

NOTES:

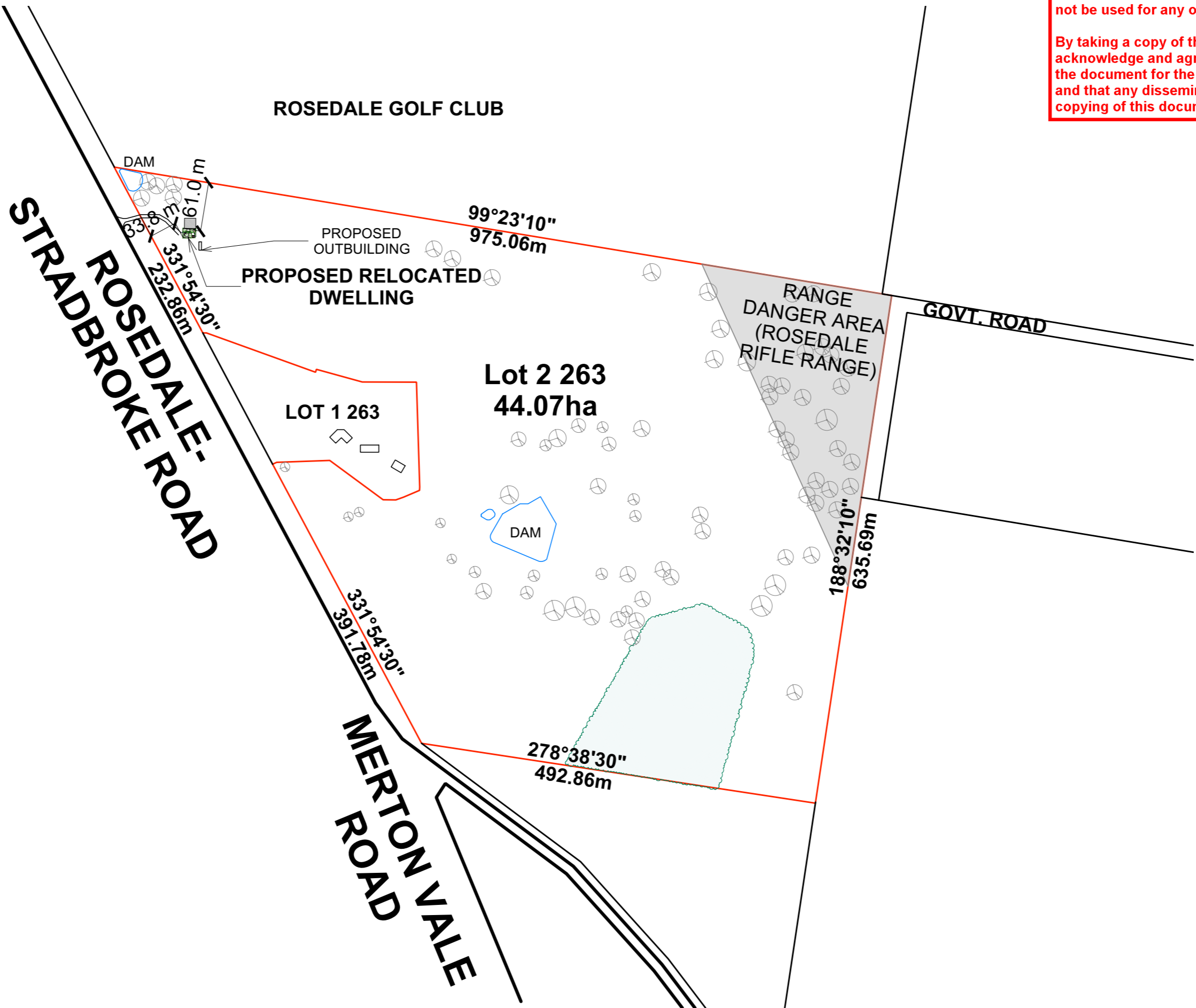
CONNECT SEWERAGE AS PER RELEVANT AUTHORITIES REQ'S.

DOWNPIPES TO BE CONNECTED TO LPOD AND OR STORAGE TANK IN ACCORD WITH RELEVANT AUTHORITIES REQ'S.

90mm AG. DRAINS TO BASE OF ALL CUTS TO BE CONNECTED TO LPOD VIA A SILT PIT IN ACCORD WITH RELEVANT AUTHORITIES REQ'S.

