceptional basis, rather than reporting on items, which are in an acceptable condition for their age.
23. We define significant fault or defect as 'a matter that requires substantial repairs or urgent attention and rectification'.
24. We will address the significant fault and/or defect in the summary section of the inspection report as maintenance or remedial work.

## Limitations of the inspection report

25. The inspection report is intended only as a general guide to help you make your own evaluation of the overall condition of the building and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase.
26. The inspection report expresses the opinions of the inspector, based on his or her visual examination of the conditions that existed at the time of the inspection only.
27. The inspection and resulting report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered.
28. All building components and conditions which, by the nature of their location are concealed, deliberately hidden, camouflaged or difficult to inspect are excluded from the report.
29. Any suggestions or recommendations contained in the inspection report are suggestions only and it is the responsibility of the person or persons carrying out any design or building work to ensure that the most appropriate remedy is carried out in conjunction with any further discoveries, warranties or manufacturer's recommendation and warranties, and any necessary local authority concerns conveyed prior to proceeding with remedial work.
30. Inspection of the systems at the building are outside the scope of our inspection report. The inspector will, however, conduct a cursory check of the hot water system, the plumbing system, and the electrical system. You should note this will only be the opinion of the inspector, who is not a qualified plumber, electrician or gas fitter.
31. The inspection and resulting report should not be construed as a compliance inspection of any building, legal or territorial authority standards, codes or regulations. The inspection report is not intended to be a warranty or guarantee of the present or future weather tightness, adequacy or performance of the structure, its systems, or their component parts. The inspection report does not constitute any express or implied warranty of merchantability, fitness for use or habitation, or building code compliance and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or extended life of components are general statements based on information about similar components and occasional variations are to be expected between such estimates and actual experience.
32. You accept that the inspector will not detect some faults because:
  - The fault only occurs intermittently.
  - Part of the building has not been used for a while and the fault usually occurs after regular use (or detection of the fault would only occur after regular use).
  - The type of weather that would normally reveal the fault is not prevailing at, or around, the time of the inspection.
  - The fault has been deliberately concealed.
  - Furnishings are obscuring the fault.
  - We have been given incorrect information by you, the vendor, the real estate consultant, or any other person.
  - The fault is/was not apparent on a visual inspection.



## Disputes

33. Should any dispute arise as a result of the inspection or resulting report, it must be submitted to CheckHome in writing immediately.
34. You agree that upon raising a dispute, the contents of the inspection report may not be used to satisfy any terms of a sale and purchase agreement until the disagreement/dispute has been resolved.
35. You agree that if, after raising a dispute, you used the inspection or resulting report to make an unconditional offer or confirm the sale and purchase agreement, that you waive all of your rights to continue with the dispute, and/or raise any future dispute or claim about the inspection or resulting report with CheckHome.
36. In the event of a claim/dispute regarding damage to a building, you will allow CheckHome to investigate the claim prior to any repairs to the building being undertaken or completed. You agree that if you do not allow CheckHome to investigate the claims of damage before any repairs are carried out, that you waive your rights to continue with and/or make any claims against CheckHome.
37. In the event of any dispute, you agree not to disturb, alter, repair, or attempt to repair anything that may constitute evidence relating to the dispute without first providing CheckHome with a reasonable opportunity to reinspect the building, except in the case of an emergency. You agree that if you do not provide CheckHome with a reasonable opportunity to reinspect the building before anything that may constitute evidence relating to the dispute is disturbed, altered, or repaired, that you waive your rights to continue with and/or make any claims against CheckHome.

# 06 Glossary

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**Accessible area:** is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

**HHGA:** Healthy Homes Guarantee's Act

**Fascia boards and barge boards:** Is a board fastened to the projecting gables of a roof to give them strength and mask, hide and protect the otherwise exposed end of the horizontal timbers or purlins of the roof to which they were attached.

**Soffit/Eaves:** The exposed under surface of any exterior overhanging section of a roof eave.

**Cladding:** The exterior wall claddings is the application of one material over another to provide a skin or layer intended to control the infiltration of weather elements, or for aesthetic purposes. Cladding does not necessarily have to provide a waterproof condition but is instead a control element.

**Trim:** (Skirting, scotia and architraves) the finishing timbers around the floor and ceiling and the timbers around windows and doors.

**Hardware:** Door handles, door hinges, bolts, latches, window hardware, screws, switch plates, and doorknockers.

**Gully Trap:** A gully trap is a basin in the ground with a water seal to prevent foul odour of the sewer reaching the surface.

**Flashings:** Are placed around discontinuities or objects which protrude from the roof of a building (such as pipes and chimneys, or the edges of other roofs) to deflect water away from seams or joints.

**Bearer and Joists:** A joist, in architecture and engineering, is one of the horizontal supporting members that run from wall to wall, wall to beam, or beam to beam to support a ceiling, roof, or floor. It may be made of wood, steel or concrete. Typically, a beam is bigger than, and is thus distinguished from, a joist. Joist are often supported by beams and are usually repetitive.

**GIB:** (Drywall), also known as plasterboard or gypsum board, is a panel made of gypsum plaster pressed between two thick sheets of paper. It is used to line interior walls and ceilings.

**Header tank:** Hot water supply systems that were installed in the 1940s-60s most often had a 'header' or 'supply' tank that was fitted in the roof space or in some cases the ceiling. Most often they are located in the ceiling space but sometimes they will be located on the roof.

**Water Toby:** A toby is the water shut-off valve, generally located at the boundary of your property, that sits between the council water main and your private water pipe.

**Thermostat:** A device that automatically regulates temperature, or that activates a device when the temperature reaches a certain point.

**Rangehood:** A kitchen hood, exhaust hood, or range hood is a device containing a mechanical fan that hangs above the stove or cooktop in the kitchen. It removes airborne grease, combustion products, fumes, smoke, heat, and steam from the air by evacuation of the air and filtration.

# 07 Description of Building

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## Type of Building:

Residential

## Style of Building:

Home & income

## Number of Stories:

Two storey

## Age of Building:

Further investigation required

## Roof Covering:

Light weight metal corrugated roofing

## Roof Frame:

Timber hand pitched

## External Walls:

Timber weatherboard

## Floor Construction:

Timber on timber framed, Concrete slab

## Footings:

Concrete piles, Concrete ring foundation, Concrete slab

## Building Tenancy:

Tenant

## Building Furnished:

Yes

## Building Frontage Faces:

East

# 08 General

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Weather Conditions at the time of the inspection:

Clear & sunny

Recent weather conditions:

Overcast & recent rain

Date and time of inspection:

14 Apr 2022 1:00 PM

Building Furnished:

Yes

Occupied By:

Tenant

Onsite attendees:

Vendor Representative

Did the homeowner, Agent or representation disclose any known issues to the property?

