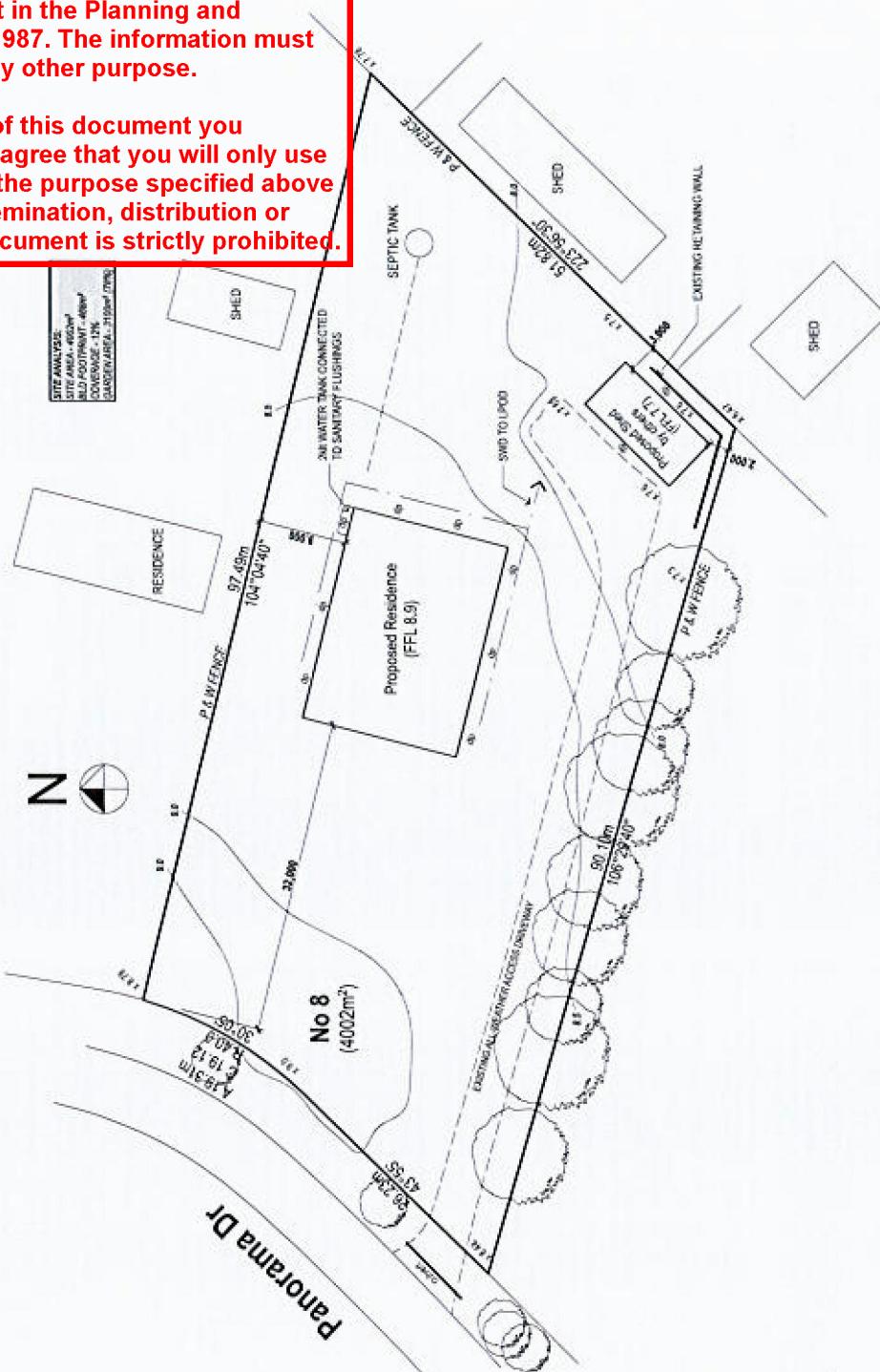


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REVIEW NOTES





- I, THE HIRER, WILL AT ALL TIMES AND IN ALL WAYS MAINTAIN AND PROTECT THE PROPERTY AND EQUIPMENT PROVIDED TO ME, INCLUDING EXISTING STRUCTURES (PROVIDED WITH OR WITHOUT ADMISSIONS) AND OTHER CONDITIONS, IN DUCH WITH THE LOCAL BUILDING AUTHORITY REGARDING THE REQUIREMENTS FOR PROTECTION AGAINST SUBTERFUGIAN TENTS. IF REQUIRED, A METHOD OF PROTECTION, COMPLYING WITH ADVICE FROM THE HIRER'S CONSTRUCTION CONTRACTORS, IS TO BE PROVIDED BY THE HIRER.