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EXISTING CROSSOVER
PROPOSED ALL-WEATHER ACCESS
DAM
PROPOSED RELOCATED DWELLING
PROPOSED OUTBUILDING

37.4 m
33.8 m
61.0 m

89°41'
4.445m

109°51'15"
143.525m

15°20'
3.889m

105°33'
58.78m

90°07'30"
67.29m

178°14'50"
29.82m

183°05'40"
4.31m

246°59'
21.63m

250°09'20"
10.19m

271°26'
15.71m

268°03'
66.17m

244°58'
4.78m

306°22'50"
87.845m

Lot 1

Lot 2
44.07ha

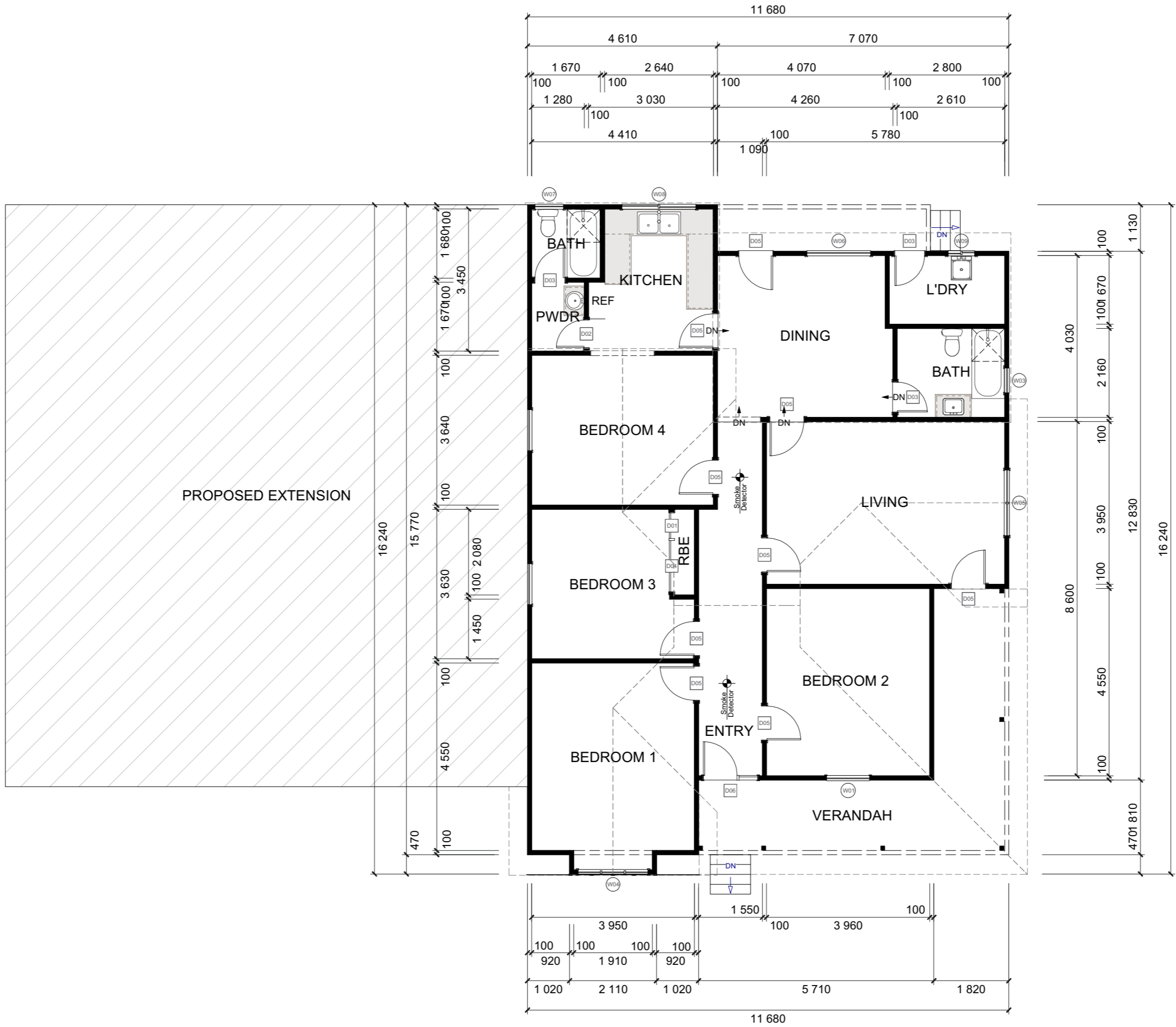
ROSEDALE-STRADBROKE ROAD

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WINDOW SCHEDULE		
NUMBER	QTY	SIZE
W01	1	1 800X1 050
W02	2	1 800X1 000
W03	1	950X610
W04	1	1 950X1 700
W05	1	1 950X1 600
W06	1	1 250X1 550
W07	1	550X700
W08	1	1 000X1 800

