



PROPOSED DESIGN
FOR
JTR CUSTOM DEVELOPMENTS
166 - 168 PEARSON STREET,
SALE

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SITE NOTES

1.0 CHECK ALL DIMENSIONS PRIOR TO COMMENCING ANY SITE WORKS.
1.1 SITE DIMENSIONS TAKE PREFERENCE OVER SCALED DRAWINGS
ANY DIMENSION CHANGES TO BE REFERED TO THE BUILDING DESIGNER WHERE THEY AFFECT OR RELATE TO THE BUILDING DESIGN.
1.2 ALL SET OUT DIMENSIONS HAVE BEEN MEASURED FROM TO THE FACE OF COLUMNS AND / OR WALLS UNO.
1.3 WHERE AN EXISTING BOUNDARY LINE OR FENCE EXISTS CONFIRM BOUNDARY LOCATION. BUILDER SHALL DETERMINE PRIOR TO COMMENCEMENT OF WORKS THE BOUNDARY LOCATION TO ENSURE THE WORKS DOES NOT ENCROACH BOUNDARY OFFSET DIMENSIONS OR ADJACENT PROPERTY (ALLOW TO SURVEY BOUNDARY)
1.3 SERVICES UNDER GROUND TO BE INVESTIGATED BY BUILDER PRIOR TO SET OUT
1.4 SITE PREPARATION TO COMPLY WITH THE BCA : SITE PREPARATION
EARTHWORK CONSTRUCTION SHALL COMPLY WITH GUIDELINES SET OUT IN AS 3798.
STORM WATER TO DISCHARGE AWAY FROM NEW WORKS INCLUDING FOOTINGS AND SHALL NOT AFFECT ADJOINING PROPERTIES

FINISHED SLAB HEIGHT SHALL BE :
(a) 150 ABOVE FINISHED GROUND LEVEL OR
(b) 100 ABOVE SANDY WELL DRAINED AREAS OR
(c) 50 ABOVE PAVED OR CONCRETED AREA THAT SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH (a)

GENERAL NOTES

HEALTH AND AMENITIES:
TO COMPLY WITH BCA VOL2 PART 3.8.
WET AREA DETAILS IN ACCORDANCE WITH AS 3740
CONSTRUCTION OF SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH PART 3.8.3.3
LIFT OF HINGES TO BE PROVIDED WHERE REQUIRED IN ACCORDANCE WITH FIG. 3.8.3.3
GLAZING :
TO COMPLY WITH BCA VOL 2 PART 3.6 AND IN ACCORDANCE WITH REQUIREMENTS OF AS 1288, AS 2047

ENERGY EFFICIENCY TO COMPLY WITH BCA PART 3.12.3.3.
3.12.3.3 EXTERNAL WINDOWS AND DOORS
(A) A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING—
3.12.3.4 EXHAUST FANS
AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER, FILTER OR THE LIKE WHEN SERVING—
(I)A CONDITIONED SPACE

NOTE:
1. GLAZING INCLUDING MIRRORS WITHIN 2000MM ABOVE FLOOR LEVEL IN BATHROOMS AND EN SUITES SHALL HAVE A GRADE SAFETY GLASS IN ACCORDANCE WITH AS 1288
2. SHOWER SCREENS TO BE DESIGNED TO AS 1288
3. MIRRORS SUBJECT TO RISK OF HUMAN IMPACT TO BE SAFETY GLASS IN ACCORDANCE WITH AS 1288
4. PROVIDE A MANIFESTATION TO GLASS SLIDING DOOR AND OPENING PANEL, THAT CAN BE MISTAKEN FOR A DOORWAY IN ACCORDANCE WITH AS 1288
WET AREAS:
BUILDING ELEMENTS IN WET AREA WITHIN A BUILDING TO COMPLY WITH BCA VOL2 PART 3.8.1 AND AS 3740

DOOR TO THE SANITARY COMPARTMENT MUST, OPEN OUTWARDS, OR SLIDE, OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF OF AT LEAST 1.2M MEASURED BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.

TERMITE RISK MANAGEMENT:
TO COMPLY WITH BCA PART 3.1.4 AND IN ACCORDANCE WITH AS 3660.1.
GUTTERS AND DOWNPIPES TO BE INSTALLED IN ACCORDANCE WITH BCA 3.5.2 AND AS/NZS 3500.
GLAZING TO COMPLY WITH BCA VOL 2 PART 3.6 AND IN ACCORDANCE WITH REQUIREMENTS OF AS 1288, AS 2047

GUTTERS AND DOWNPIPES:
TO BE INSTALLED IN ACCORDANCE WITH BCA 3.5.2 AND AS/NZS 3500.

SITING COMPLIANCE REPORT

Building Regulations 2018: Part 5 – Siting
Reg. 73 **Maximum street setback**
For new Class 1 building with allotment area < 0.00m ²
Allotment depth (d) = 0.00m
Maximum setback allowable (d/3) = 0.00m
Maximum setback proposed = 0m
Ref. 74 **Minimum street setback**
Front street setback
Front street is a 'declared road' No
Existing building setback LHS = -
Existing building setback RHS = -
Minimum front setback allowable = 0m
Minimum front setback proposed = 0m
Side street setback
Not applicable
Reg. 75 **Building height**
Slope of natural ground <2.5 °
Maximum building height allowable 9.0m
Maximum building height proposed = 0.00m
Reg. 76 **Site Coverage**
Allotment area = 0.00m ²
Maximum site coverage allowable @ 60% of site = 0.00m ²
Maximum site coverage proposed = 0.00m ²
Reg 76A **Garden area**
Allotment area = 0.00m ²
Minimum garden area required 35% = 0.00m ²
Minimum garden area provided = 0.00m ²
Reg. 77 **Permeability**
Allotment area = 0.00m ²
Minimum 20% of site with permeable surfaces = 0.00m ²
Minimum permeable surface proposed = 0.00m ²
(Refer to Architectural Drawings for details on compliance with requirements)
Reg. 78 **Car Parking**
Internal garage
(Refer to Architectural Drawings for details on compliance with requirements)
Reg. 79 **Side and rear setback**
(Refer to Architectural Drawings for details on compliance with requirements)
Wall length
Not applicable
Wall height
Not applicable
Reg. 81 **Daylight to existing habitable room windows**
Adjoining building habitable room window within 1.45m of common boundary
Not applicable (no adjoining neighbouring windows considered as 'north facing')
Reg. 82 **Solar access to existing north facing habitable room windows**
Not applicable (no adjoining neighbouring windows considered as 'north facing')
Reg. 83 **Overshadowing of recreational private open space**
Not applicable (Refer to Architectural Drawings for details on compliance with requirements)
Reg. 84 **Overlooking**
Applicable (Refer to Architectural Drawings for details on compliance with requirements)
Reg. 85 **Daylight to (new) habitable room windows**
Not applicable (1.0m clearance between gutter and allotment boundary at window)
Reg. 86 **Private open space**
Total area required (lesser of 80m ² or 20% of site area @ m2). Provided 80m ²
One portion of area minimum 25m ² x 3.00m minimum wide located to side or read of building with convenient access off habitable room (other than bedroom)
(Refer to Architectural Drawings for details on compliance with requirements)