No - There were no disclosers about the property.

Inspection Requested:

Maintenance

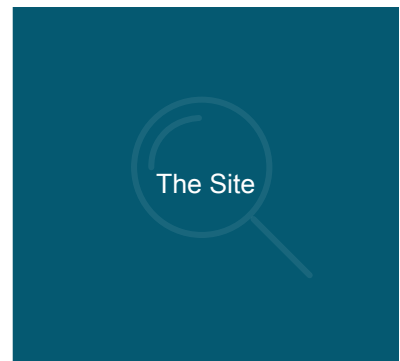
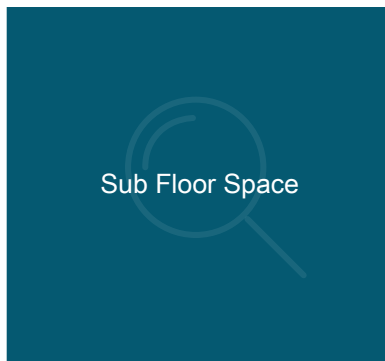
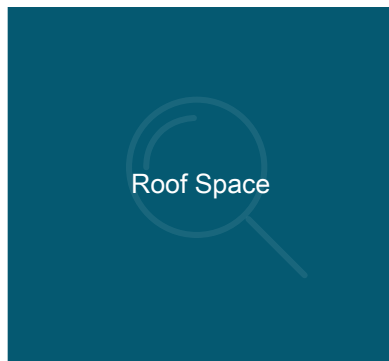
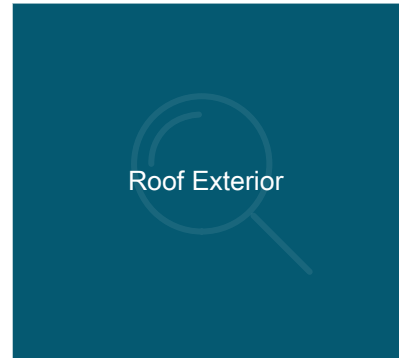
Terms & Conditions Accepted:

Yes

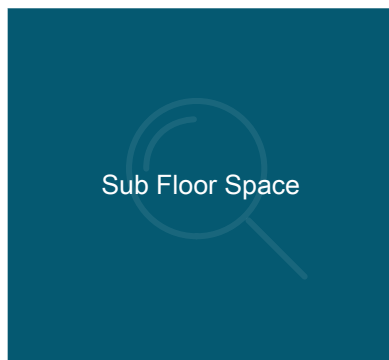
# 09 Areas Inspected

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The Actual Areas Inspected were:



The Areas Not Inspected were:



# Top house - Interior of Building

## Access Limitations

Furniture, closed wardrobes/cupboards and storage restricted full view of the interior in some areas.



Photo Ref #2



Photo Ref #3



Photo Ref #4

## Ceilings

The ceiling linings appeared in reasonable condition for their age.

## Walls

The wall linings appeared in reasonable condition for their age. Some observations are photographed and detailed below.

The wall linings appeared in reasonable condition for their age. Some observations are photographed and detailed below.

### Mould & Moisture defects:

- Mould was sighted to the ensuite bathroom wall linings, I recommend this cleaned and removed with a sufficient product. A cleaning or mould specialist would be engaged to clean.
- Moisture staining was detected to the hallway archway wall linings. Elevated moisture readings were detected. External roof repairs would be required to reduce this. Replacement of the defective wall linings should take place once repairs take place. Any wet or damp framing should be dried.

### Rating:

Minor Maintenance

### Repair Priority:

3 (3 to 12 months)





Photo Ref #6: Moisture staining to hallway archway



Photo Ref #7: Mould buildup to ensuite wall linings

### Floors; Timber

The timber floors were free of excessive movement and appeared in reasonable condition for their age. Some observations are photographed and detailed below.

#### Timber flooring:

- Loose floorboards were detected at the kitchen doorway. These can easily be secured.

#### Rating:

Minor Maintenance



Photo Ref #8: Loose floorboard at kitchen doorway

## Windows; Timber framed

The majority of timber window units were operating freely with the exception of the window located below. The windows were in reasonable condition for their age. Refer to details below.

- General easing maintenance can be undertaken by a builder.

### Window Details:

- The main bathroom window was catching/binding on the frame. Adjustment is recommended to allow the unit to open and close freely. This is an easy repair for a builder/joiner. The hinges may also require replacement.

### Rating:

Minor Maintenance

### Repair Priority:

3 (3 to 12 months)

### Trades Required:

Builder



Photo Ref #9: Main bathroom window binding

## Windows & doors joinery; Glazing type

Single glazed units were in place.

## Doors/Frames

The majority of doors were operating freely with the exception of the door located below, this was binding. Some observations are photographed and detailed below.

### Door Details:

- The upstairs hallway door leading to back deck: High-risk door junction due to the door being internally opening, making it hard to prevent water ingress. Some moisture damage to the timber floorboards below. Recommend improving the door seal to help reduce potential water ingress or upgrading to make externally opening.

### Rating:

Minor Maintenance

### Repair Priority:

3 (3 to 12 months)

### Trades Required:

Builder



Photo Ref #10: Upstairs door leading to back deck: High risk door as it is internally opening, making it hard to prevent water ingress. Some moisture damaged to floor below.

#### Kitchen; Bench-top

The bench-top appeared in below-average condition for its age. The timber benchtop has two cracks running through it, replacement would be recommended. This appears to have caused the sink to be detached.

Rating:	Minor Maintenance
Repair Priority:	4 (12 to 36 months)
Trades Required:	Joiner



Photo Ref #11

#### Kitchen; Cabinetry

The cabinetry was in working order and appeared in reasonable condition for its age.



Photo Ref #12

#### Kitchen; Ventilation

No extractor fan was in place. Although not a requirement for an existing owner-occupied dwelling, the installation of a sufficient range hood would help reduce moisture in the kitchen.