DOOR SCHEDULE		
NUMBER	QTY	SIZE
D01	1	620
D02	1	670
D03	3	720
D04	1	1 240
D05	9	820
D06	1	1 320





FLOOR PLAN 23 - 04
TOTAL AREA
177.2 sq m

LIVING AREA: 155.1 sq m
VERANDAH AREA: 22.1 sq m

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				<div>DRAWN BY:</div> <div>MH</div>	<div>SHEET NUMBER:</div> <div>6</div>	<div>DRAWING SCALE:</div> <div>1 : 100 @ A2</div>						
				<div>CHECKED BY:</div>	<div>NO. OF SHEETS:</div> <div>12</div>			<div>PLAN OF SUBDIVISION:</div> <div>2/PS906088H</div>			<div>STATUS:</div> <div>TO BE APPROVED</div>	
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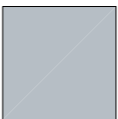


East Elevation

Colour Schedule



Roof & Gutters: Colorbond Monument



Walls: Dulux, Miller Mood



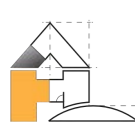
Windows/Trims: Dulux, Lexicon or similar

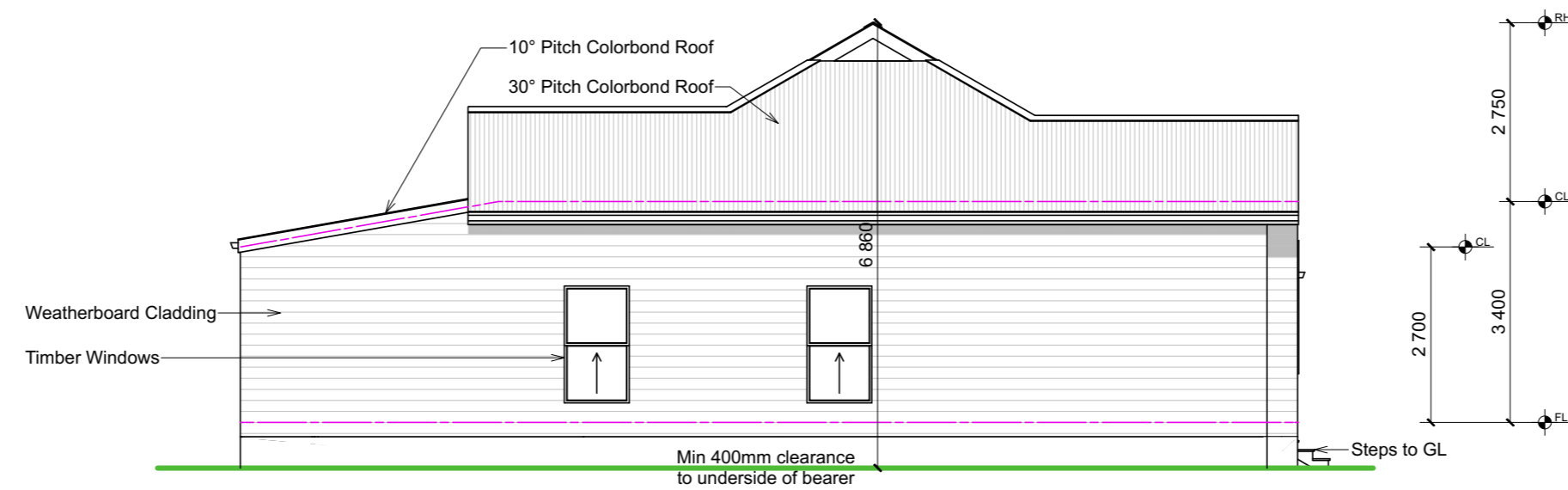
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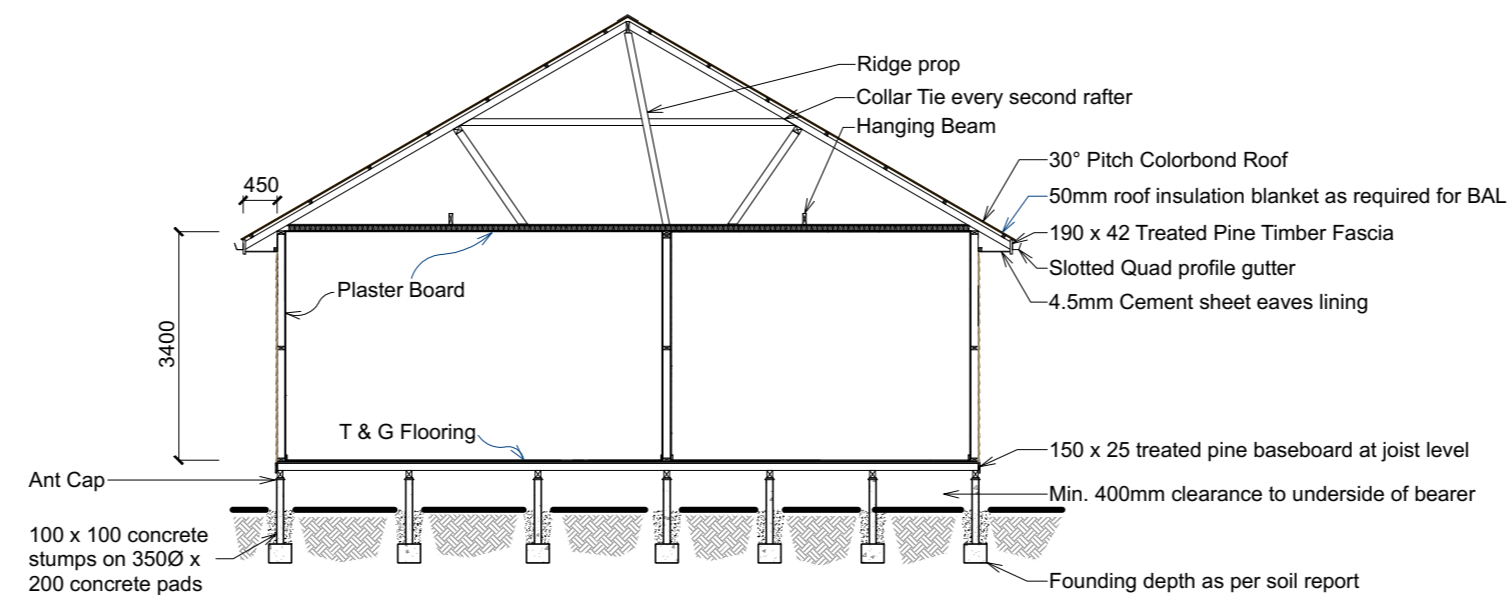