Drawing No.	Description	Revision
A000	COVER	01
A101	NOTES	01
A102	SITE PLAN	01
A103	EXISTING & DEMOLITION PLANS	01
A104	FLOOR PLAN EXISTING HOUSE	01
A105	FLOOR PLAN UNIT 1	01
A106	FLOOR PLAN UNIT 2	01
A107	ELEVATIONS Sheet 1	01
A108	ELEVATIONS Sheet 2	01
A109	3D VIEW	01

No.	Description	Date
01	Planning Set	07.02.2024

PEARSON STREET UNITS		NOTES	
166 - 168 PEARSON STREET, SALE		Project number	T18001
		Date	SEPTEMBER 2023
		Drawn by	CT
		Checked by	JK
		A101	
		Scale	1 : 100



RALCON Homes
6-8 Wellington Park Way | Sale 3850
0409 054 454 | www.ralcon.com.au
MBA no. 113379
Builders practitioners no. CDB-U49799 CCB-U53369



AREA SCHEDULE	
GROUND FLOOR	0 m²
ALFRESCO & STAIRS	0 m²
TOTAL	0 m²
SITE	0 m²
BUILDING COVERAGE	0 %

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SITE LOCATION PLAN
NTS

SITE PLAN

RALCON HOMES

RALCON Homes

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MBA no. 113379

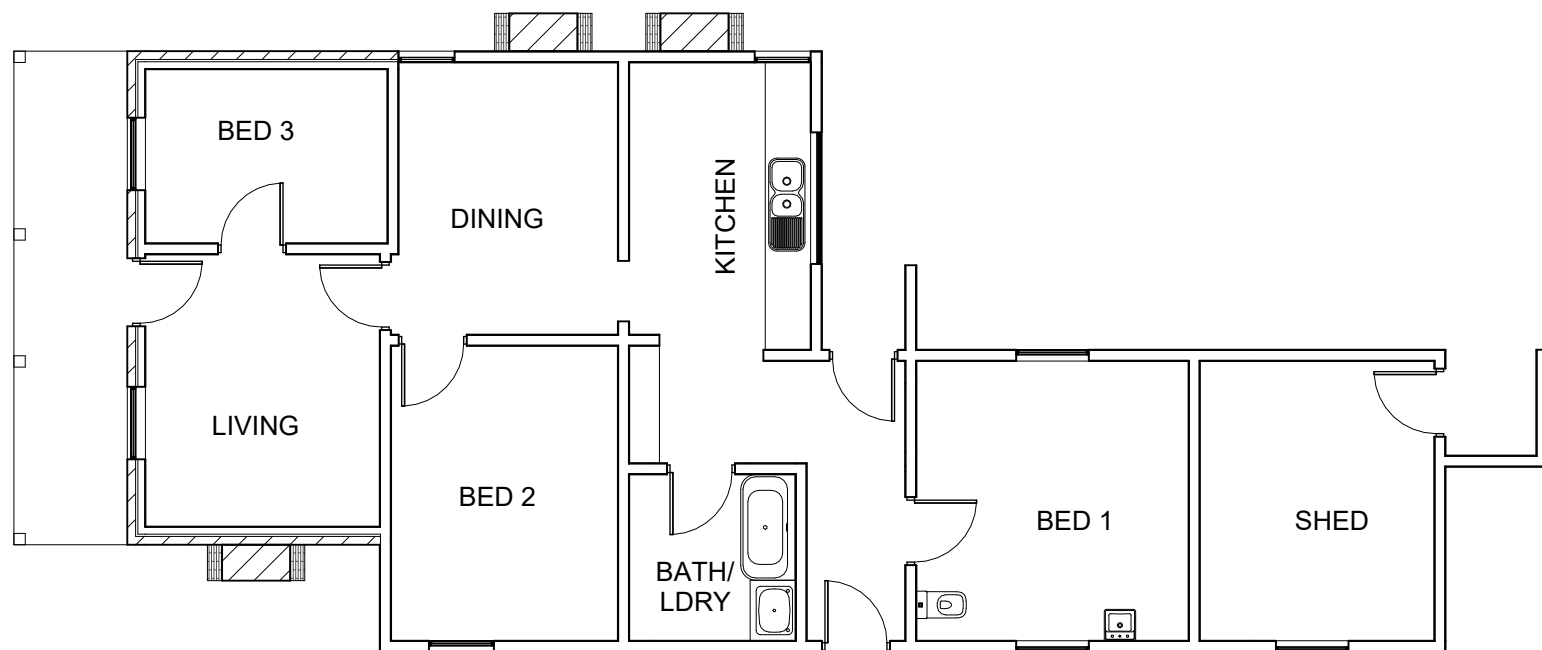
Builders practitioners no. CDB-U49799 CCB-U53369