Rating:

Trades Required:

Recommendation

Electrician



Photo Ref #13

#### Kitchen; Sinks/taps

The sink has become detached from the benchtop. A timber section has been installed below to hold the sink in place.

Details:

Rating:

Trades Required:

- The sink should be upgraded to suit the new benchtop when replaced.

Action Required

Plumber





Photo Ref #15



Photo Ref #16



Photo Ref #17: Timber holding up sink

### Bathrooms/WC; Cisterns/pans/bidets

The toilets were operating correctly with no leaks detected. Movement was detected to the ensuite toilet pan, refer to details below.

#### Details:

- Securing the pan to the floor is recommended to help prevent further movement or potential leaks, engage a licensed plumber to complete.

#### Rating:

Minor Maintenance

#### Repair Priority:

3 (3 to 12 months)

#### Trades Required:

Plumber



Photo Ref #18: Movement detected to ensuite toilet



Photo Ref #19

### Bathrooms/WC; Bath

The bath was in working order and in good condition for its age.



Photo Ref #20

## Bathrooms/WC; Shower

Main bathroom shower: The tile shower unit appeared in average condition for its age. Refer to photographs and details below.

*All tile shower units should have a waterproof membrane in place below the tiles. This can not be sighted, the council documents may help determine this.*

### Tile Showers Unit Details:

- Cracked tiles were detected in the shower unit, a trade qualified tiler should be engaged now to access and determine the best repair solution.

### General Details :

- Mould build-up was detected to the sealant at the shower liner to bath junction, recommend scraping out and replacing.

### Rating:

Action Required

### Repair Priority:

3 (3 to 12 months)

### Trades Required:

Tiler



Photo Ref #24

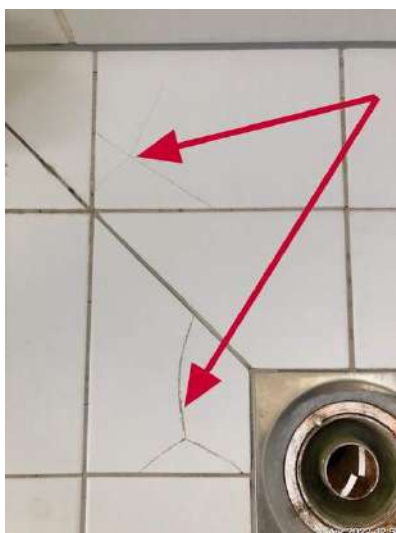


Photo Ref #25: Cracking to floor tiles



Photo Ref #26: Mould build-up





Photo Ref #27: Mould build-up

### Bathrooms/WC; Shower

Ensuite shower: The tile shower unit appeared in average condition for its age. Refer to photographs and details below.

*All tile shower units should have a waterproof membrane in place below the tiles. This can not be sighted, the council documents may help determine this.*

#### General Details :

- Mould build-up was detected to the sealant at the shower liner to bath junction, recommend scraping out and replacing.

#### Further Details:

- The shower door was missing a seal strip, installation would help keep water in the shower unit.

#### Rating:

Minor Maintenance



Photo Ref #29



Photo Ref #30



Photo Ref #31

### Bathrooms/WC; Vanity/basin

The vanity/basin was in working order and appeared in reasonable condition for its age. Some observations are photographed and detailed below.

Details:	- The cold tap is missing from the main bathroom vanity. Upgrades would be recommended.
Rating:	Minor Maintenance
Repair Priority:	3 (3 to 12 months)
Trades Required:	Plumber



Photo Ref #32



Photo Ref #33: Cold tap is missing

### Bathrooms/WC; Ventilation

Main bathroom: The bathroom has an extractor fan in place. This was externally vented and in working order.

### Bathrooms/WC; Ventilation

Ensuite bathroom: The bathroom has an extractor fan in place. This was not in good working order, mould build-up detected. Refer to photographs and details below.

- I recommend installing a more powerful vented extractor fan to reduce moisture damage and help with ventilation, an extractor fan can be installed by a registered electrician.

Rating:	Minor Maintenance
Repair Priority:	3 (3 to 12 months)
Trades Required:	Electrician



Photo Ref #35: Ensuite bathroom



Photo Ref #36



Photo Ref #37

### Laundry; Taps

The taps and water supply was operating correctly with no leaks detected.



Photo Ref #38



Photo Ref #39



Photo Ref #40

### Laundry; Tub/cabinet

The tub/cabinet was in working order and appeared in good condition for its age.

### Laundry; Ventilation

The laundry had an extractor fan in place.



Photo Ref #42

### Stairs

The stairs & handrails were sufficiently rigid.

## Bottom House - Interior of Building

### Access Limitations

Furniture, closed wardrobes/cupboards and storage restricted full view of the interior in some areas.

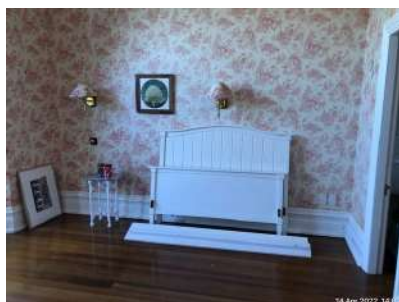


Photo Ref #44



Photo Ref #45

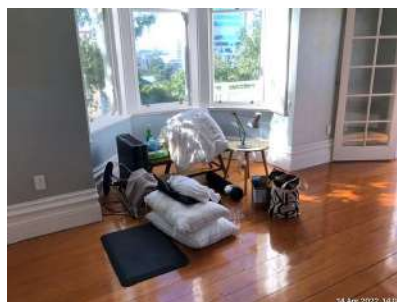


Photo Ref #46

### Ceilings

The ceiling linings appeared in reasonable condition for their age.

## Walls

The wall linings appeared in reasonable condition for their age. Some observations are photographed and detailed below.

### Plaster & Paint finish:

- Cracking was evident in the plasterboard wall linings, this is commonly due to movement and settlement over time, some wallpaper & paint blemishes were sighted also. Engage a plasterer and painter to improve these areas if desired.

### Rating:

Observation



Photo Ref #48



Photo Ref #49



Photo Ref #50

## Floors; Timber

The timber floors were free of excessive movement. Some variances in floor levels were detected but within recommended guidelines.

- CheckHome recommended these areas are monitored, if further movement or settlement occurs seek advice from a specialist to determine the best method of repair.