West Elevation

 <div><div>GOLDEN AGE</div><div>BUILDING DESIGN</div></div> <div>Ph: 1300 135 120 Email: gah@gah.com.au Web: www.gah.com.au</div>	<div><div><div>• CONTRACTORS TO VERIFY & CONFIRM ALL DIMENSIONS</div><div>• USE WRITTEN DIMENSIONS ONLY - DO NOT SCALE DRAWINGS</div><div>• ANY ALTERATIONS OR CHANGES TO BE SUBMITTED TO THE DESIGNER FOR VERIFICATION BEFORE COMMENCING WORKS</div><div>• ALL ANOMALIES TO BE REFERRED TO THE DESIGNER FOR CLARIFICATION BEFORE COMMENCING WORKS</div><div>• DRAWINGS TO BE READ IN CONJUNCTION WITH OTHER APPLICABLE DOCUMENTS, TOGETHER WITH ALL SPECIFICATIONS, ENGINEERS DRAWINGS, SOL REPORT & SERVICE DRAWINGS</div><div>• ALL WORKS TO COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS & BE IN ACCORDANCE WITH THE CURRENT NCC</div></div></div>			REVISION		<div>PRINT DATE: 24/01/2024</div> <div>JOB NUMBER: 2306</div> <div>DRAWING TITLE: ELEVATIONS</div>			<div>SITE ADDRESS: LOT 2 263 ROSEDALE- STRADBROKE ROAD ROSEDALE WELLINGTON</div>	
						<div>DRAWN BY: MH</div> <div>SHEET NUMBER: 9</div>				
						<div>CHECKED BY:</div> <div>NO. OF SHEETS: 12</div>	<div>DRAWING SCALE: 1 : 100 @ A2</div>			
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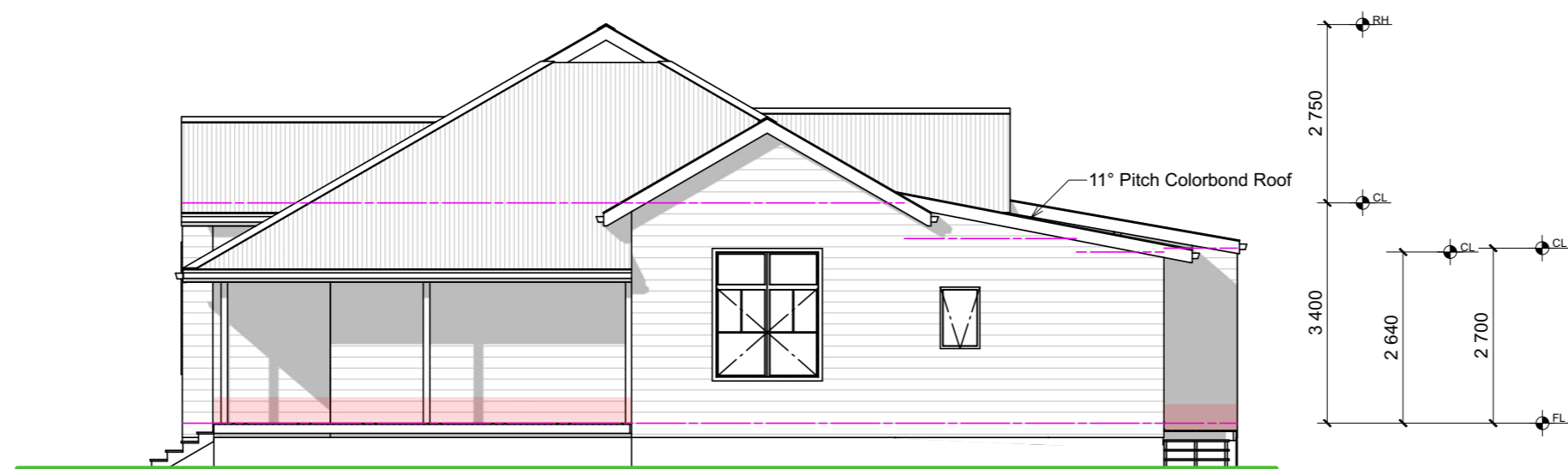
North Elevation