No.	Description	Date
01	Planning Set	07.02.2024

PEARSON STREET UNITS

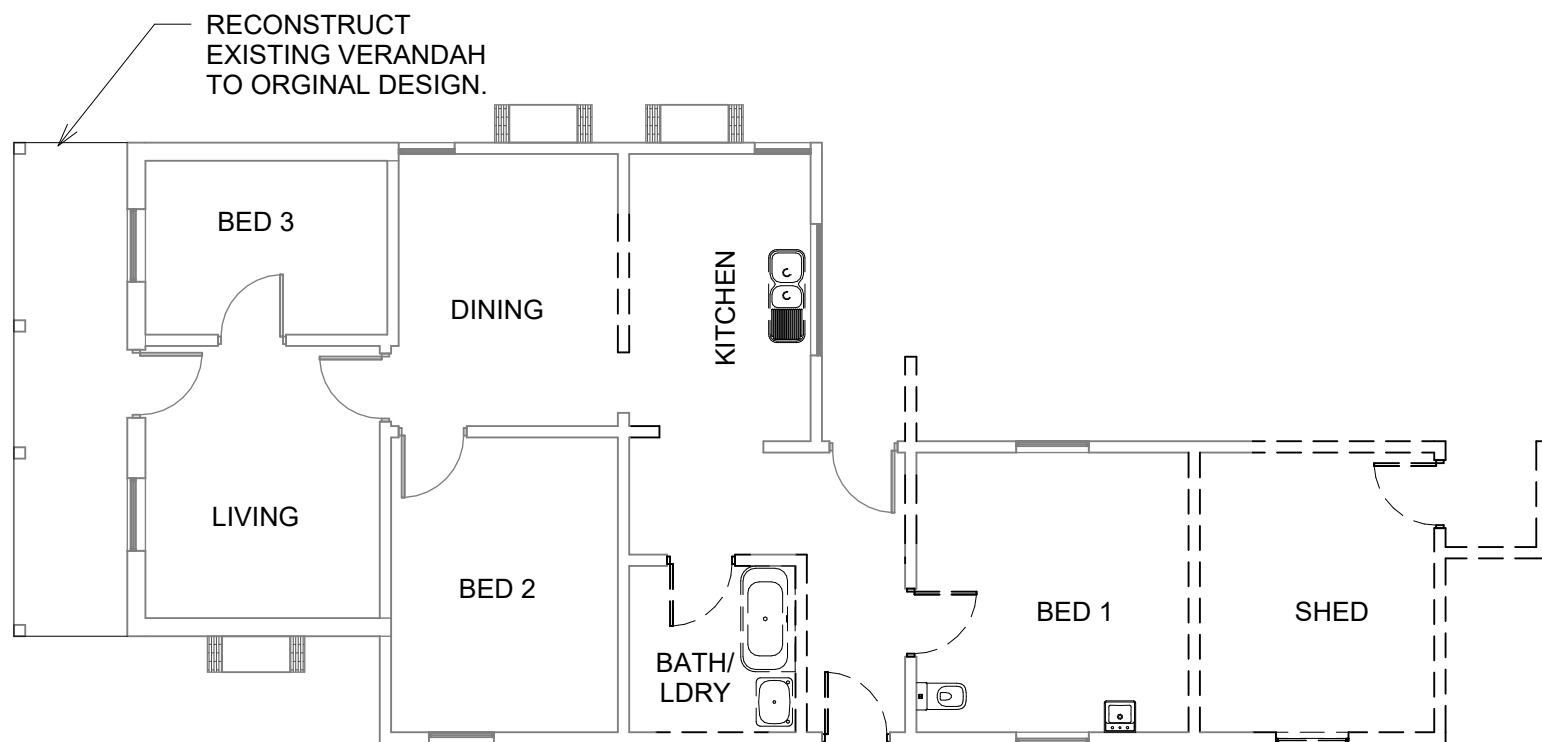
166 - 168 PEARSON STREET, SALE

SITE PLAN		
Project number	T18001	A102
Date	SEPTEMBER 2023	
Drawn by	CT	
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Scale		As indicated



EXISTING PLAN

1 : 100



DEMOLITION PLAN

1 : 100

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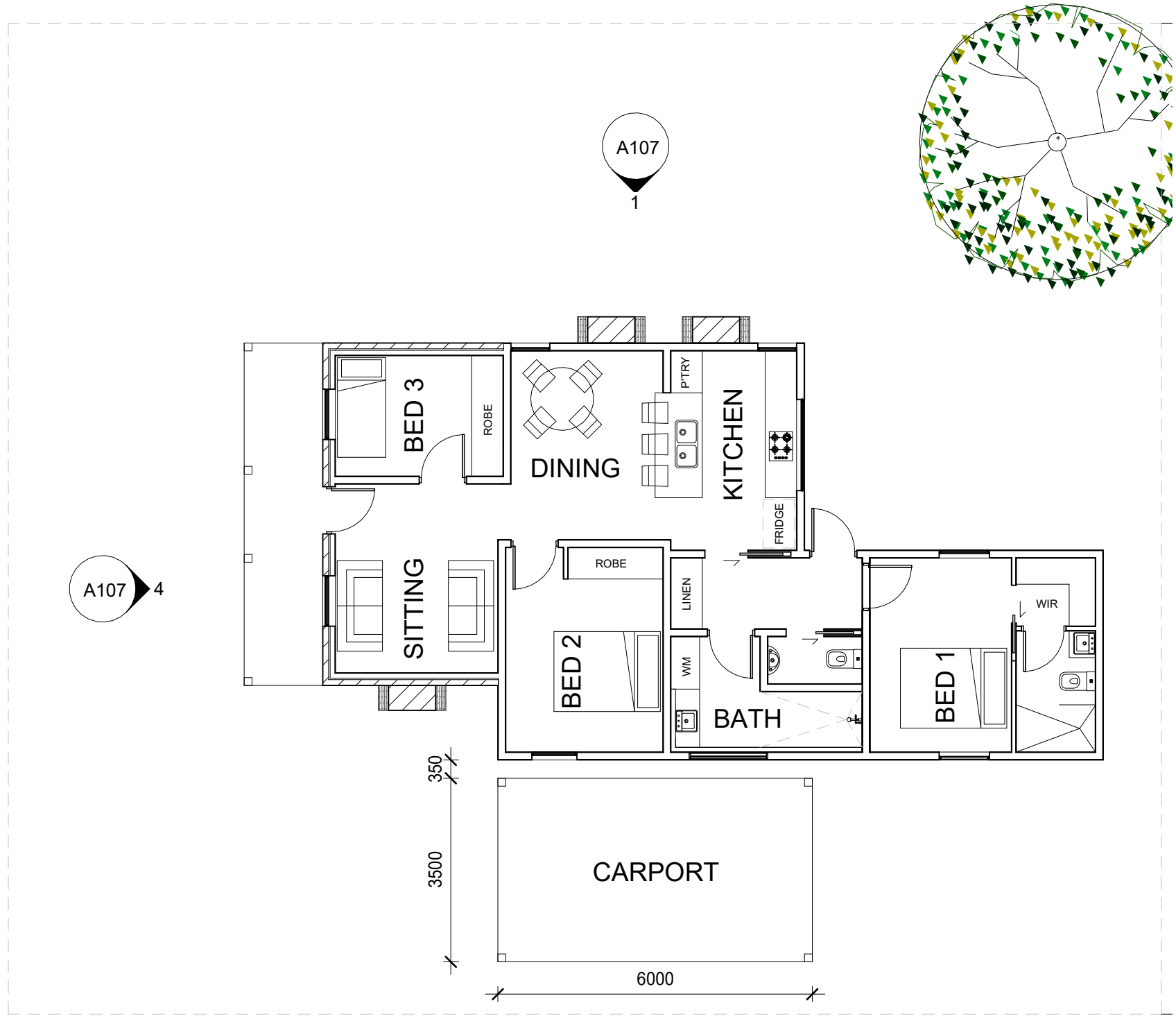
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PEARSON STREET UNITS