## Windows; Timber framed

The majority of timber window units were operating freely with the exception of the window located below. The windows were in reasonable condition for their age. Refer to details below.

### Window Details:

- The front sunroom window was catching/binding on the frame. Adjustment is recommended to allow the unit to open and close freely. This is an easy repair for a builder/joiner.

### Details :

- Water staining was detected to the kitchen western window upper reveal. An invasive investigation should take place to determine the cause and ensure the unit is watertight before paint repairs take place.

### Rating:

Minor Maintenance

### Repair Priority:

3 (3 to 12 months)

### Trades Required:

Builder





Photo Ref #52



Photo Ref #53: Water staining to kitchen western window upper reveal



Photo Ref #54: Front sunroom window binding

### Windows & doors joinery; Glazing type

Single glazed units were in place.

### Doors/Frames

The majority of doors were operating freely and generally, the doors were in reasonable condition for their age. Some observations are photographed and detailed below.

#### Door Details:

- Timber decay was detected to the kitchen right-hand northern door, as photographed below. Replacement of the defective door is recommended.

#### Rating:

Minor Maintenance

#### Repair Priority:

3 (3 to 12 months)

#### Trades Required:

Joiner



Photo Ref #55: Kitchen right hand door



Photo Ref #56: Timber decay detected



### Kitchen; Bench-top

The bench-top appeared in reasonable condition for its age.

### Kitchen; Cabinetry

The cabinetry was in working order and appeared in reasonable condition for its age.



Photo Ref #58



Photo Ref #59



Photo Ref #60

### Kitchen; Ventilation

The kitchen had a functional range hood in place.



Photo Ref #61

### Kitchen; Sinks/taps

The water supply was operating correctly with no leaks detected.



Photo Ref #62



Photo Ref #63



Photo Ref #64

### Bathrooms/WC; Cisterns/pans/bidets

The toilets were operating correctly and were stable and rigid.



Photo Ref #65



Photo Ref #66

### Bathrooms/WC; Bath

The bath was in working order and in good condition for its age.



Photo Ref #67

## Bathrooms/WC; Shower

Ensuite shower: The tile shower unit appeared to be operating correctly and free of any visible leaks when spray tested. Some observations are photographed and detailed below.

*All tile shower units should have a waterproof membrane in place below the tiles. This can not be sighted, the council documents may help determine this.*

### General Details :

### Rating:

### Repair Priority:

### Trades Required:

- Mould build-up was detected to the sealant at the shower liner to bath junction, recommend scraping out and replacing.

Recommendation

4 (12 to 36 months)

Tiler



Photo Ref #70



Photo Ref #71

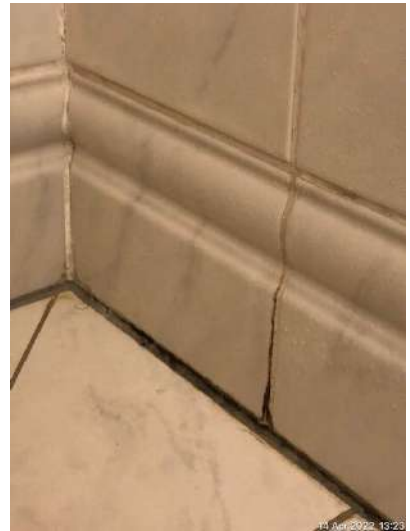


Photo Ref #72

## Bathrooms/WC; Shower

Main bathroom shower: The tile shower appeared to be operating correctly and free of any visible leaks when spray tested.

*All tile shower units should have a waterproof membrane in place below the tiles. This can not be sighted, the council documents may help determine this.*



Photo Ref #74



Photo Ref #75



Photo Ref #76

### Bathrooms/WC; Vanity/basin

The vanities appeared were in working order and appeared in good condition for their age.



Photo Ref #77



Photo Ref #78: Movement to tap

### Bathrooms/WC; Ventilation

Ensuite & Main bathroom extractor fan: The bathrooms had extractor fans in place. These were not in good working order.

#### Details:

- A licensed electrician should be engaged to assess and upgrade if recommended.

#### Rating:

Minor Maintenance

#### Trades Required:

Electrician





Photo Ref #79: Main bathroom



Photo Ref #80: Ensuite fan

### Laundry; Taps

The taps and water supply was operating correctly with no leaks detected.



Photo Ref #81



Photo Ref #82

### Laundry; Tub/cabinet

The tub/cabinet was in working order and appeared in good condition for its age.



Photo Ref #83

### Laundry; Ventilation

The laundry had an extractor fan in place. This was not in good working order.

#### Details:

- A licensed electrician should be engaged to assess and upgrade if recommended.

#### Rating:

Recommendation

#### Trades Required:

Electrician



Photo Ref #84



Photo Ref #85



# 11 Exterior of Building

## Access Limitations

Height restricted access to some areas of the upper cladding and windows

## Walls; Walls/Wall cladding; Timber

The majority of the timber weatherboard cladding appeared to be performing and in reasonable condition for its age. The paint coating was generally well maintained. Some timber and paint deterioration were sighted in localised areas. Refer to details below.

*The rusticated timber weatherboards are directly fixed to the framing, this is a common construction method for the era of the property.*

### Weatherboard cladding:

- Timber decay was detected to sections of the weatherboards on the southern face as photographed below . A builder should be engaged to repair or replace the defective boards as soon as possible to prevent possible water ingress and weatherboard deterioration.

### Paint/Stain coating:

- Deterioration to the paint coating was sighted to the majority of the cladding as photographed below. The cladding requires a full repaint to ensure the cladding is sealed to help prevent further deterioration. A trade qualified painter should be engaged to complete.

### Rating :

Action Required

### Repair Priority:

3 (3 to 12 months)

### Trades Required:

Builder & Painter



Photo Ref #87: Paint deterioration to weatherboards



Photo Ref #88: Paint deterioration to weatherboards



Photo Ref #89: Timber decay to box corner, southeastern corner of garage



Photo Ref #90: Paint deterioration to weatherboards



Photo Ref #91: Paint deterioration & timber decay to weatherboards



Photo Ref #92: Timber decay to weatherboards on southern face



Photo Ref #93: Timber weatherboard cladding



Photo Ref #94: Paint deterioration to weatherboards

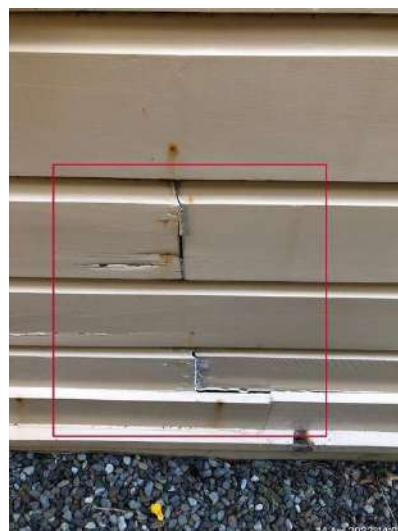


Photo Ref #95: Timber decay to weatherboards on southern face

### Walls; Walls/Wall cladding; Concrete/Masonry

Sections of the bottom house kitchen are built into the hillside. Some observations are photographed and detailed below.