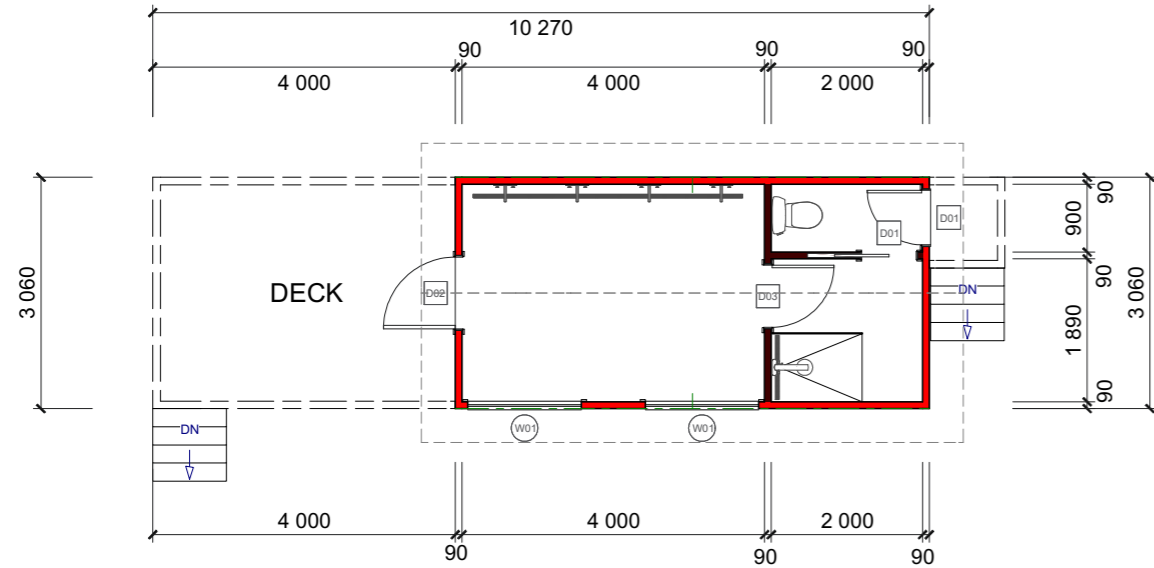
SECTION

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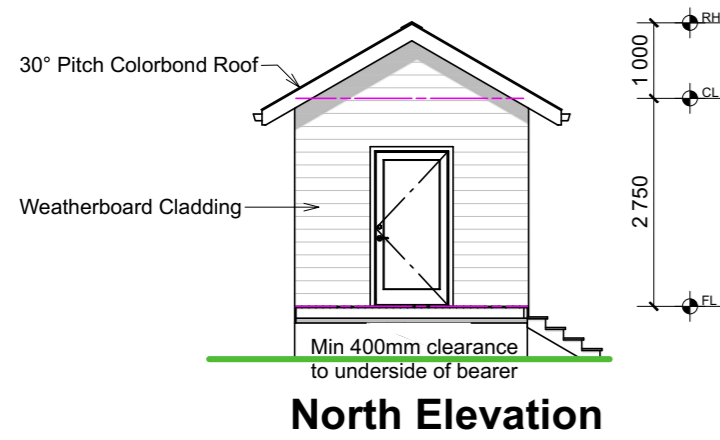
South Elevation



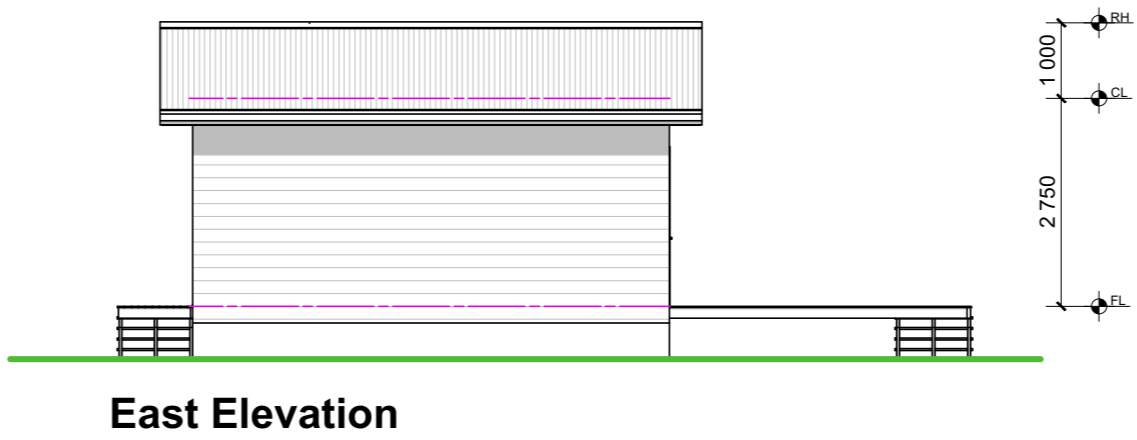
FLOOR PLAN
TOTAL AREA
19.2 sq m

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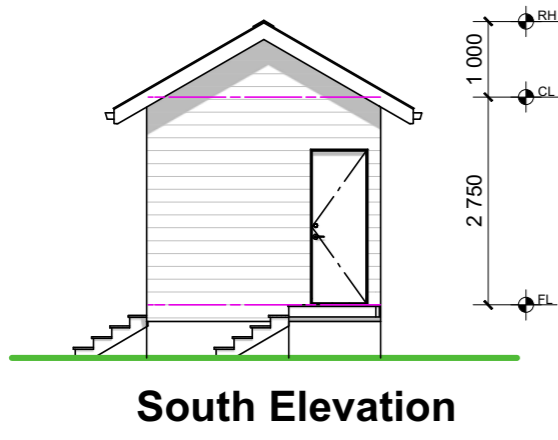
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North Elevation