166 - 168 PEARSON STREET, SALE

EXISTING & DEMOLITION PLANS

Project number	T18001	A103
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FLOOR PLAN EXISTING HOUSE
1 : 100

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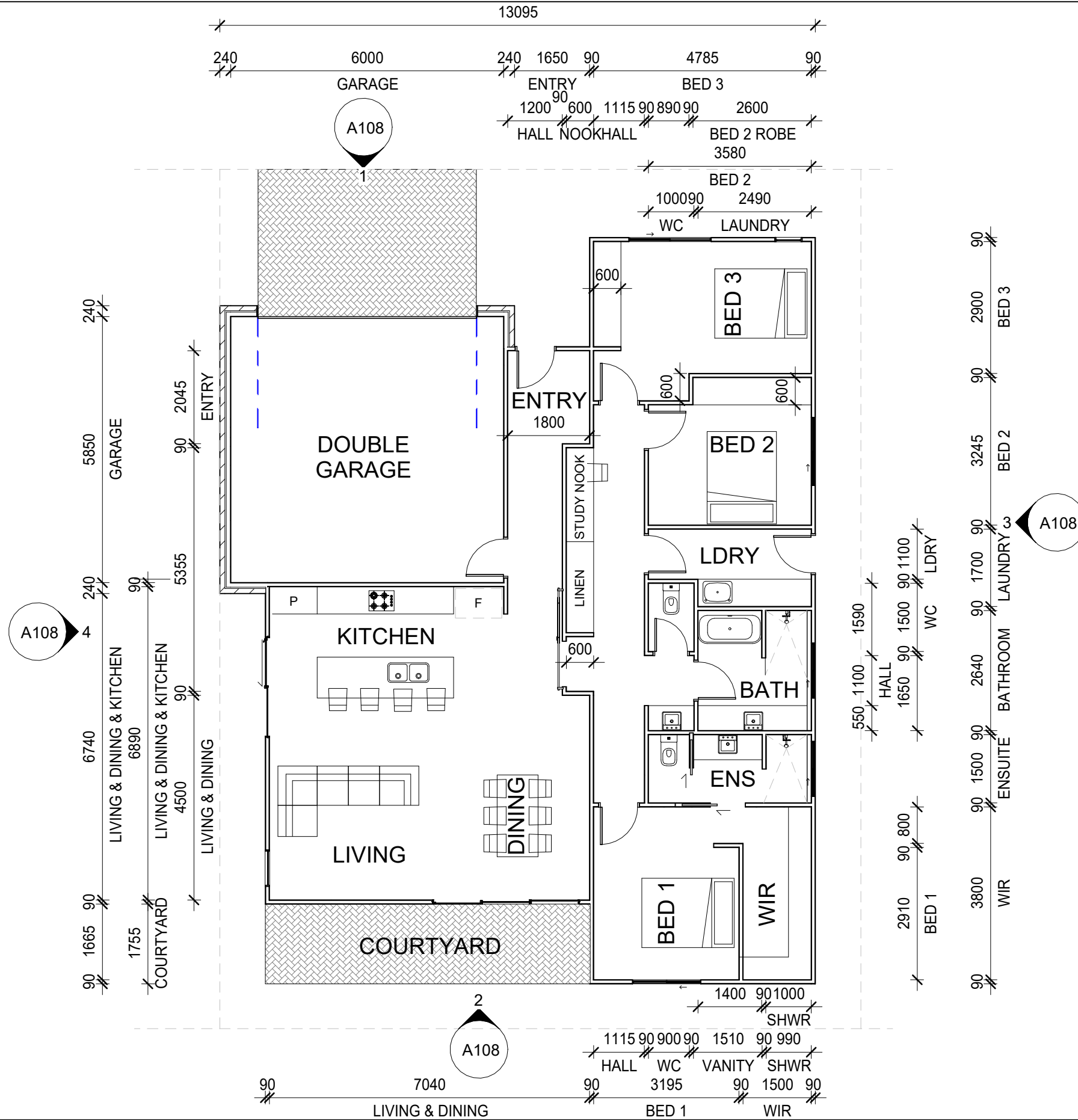
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PEARSON STREET UNITS

166 - 168 PEARSON STREET, SALE

FLOOR PLAN EXISTING HOUSE		
Project number	T18001	A104
Date	SEPTEMBER 2023	
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FLOOR PLAN UNIT 1
1 : 100