I, THE HIRER, WILL NOT MAKE ANY CHANGES TO THE PROPERTY OR EQUIPMENT PROVIDED TO ME, UNLESS APPROVED IN WRITING BY THE HIRER'S CONSTRUCTION CONTRACTORS. I, THE HIRER, WILL NOT ALTER OR REMOVE ANY FORM OF PROTECTION PROVIDED BY THE HIRER'S CONSTRUCTION CONTRACTORS, UNLESS APPROVED IN WRITING BY THE HIRER'S CONSTRUCTION CONTRACTORS.

I, THE HIRER, WILL NOT USE THE PROPERTY OR EQUIPMENT PROVIDED TO ME FOR ANY PURPOSE WHICH IS CONTRARY TO THE HIRER'S CONSTRUCTION CONTRACTORS' REQUIREMENTS FOR PROTECTION AGAINST SUBTERFUGIAN TENTS.

I, THE HIRER, WILL NOT USE THE PROPERTY OR EQUIPMENT PROVIDED TO ME FOR ANY PURPOSE WHICH IS CONTRARY TO THE HIRER'S CONSTRUCTION CONTRACTORS' REQUIREMENTS FOR PROTECTION AGAINST SUBTERFUGIAN TENTS.

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**INSULATION** IS A CRUCIAL PART OF YOUR HOME'S ENERGY EFFICIENCY. PROVIDE MINIMAL INSULATION IN THE CEILINGS, AND MAXIMIZE INSULATION IN THE FLOOR, WALLS, AND ROOF. INSULATION IS THE MOST COST-EFFECTIVE WAY TO REDUCE HEATING AND COOLING BILLS. INSULATION IS A CRUCIAL PART OF YOUR HOME'S ENERGY EFFICIENCY. PROVIDE MINIMAL INSULATION IN THE CEILINGS, AND MAXIMIZE INSULATION IN THE FLOOR, WALLS, AND ROOF. INSULATION IS THE MOST COST-EFFECTIVE WAY TO REDUCE HEATING AND COOLING BILLS.

**BUSHPIRE ATTACK LEVEL ASSESSMENT:**

ICL (Median 2 table 2.1 of AS 3986-2010) = 192  
Change from Vegetation (Section 2 Clause 12.2.4 of AS 3986-2010) = 15m  
Vegetation Slope Steepness 2.0 of AS 3986-2010 = 1.42  
OFTENHARD BBL = 12.0 (LOT IS WITHIN 12.5  
ADOPTED BBL = 12.0 (LOT IS WITHIN 12.5  
**MANAGED VEGETATION C LINE**

Record ID	CHD	Change Name	Date	PROPOSED RESIDENCE	Project	D DORIC	drawn	WORKING DRAWINGS	Architect
94			14/12/2002		client	01	-Issue	SPECIFIC NOTES & SITE PLAN	JAD DAY
				8 PANORAMA DR, WOODSIDE BEACH	Location	14/12/2002	-Issued		3rd 13 - Issue no
					J & C UPTON			8 PANORAMA DR, WOODSIDE BEACH	