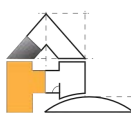
East Elevation



South Elevation



West Elevation

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				PRINT DATE: 24/01/2024		JOB NUMBER: 2306		DRAWING TITLE: OUTBUILDING PLAN AND ELEVATIONS				SITE ADDRESS: LOT 2 263 ROSEDALE-STRADBROKE ROAD ROSEDALE	
				DRAWN BY: MH		SHEET NUMBER: 11		DRAWING SCALE: 1 : 100 @ A2				WELLINGTON	
				CHECKED BY:		NO. OF SHEETS: 12		PLAN OF SUBDIVISION: 2/PS906088H				STATUS: TO BE APPROVED	
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Bushfire Management Plan for Lot 2, 263 Rosedale-Stradbroke Road. BAL 12.5. Version 1 of 20.01.2024. Scale 1cm=20m. Prepared by ETS

Mandatory Condition The bushfire protection measures forming part of this permit, or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

Defendable Space

- Defendable space for at least 30m to all elevations to be maintained to these conditions:
- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of the building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction Requirements

- Dwelling designed and constructed to a minimum Bushfire Attack Level of **BAL 12.5**

Access Requirements

The driveway is around 80 metres in length. As such these conditions apply :

- Emergency vehicles using the access provided to get within 4 metres of the water supply outlet
- All weather construction and a load limit of at least 15 tonnes and provide a minimum trafficable width of 3.5 metres
- Be clear of encroachments for at least 0.5 metre on each side and at least 4 metres vertically
- Curves must have a minimum inner radius of 10 metres
- The average grade must be no more than 1 in 7 (14.4% or 8.1 degrees) with a maximum grade of no more than 1 in 5 (20% or 11.3 degrees) for no more than 50 metres
- Dips must have no more than a 1 in 8 (12.5% or 7.1 degrees) entry and exit angle

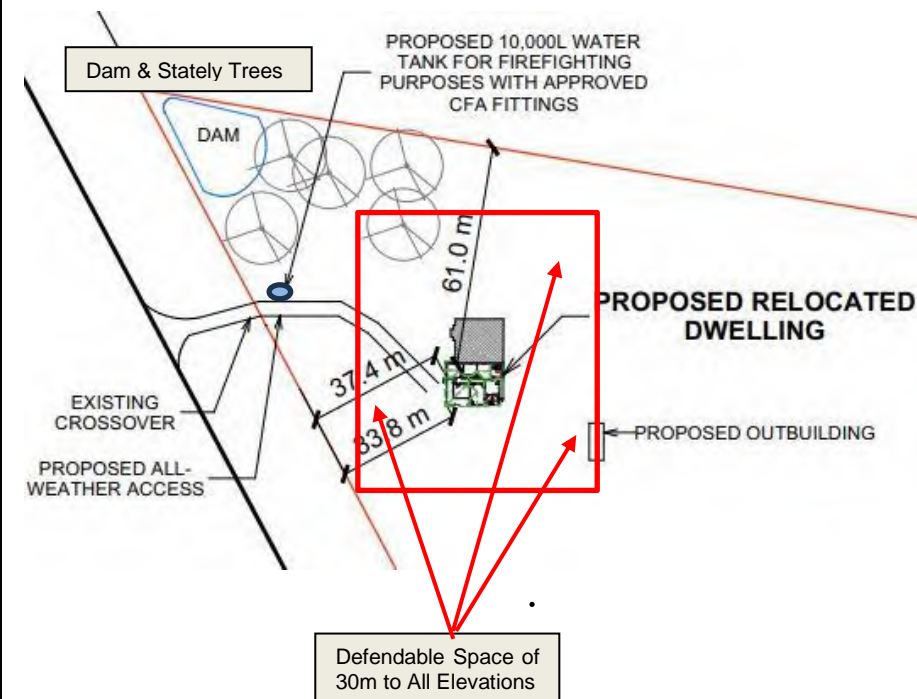
Water Requirements

The following requirements apply :

- An effective capacity of **10,000L** and be stored in an above ground water tank constructed of metal
- Have all fixed above ground water pipes and fittings required for fire-fighting purposes, made of corrosive resistant metal
- Include a separate outlet for occupant use

The following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority
- Be located with 60 metres of the outer edge of the approved building
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed
- Incorporate a separate ball or gate valve (British Standard Pipe 65mm) and coupling (64mm CFA 3 thread per inch male fitting)
- Any pipework and fittings must be a minimum of 65mm (excluding the CFA coupling)



	Defendable Space		Dwelling		CFA Water Tank
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