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PEARSON STREET UNITS

166 - 168 PEARSON STREET, SALE

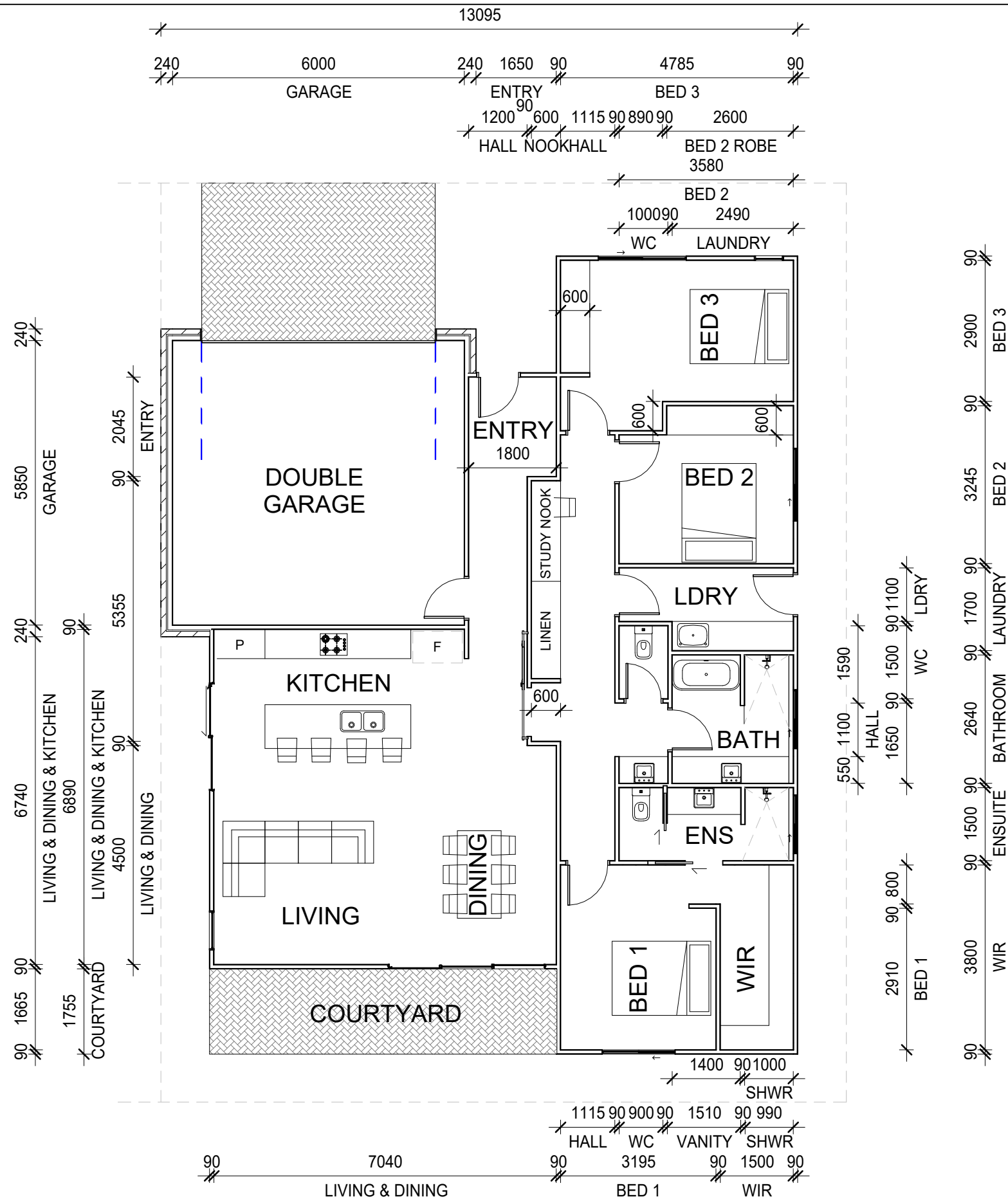
FLOOR PLAN UNIT 1

Project number	T18001
Date	SEPTEMBER 2023
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A105

Scale 1 : 100

FLOOR PLAN UNIT 2
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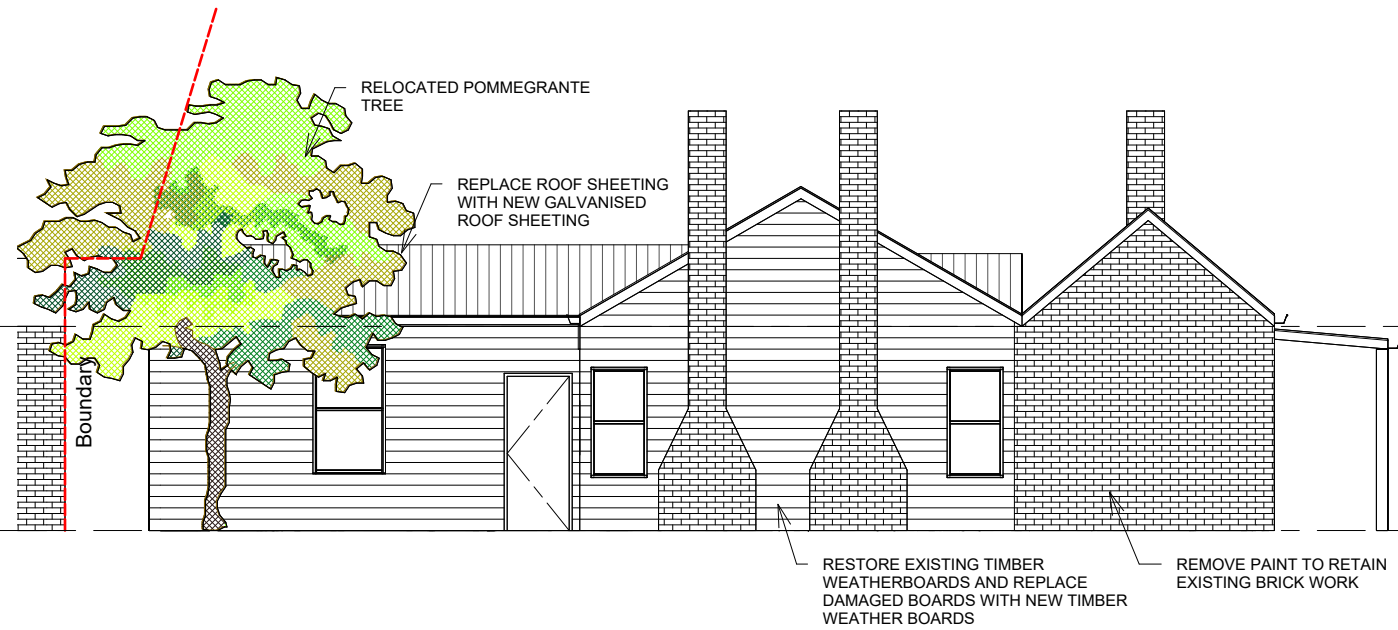
No.	Description	Date
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PEARSON STREET UNITS