*The walls appear to be of masonry construction. Ideally, the areas below the ground rely solely on waterproofing systems(tanking systems) to prevent moisture from penetrating to the interior, these areas are detailed as risk areas.*

*The waterproofing systems(tanking systems) are generally applied as impervious coverings to the dirt side of the wall. No systems were visible at the time of inspection, the council plans could be checked to determine if any system has been installed.*



Photo Ref #96



Photo Ref #97

### Walls; Doors & Windows

The majority of door & window units have suitable flashings. The units were in average/below-average condition for their age. Refer to photographs and details below.

#### Rusted Head flashings:

- The rusted and lifted head flashings photographed below will require replacement to ensure they are performing as to be expected.

#### Timber decay:

- Timber decay was detected to the downstairs lounge northern door unit and the kitchen northern door unit, replacement of the entire units is recommended.

#### Paint coating:

- Deterioration to the paint coating was sighted to the majority of the joinery as photographed below. The units require a full repaint to ensure they are sealed to help prevent further deterioration. A trade qualified painter should be engaged to complete.

#### Rating:

Action Required

#### Repair Priority:

3 (3 to 12 months)

#### Trades Required:

Joiner, Builder & Painter



Photo Ref #101: Rusted head flashings



Photo Ref #102: Upstairs lounge eastern window - deterioration and lifting to head flashing



Photo Ref #103: General paint and putty deterioration to window unit





Photo Ref #104: Paint deterioration to doors



Photo Ref #105: General paint and putty deterioration to window unit



Photo Ref #106: General paint and putty deterioration to window unit



Photo Ref #107: Paint deterioration to window unit



Photo Ref #108: Rust deterioration to sunroom head flashing



Photo Ref #109: General paint and putty deterioration to window unit



Photo Ref #110: General paint deterioration to window unit



Photo Ref #111: Timber decay to downstairs kitchen northern door - unit requires replacement.



Photo Ref #112: Timber decay to downstairs sunroom northern unit - full unit requires replacement

## Stairs

The stairs and handrails were well-formed and in reasonable condition for their age.



Photo Ref #113

## Balconies/Decks & Verandahs

Top House Western Deck: The deck appeared in average condition for its age, defects were detected. Refer to photographs and details below.

*Any membrane decking installed over the interior or into the cladding should be considered a risky detail as any failure of the membrane system could result in moisture entering the building envelope.*

### Deck Waterproofing:

- The decking has a waterproofing coating installed overtop of a timber substrate. The waterproof coating was in below-average condition. Cracks and deterioration to the coating were detected. Upgrades to the deck and waterproofing are required now to ensure the deck is watertight. A membrane specialist should be engaged to assess and determine the best repair method.

### Rating:

Action Required

### Repair Priority:

1 (Immediate)

### Trades Required:

Membrane Specialist



Photo Ref #119



Photo Ref #120: Deterioration to waterproof coating around balustrade post penetration



Photo Ref #121: Deterioration to waterproof coating at cladding junction, poor installation causing high risk area



## Balconies/Decks & Verandahs

Bottom House Northern Deck: The deck appeared in average condition for its age, defects were detected. Refer to photographs and details below.

*Any membrane decking installed over the interior or into the cladding should be considered a risky detail as any failure of the membrane system could result in moisture entering the building envelope.*

### Deck Waterproofing:

- The decking has a waterproofing coating installed overtop of a timber substrate. The waterproof coating was in below-average condition. Cracks and deterioration to the coating were detected. Upgrades to the deck and waterproofing are required now to ensure the deck is watertight. A membrane specialist should be engaged to assess and determine the best repair method.

### Rating:

Action Required

### Repair Priority:

1 (Immediate)

### Trades Required:

Membrane Specialist



Photo Ref #124



Photo Ref #125

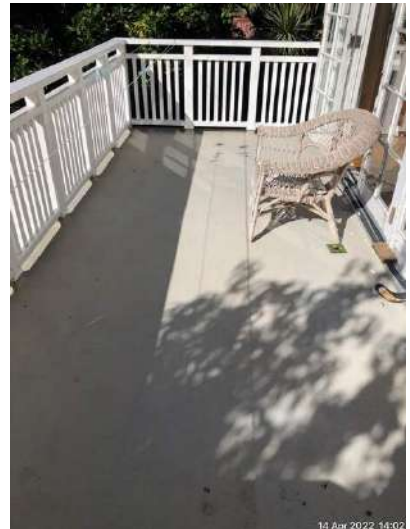


Photo Ref #126

## Balconies & Decks; Handrails & Balustrades

The handrails appeared solid and were performing. The handrails were also compliant in height with the building code height.



Photo Ref #127



Photo Ref #128



# 12 Roof Exterior

## Access Limitations

No physical access was gained to the upper roof due to height and safety, this could not be inspected. The lower roof was inspected off an extension ladder from different vantage points around the roof.



Photo Ref #130



Photo Ref #131



Photo Ref #132



Photo Ref #133



Photo Ref #134



Photo Ref #135

## Roof Sheetting & Flashings; Metal

Main Upper Roof: A lightweight metal sheet & flashing roof was in place. This was in average condition for its age, corrosion was sighted to localised areas. Refer to photographs and details below.

### Sheet & Flashing roofing:

- Rust deterioration was detected to the bottom of the roof sheeting around the membrane internal gutter, this appears to be due to the sheeting being in direct contact with the membrane. Repairs and reconditioning work is required. Engage a licensed roofing contractor for the best solution.

### Roof Fixings :

- Some rusted screw fixings were sighted over the roof, this can be common with properties of this age. Rust treatment repairs or replacement of the defective screws is recommended to help prevent further corrosion that could lead to the roof sheeting. A licensed roofer would complete this.