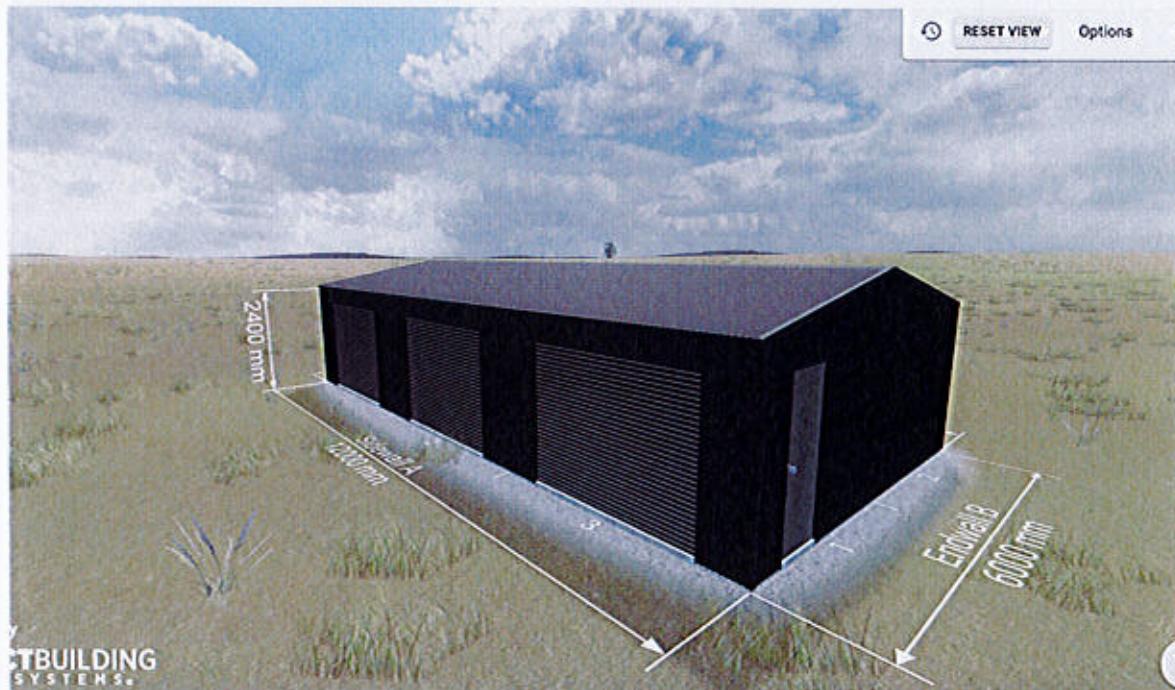


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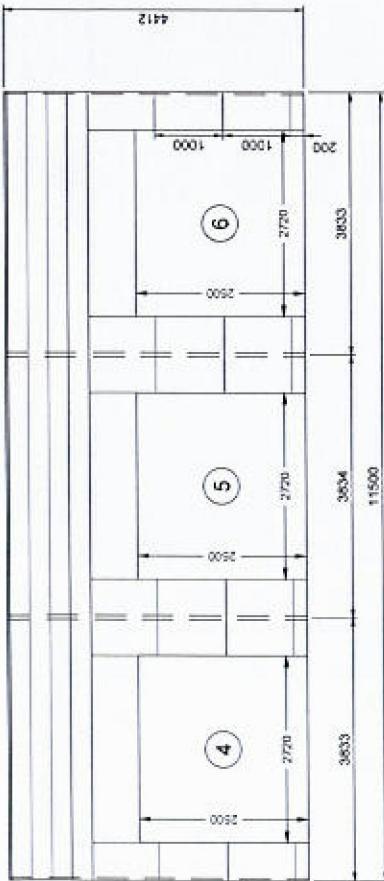
Concrete Slab to be installed dimension 13 m x 7 m

Slab distances from boundary - Rear fence (East) 3 metres – from southern boundary 5 metres.



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**2** LEFT ELEVATION  
**3**