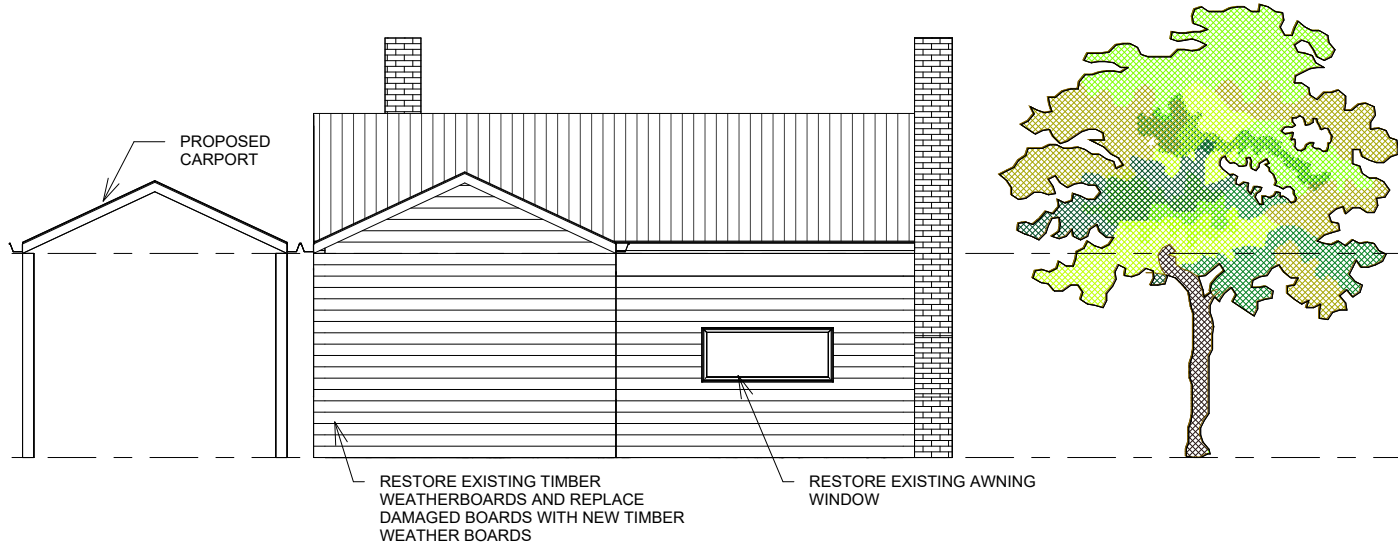
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FLOOR PLAN UNIT 2

Project number	T18001	A106
Date	SEPTEMBER 2023	
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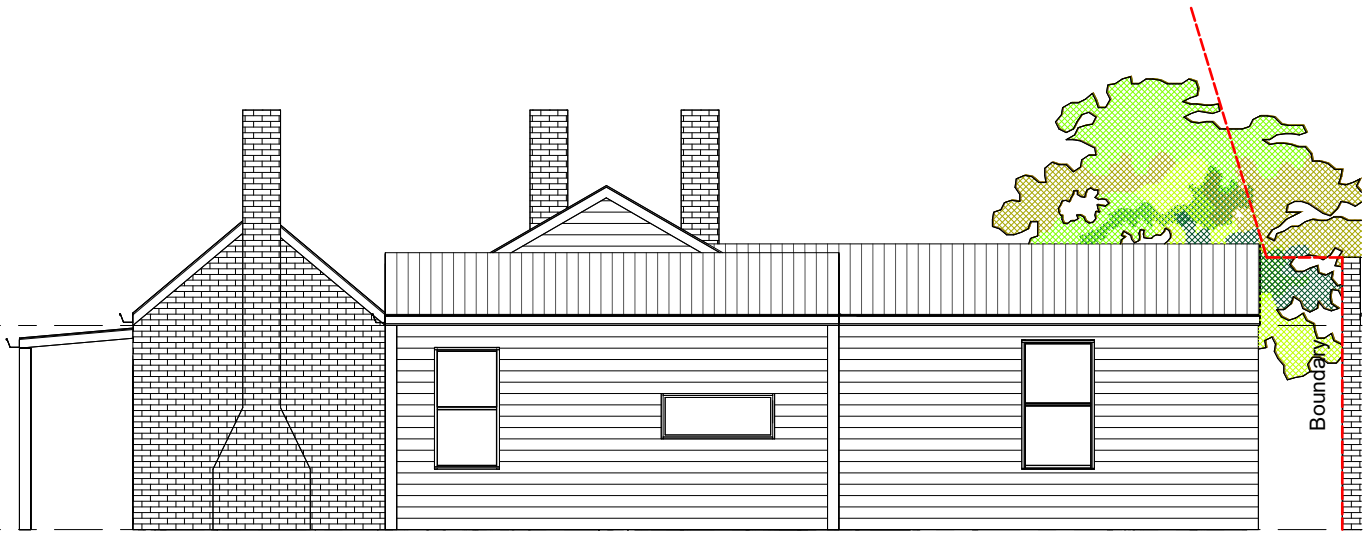
EXISTING NORTH ELEVATION
1 : 100