### Rating:

Minor Maintenance

### Repair Priority:

4 (12 to 36 months)

### Trades Required:

Roofer



Photo Ref #137: Rust deterioration to bottom of sheets and flashings where in contact with internal gutter



Photo Ref #138: Rust deterioration to bottom of sheets and flashings where in contact with internal gutter



Photo Ref #139: Rusted screw fixings

### Roof Sheetting & Flashings; Metal

Lower Roof: A lightweight metal sheet & flashing roof was in place. This was in average condition for its age, flashing defects were detected. Refer to photographs and details below.

#### Sheet & Flashing roofing:

- Gaps were visible to the apron flashing at the cladding junction. Upgrades to the flashing junctions are required now to ensure they are performing and watertight. A licensed roofer should be engaged to assess and complete.

#### Rating:

Action Required

#### Repair Priority:

2 (Within 3 months)

#### Trades Required:

Roofer



Photo Ref #143

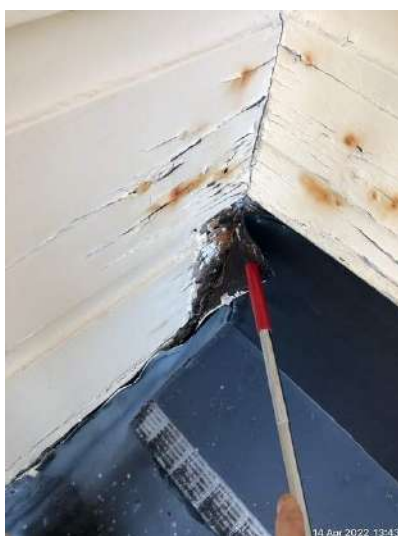


Photo Ref #144: Gaps to apron flashing at cladding junction



Photo Ref #145: Gaps to apron flashing at cladding junction

## Roof Flashings

The apron flashing from the upper roof over the western end of the hallway was installed in an unconventional way. Refer to photographs and details below.

### Details:

- The upstand of the flashing has been installed on the face of the cladding, ideally, this should be installed behind the cladding to ensure a more weathertight junction. Water ingress and elevated moisture readings were detected below this area, refer to the moisture section for location. It is recommended that upgrades to the flashings take place. Engage a licensed roofer to determine the best repair solution.

### Rating:

Action Required

### Repair Priority:

2 (Within 3 months)

### Trades Required:

Roofer



Photo Ref #147



Photo Ref #148



Photo Ref #149

## Roof Flashings

The roof flashings around the bay windows were not assessed due to height and safety. These should be assessed when the remainder of roof works takes place.

### Rating:

Recommendation





Photo Ref #150

### Roof Penetrations

The roof penetrations appeared watertight. Some observations are photographed and detailed below.

#### Pipe penetration details:

- The boot flashings appeared to be performing and watertight, in the future I recommend all seals are installed with the point towards the ridge line to ensure all water is diverted away from the vent instead of into it which will eventually cause deterioration. Regular monitoring is required and improvement is recommended by a licensed roofer.

#### Rating:

Observation



Photo Ref #151



Photo Ref #152



Photo Ref #153

## Gutters & downpipes

The gutters & downpipes appeared to be performing as to be expected for their type and age. Some observations are detailed below.

### Guttering & Down pipes:

- The downpipes discharging onto the lower roof were not fitted with a spreader. Spreaders allow the water to evenly exit the downpipe on to different corrugations. This may not have been required at the time of construction, although installation would be beneficial.

Rating:

Recommendation

Repair Priority:

4 (12 to 36 months)

Trades Required:

Roofer



Photo Ref #155: Gutter outlets missing down pipes and spreaders



Photo Ref #156: Gutter outlets missing down pipes and spreaders

## Internal gutters

The internal gutter appeared functional with no major blocking sighted at time of inspection.

*Be aware that any internal gutter should be considered a risky detail, regular cleaning and clearing of the gutter will be required to prevent blockages, defects and potentially leaking into the building envelope.*



Photo Ref #157



Photo Ref #158: Minor deterioration detected to the membrane in place at location of timber sheet joins below.

### Eaves/fascias/barges

The eaves/fascias/barges appeared solid. Some paint deterioration was detected. Refer to the photographs and details below.

- Paint maintenance is recommended to ensure the timbers are sealed. This is an easy job for a painter.

Rating:	Minor Maintenance
Repair Priority:	4 (12 to 36 months)
Trades Required:	Painter



Photo Ref #159



Photo Ref #160



## Chimneys

Southern Chimney: A brick chimney was in place, movement was detected to the chimney in place. Refer to photographs and details below.

- Brick chimneys are a recognised hazard in the event of an earthquake, due to the movement detected, we recommend engaging a specialist now to determine if strengthening or removal is recommended.

Rating:	Safety Hazard
Repair Priority:	1 (Immediate)
Trades Required:	Engineer



Photo Ref #161: Southern chimney



Photo Ref #162: No chimney cap in place



Photo Ref #163: Rust deterioration and gaps at chimney roof penetration flashings

## Chimneys

Northern Chimney: A brick chimney was in place, this appeared free of excessive movement, although due to its age requires assessment. Refer to photographs and details below.

- Brick chimneys are a recognised hazard in the event of an earthquake, we recommend engaging a specialist to determine if strengthening or removal is recommended.

Rating:	Further investigation
Repair Priority:	1 (Immediate)
Trades Required:	Engineer



Photo Ref #165: Northern chimney



Photo Ref #166: Rust deterioration and gaps at chimney roof penetration flashings



Photo Ref #167: No cap flashing in place

# 13 Roof Space

## Access Limitations

The roof space was only inspected from the man hole and no ceiling joists were inspected as these were covered by insulation



Photo Ref #169



Photo Ref #170



Photo Ref #171

## Roof framing

The visible roof framing members appeared to be performing and were well-formed.



Photo Ref #172



Photo Ref #173



Photo Ref #174

## Roofing paper

Where visible, roofing paper was in place. As timber sarking was in place the majority of roofing paper could not be seen.

## Insulation

The visible sections of the roof space were insulated.





Photo Ref #175



Photo Ref #176



Photo Ref #177

# 14 Sub Floor Space

## Access Limitations

No access was gained to the majority of the subfloor due to insufficient access. No access was gained below the bathroom, back bedroom, kitchen or laundry therefore these areas could not be inspected.