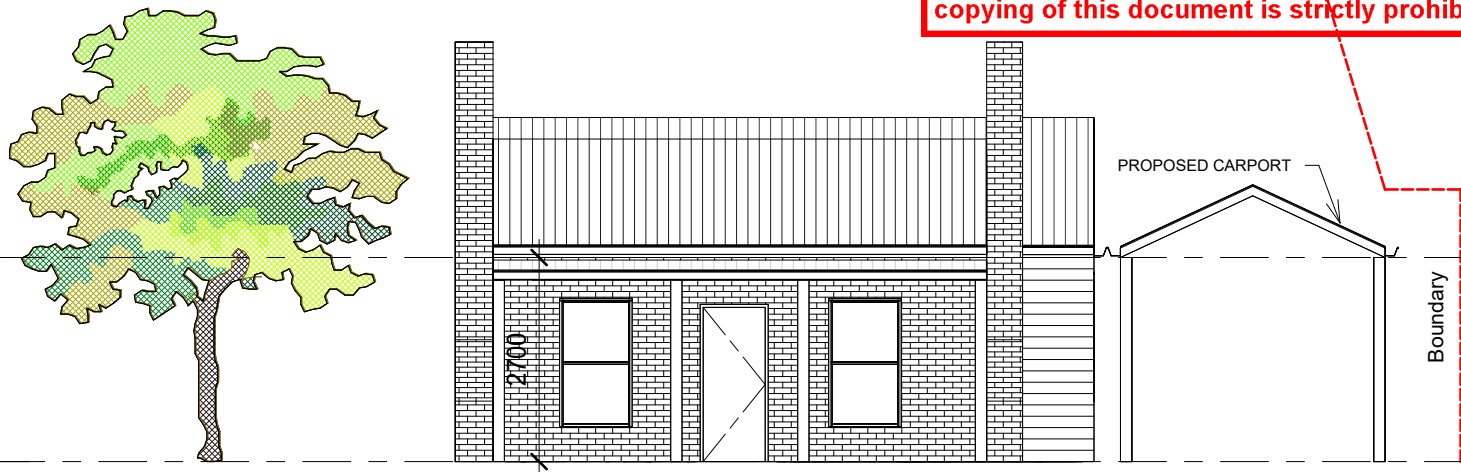
EXISTING EAST ELEVATION
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EXISTING SOUTH ELEVATION
1 : 100



EXISTING WEST ELEVATION
1 : 100



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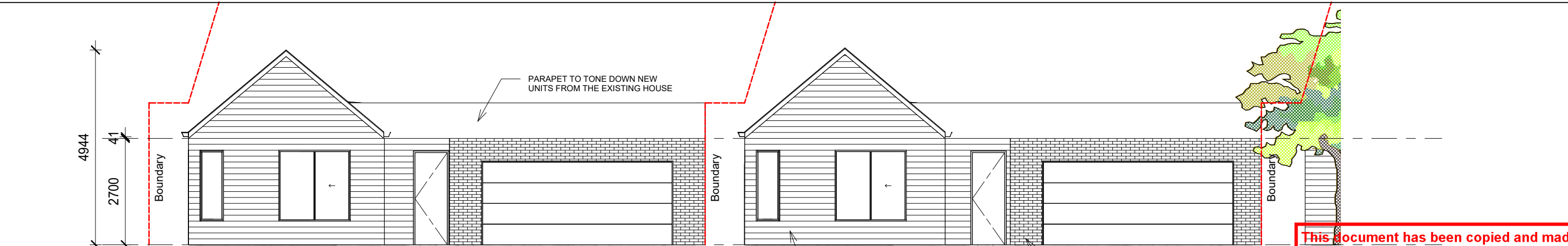
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PEARSON STREET UNITS

166 - 168 PEARSON STREET, SALE

ELEVATIONS Sheet 1

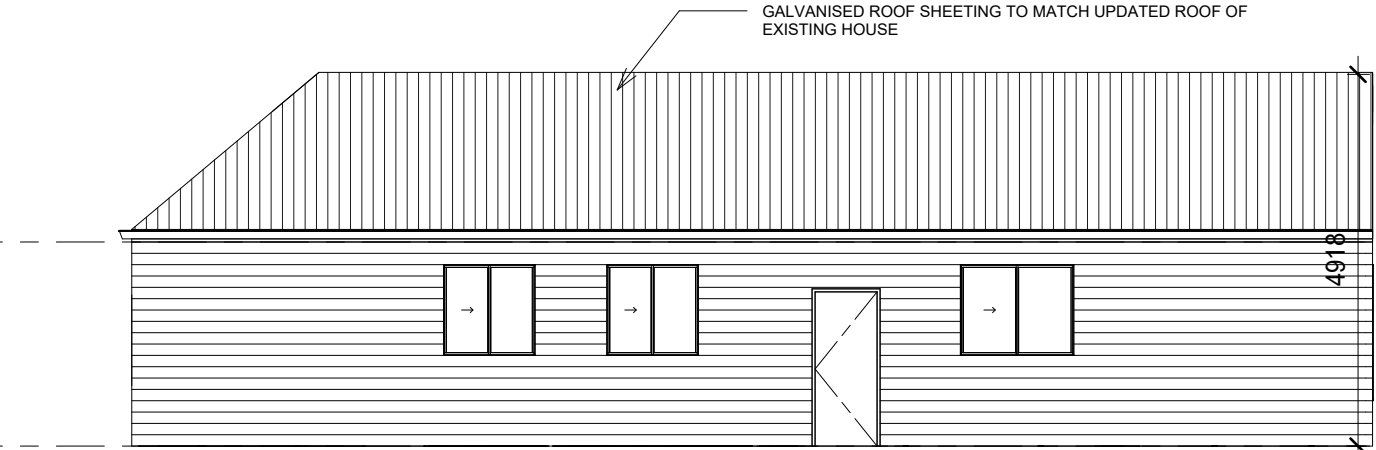
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Date	SEPTEMBER 2023	
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Scale		1 : 100



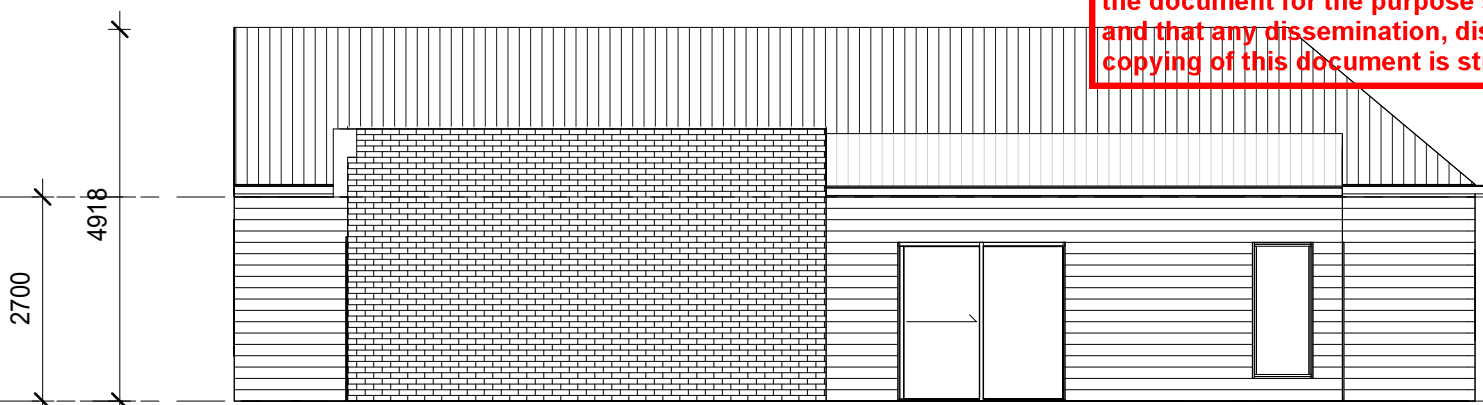
UNITS NORTH ELEVATION
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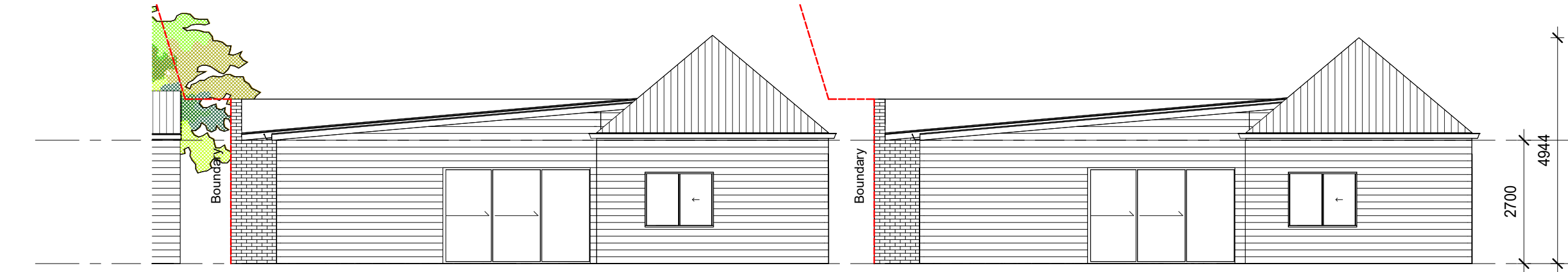
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UNITS EAST ELEVATION
1 : 100



UNITS WEST ELEVATION
1 : 100



UNITS SOUTH ELEVATION
1 : 100



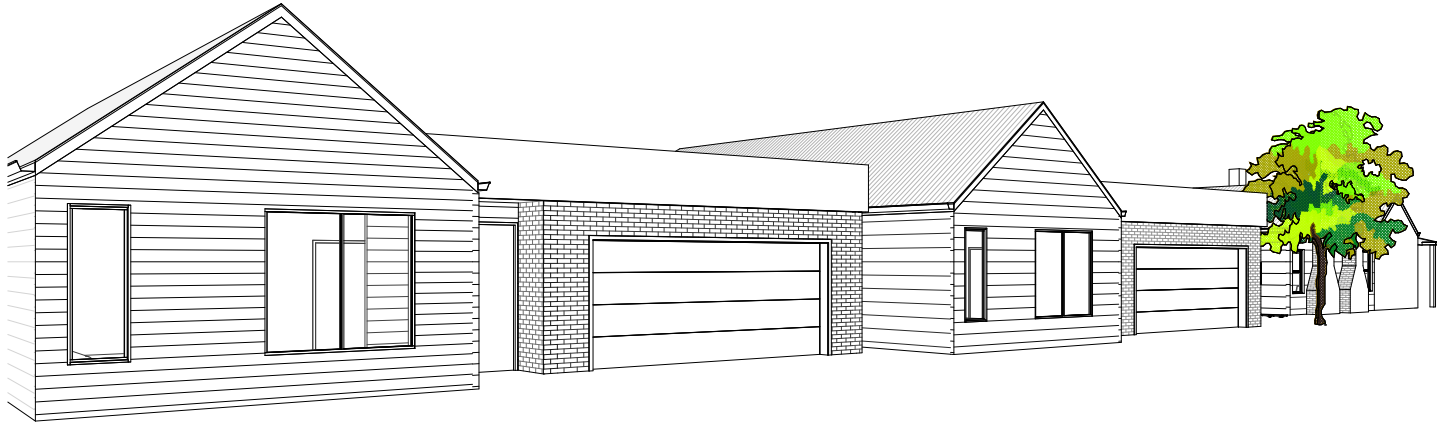
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PEARSON STREET UNITS

166 - 168 PEARSON STREET, SALE

ELEVATIONS Sheet 2			
Project number	T18001	A108	Scale
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PEARSON STREET UNITS

166 - 168 PEARSON STREET, SALE

3D VIEW

Project number	T18001	A109
Date	SEPTEMBER 2023	
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