Photo Ref #183

## Timber floor; Foundations/Piles/Posts

The foundations appeared in average condition for their age. Refer to photographs and details below.

### Pile Details:

- A number of piles have been overpacked in areas, this appears to have taken place to help level the floor due to settlement over the years. A general rule of thumb is that any pile that is packed over 100mm should be replaced with a new longer pile to provide sufficient support. Engage a licensed builder or piling specialist to improve these areas.

### Foundation connections:

- No pile/foundation connectors were sighted. Pile connectors anchor the pile to timber subfloor framing to help prevent potential movement which is particularly important during earthquakes. A licensed builder or piling specialist should be engaged to assess and determine if the installation of new pile connectors is recommended.

### Rating:

Further investigation

### Repair Priority:

3 (3 to 12 months)

### Trades Required:

Piling Specialist





Photo Ref #185: Unconventional piles in place



Photo Ref #186: No pile connections were in place



Photo Ref #187: No pile connections were in place



Photo Ref #188: No pile connections were in place

### Sub floor; Borer

Borer holes were sighted in the timber, refer to details below.

- Treatment is required now by a specialist to prevent deterioration. Further investigation is required by a specialist,

Rating:	Further investigation
Repair Priority:	3 (3 to 12 months)
Trades Required:	Borer Specialist



Photo Ref #189

#### Timber floor; Underfloor insulation

No underfloor insulation was in place. Due to the insufficient clearances, this would not be accessible to do so to the majority of the subfloor.

# 15 Moisture

This was a non invasive moisture test to random areas of possible concern (like around the windows and doors on the exterior walls and wet areas; or areas with pipe work running through them). Accessible areas have been checked on the interior to check for moisture within the wall cavity. The moisture measurement is up to approximately 40mm deep. Levels will vary from house to house and any elevated reading will be recorded and further investigation will be required. The conditions and treatment type of internal framing is not known. An invasive instrument will never be used to prevent damage.

## Moisture readings

The majority of the moisture readings were sufficient with the exception of elevated readings located below. Further investigation and elimination of the elevated readings detected is recommended.

### Location of elevated moisture reading(s) - Optional:

Top house

- Hallway northern wall, left of large timber archway.
- Ensuite bathroom extractor wall, bottom right hand corner of shower unit

Bottom house

- Kitchen northwestern corner
- Further Investigation Required

### Rating:



Photo Ref #212: Elevated moisture reading - Ensuite bathroom extractor wall, bottom right hand corner of shower unit



Photo Ref #213: Elevated moisture reading - Hallway northern wall, left of large timber archway.



Photo Ref #214: Elevated moisture reading - Kitchen northwestern corner

## Moisture instrument used

Trotec T660

The Trotec T660 is a non invasive moisture meter that measures capacitance. This has a scale of 0 – 199 & detects up to 40mm deep. In general any reading above 60 generally indicates there could be moisture entering the building envelope



Photo Ref #215

Recommendations: To keep readings down, keep exterior watertight and weather tight, ensure there is a sufficient amount of paint on the building, ensure the flashings meet the building code NZS 3604, and the roof is water tight.

# 16 Electrical

## Lights

### Electrical Cable type

TPS wiring was sighted, this style wiring is currently compliant

**Has the house been rewired?:** This house appears to have been re-wired. I cannot confirm that every wire has been changed as there are always cavities that can't be accessed. Further Investigation is recommended by a licensed electrician.

## Fuse Switchboard & Meter Board

The fuse switchboard appeared in good condition with RCD's in place.

<b>Meter Board Type:</b>	Smart meter
<b>Meter Board Position:</b>	Side of house



Photo Ref #218



Photo Ref #219



Photo Ref #220

## Alarm

An alarm system was in place. Please note: Alarm systems will never be tested.





Photo Ref #221



Photo Ref #222

## Smoke Alarms

There was an inadequate number of smoke alarms. Refer to details below.

I recommend installing more smoke alarms as this can be a safety risk without them. There must be at least one working smoke alarm in within 3 metres of each bedroom door or every room where a person sleeps. In multi-storey or multi-level homes (including split levels) there must be at least one smoke alarm on each level or storey.

Please note: Smoke alarms will never be tested, I always recommend installing new batteries and testing every 6 months.



Photo Ref #223



Photo Ref #224



Photo Ref #225

# 17 Plumbing

## Hot Water Cylinder

Gas Water Heater no2

An instantaneous hot water system generally has a lifespan of around 20 yrs, this however is dependent on water quality, service intervals and for externally mounted units location, all gas appliances should be serviced every 18 months - 2 yrs or in accordance with the manufacturers specification.



Photo Ref #226

## Plumbing Pipe Type

Copper pipe, PVC

## Gully traps

The gully traps were free of movement/cracking and no blockages were sighted.



Photo Ref #227



Photo Ref #228

### Foul Water (Sewer & Waste)

Cast iron, PVC



Photo Ref #229

### Position of Gas Meter

Front of property



Photo Ref #230

### Position of Water Toby

Front of property



Photo Ref #231

### Plumbing Comments

The water pressure was tested and sufficient for the current system in place.

*(Note: For underground pipe work we recommend a camera inspection, which will show the areas that we are unable to sight)*

# 18 The Site

## Access Limitations

The garages had storage against wall that restricted views of some wall and flooring areas. Vegetation restricted some access and views of walls and fencing



Photo Ref #232: Storage restricted access



Photo Ref #233: Storage restricted access



Photo Ref #234: Storage restricted access

## Attached Garage

The attached garages appeared to be in reasonable condition for their age. Some defects were sighted. Refer to details below

*The garage doors were not operating, these should be assessed by a specialist.*

### Details:

- Timber deterioration was detected to the garage side entrance door, replacement is required by a joiner/builder.
- Moisture damage was sighted to the ceiling linings below the membrane deck.
- Minor decay was sighted to the garage door facings at ground level. A small gap should be installed.

### Rating:

Minor Maintenance

### Repair Priority:

3 (3 to 12 months)

### Trades Required:

Builder





Photo Ref #238: Minor decay to garage door facings



Photo Ref #239



Photo Ref #240



Photo Ref #241: Timber deterioration to side door



Photo Ref #242



Photo Ref #243: Moisture damage to ceiling lining

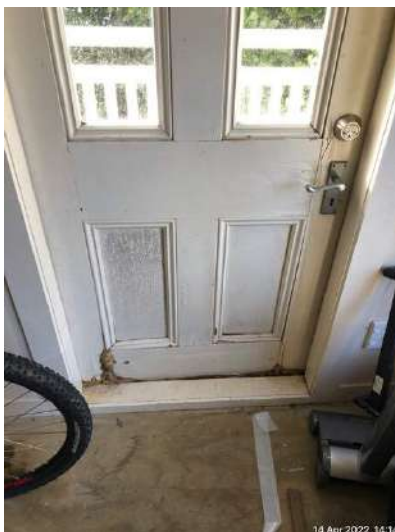


Photo Ref #244: Timber deterioration to side door



Photo Ref #245: Minor decay to garage door facings

## Out Building; Garage

The garage appeared in a below-average condition. Refer to photographs and details below.

*Due to the age of the dwelling, the fibre cement sheeting used for the cladding could contain asbestos, this is unknown without lab testing. CheckHome recommends keeping the product painted and sealed, we recommend testing prior to any remedial works taking place.*

### Garage Details:

- Due to the condition of the garage, consideration should be made to whether repair or replace the garage. A licensed builder and architect should be engaged to assess and determine the best solution.

### Rating:

Action Required

### Trades Required:

Builder



Photo Ref #248: Garage



Photo Ref #249: Fibre cement sheet cladding - possible asbestos



Photo Ref #250: Rust deterioration to roofing, replacement required



Photo Ref #251: Movement to timber flooring, subfloor frame repairs and strengthening required



Photo Ref #252: Movement to timber flooring, subfloor frame repairs and strengthening required



Photo Ref #253: Pile foundations



## Out Building; Shed

The garage appeared in a below-average condition. Refer to photographs and details below.

### Details:

- Due to the condition of the garage, consideration should be made to whether repair or replace the garage. A licensed builder and architect should be engaged to assess and determine the best solution.

### Rating:

Action Required

### Trades Required:

Builder



Photo Ref #255: Rust deterioration to roofing



Photo Ref #256

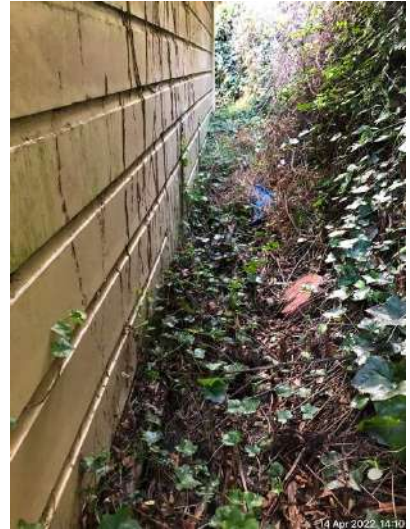


Photo Ref #257: Vegetation built-up against cladding



Photo Ref #258: Rust deterioration to roofing



Photo Ref #259: Movement to timber flooring



Photo Ref #260: Storage restricting access

### Retaining walls; Concrete/Masonry

The small concrete retaining wall appeared in reasonable condition for its age. Minor defects were sighted, refer to the details below

**Details:**

- Minor cracking was sighted to the concrete retaining wall. I recommend regular monitoring of this area and if worsens engage with a licensed builder or concrete specialist to provide the best repair solution.

**Rating:**

Recommendation



Photo Ref #262



Photo Ref #263

### Retaining walls; Concrete/Masonry

The brick retaining walls appeared well-formed and in reasonable condition for their age. Refer to photographs and details below.

**Details:**

- As this is not a structural survey and the retaining wall being larger than 1.5meters, advice relating to the structure of this wall should come from an engineer or other specialist.

**Rating:**

Further investigation

**Trades Required:**

Engineer





Photo Ref #264



Photo Ref #265

## Steps

General settlement and unevenness were observed to the entrance concrete steps. Refer to photographs and details below.

### Details :

- Laise with a concrete specialist to determine the best repair solution.

### Rating:

Recommendation

### Trades Required:

Concreter/Landscaper



Photo Ref #266

# 19 Recommendations for Further Inspections

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## **Recommendations for Further Inspections:**

- A licensed roofer should be engaged to inspect and advise on the roof defects located in the report.
- A licensed builder should be engaged to inspect and advise on the cladding and door/window joinery located in the report.
- A piling specialist should be engaged to inspect and advise on the foundation defects located in the report.
- An engineer should be engaged to inspect and advise on the chimney and retaining walls as located in the report.

# 20 Certificate of Inspection

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## Certificate of Inspection in encompassing NZS 4306:2005

<b>Client:</b>	<b>Sample Name</b>
<b>Site Address:</b>	<b>Sample Report Address</b>
<b>Inspector:</b>	Kieran Long
<b>Company:</b>	CheckHome Limited
<b>Qualifications:</b>	Qualified Builder
<b>Report Type:</b>	Maintenance Inspection Report
<b>Date of Inspection:</b>	14 Apr 2022
<b>Areas Inspected:</b>	Interior of Building, Exterior of Building, Roof Exterior, Roof Space, Sub Floor Space, The Site

### Certification

I hereby certify that I have carried out the inspection of the property at the above address encompassing the only recognised standard in New Zealand, NZS 4306 2005 Residential Property Inspection and I am competent to undertake this inspection and comprise a certified report on this asset.

An inspection carried out encompassing NZS 4306 2005 is not a statement that a property complies with the requirement of any regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property inspection. Refer to NZS 4306 2005 for further detail.

Signature



On behalf of CheckHome Limited

22 April 2022

# 21 Appendix

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## Appendix - Definitions

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**High:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Typical:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Low:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Above Average:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**Average:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average:** The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Safety Hazard:** Is a Defect requiring building works to avoid unsafe conditions.

**Action Required:** Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**Minor Maintenance:** Any Defect other than what is described as a major defect.

**Further Investigation:** Is an issue considered important to bring to your attention, which may or may not be a Safety Hazard, Action Required item or a Minor Maintenance item.

**Accessible area:** is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.





Wellington  
Canterbury  
Wairarapa  
Kapiti Coast  
Palmerston North

-  Pre Purchase Inspection
-  Pre Sale Inspection
-  Maintenance Report
-  Moisture Testing
-  Interior Inspection
-  Asbestos Testing
-  Meth Testing
-  Earthquake Inspection
-  Handover Inspection



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