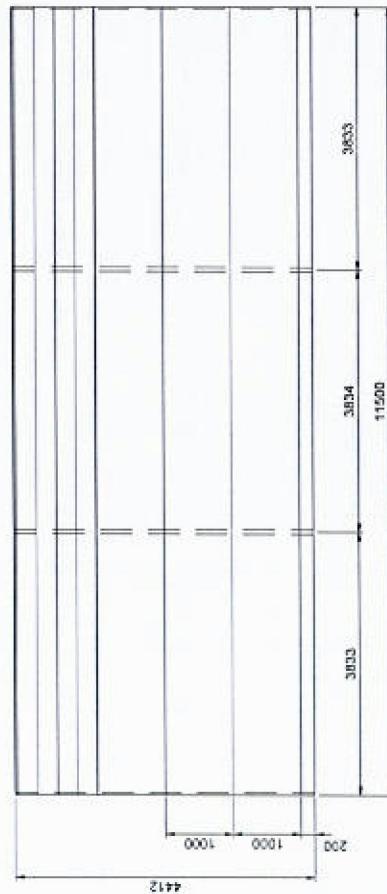
SCALE 1:3

**3** REAR ELEVATION  
**3** SCALE: 1:75

10

FRAME #

100

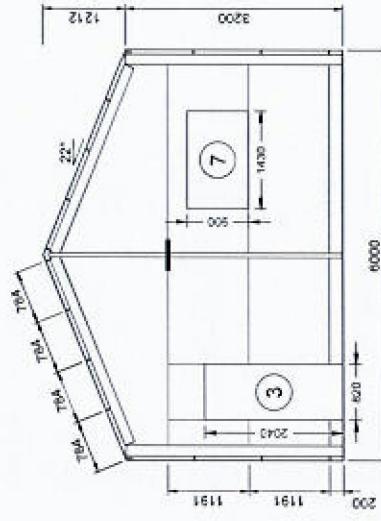


1 RIGHT ELEVATION

SCAIE 4.75

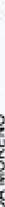
**FRONT ELEVATION**

SCAI E 1:75



ERAME

FRAME 4

<b>CIVIL &amp; STRUCTURAL ENGINEERS</b> COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FOUNDRY - STEEL DUCTING <b>CAMILO PINEDA, MORENO</b> <small>Architectural Engineer Structural Engineer Project Manager BSc Civil Engineering MSc Structural Engineering P.Eng. #13877 Member of CIBSE, ASCE, NSPE</small>		<b>EMERALD</b> <small>FORMERLY BESHT SHEDS LTD.</small>	Customer Name: Site Address: 8 Panorama Drive Woodside Beach, VIC, 3074  Signature:  Date: 14.06.2023
151 Simanton Grange Road, Simanton Grange, NSW, 2567 Phone: 02 4448 7777 Fax: 02 4648 7700 Email: sales@bestsheds.com.au			DATE: 14.06.2023 Job No.: 30322125769 SHEET: 3 of 6



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SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL (100mm MINIMUM CONCRETE SLAB INCLUDED)					
SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM PIER	EDGE BEAM	EDGE BEAM PIER	EDGE BEAM PIER
A, S, G, M	MESH SL72	TRENCH # X DEPTH	# X DEPTH	DEPTH	WIDTH
M-D	SL82	—	—	—	—
H TO H-D	SL82	L11TM3	—	300	300
F TO E-D	SL82	L11TM4	—	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIER(S), UNDER COLUMNS, 300 INTO TANK GROUND)	SL82	L11TM4	450*	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION.  
STRENGTH: 25MPa  
INDICATES 12 mm  
GRADE 4.6 ROLLS  
4 X 14G TEK SCREWS

2 X M12 BOLTS  
2 X 12MM DIA SLEEVE ANCHORS,  
10MM DIA INTERNAL ROCK-MIN 15MM LONG  
REFER TO SLAB  
TABLE FOR MESH  
TYPE - 30MM COVER  
POLYTHENE WATERPROOF  
MEMBRANE ON CONSOLIDATED  
SUBSOIL SHOWN DASHED

2C15024 SLAB DETAIL

Z ALTERNATE PIER DETAIL

I ROOF SHEETING

J ROOF SHEETING

K ROOF SHEETING

L ROOF SHEETING

M ROOF SHEETING

N ROOF SHEETING

O ROOF SHEETING

P ROOF SHEETING

Q ROOF SHEETING

R ROOF SHEETING

S ROOF SHEETING

T ROOF SHEETING

U ROOF SHEETING

V ROOF SHEETING

W ROOF SHEETING

X ROOF SHEETING

Y ROOF SHEETING

Z ROOF SHEETING

A HAUNCH CONNECTION

B APEX CONNECTION

C APEX CONNECTION

D TOP HAT CONNECTION

E ENDWALL MULLION TO RAFTER  
PEAK CONDITION

F GIRT CONNECTION

G TOP HAT CONNECTION

H EAVE CONNECTION

I EAVE CONNECTION

J EAVE CONNECTION

K EAVE CONNECTION

L EAVE CONNECTION

M EAVE CONNECTION

N EAVE CONNECTION

O EAVE CONNECTION

P EAVE CONNECTION

Q EAVE CONNECTION

R EAVE CONNECTION

S EAVE CONNECTION

T EAVE CONNECTION

U EAVE CONNECTION

V EAVE CONNECTION

W EAVE CONNECTION

X EAVE CONNECTION

Y EAVE CONNECTION

Z EAVE CONNECTION

<p>CIVIL &amp; STRUCTURAL ENGINEERS COMMERCIAL - INDUSTRIAL RESIDENTIAL - SPRINGS - STEEL DETAILING CAMILO PINEDA MORENO EMERALD best sheds</p> <p>151 Smaleson Grange Road, Smaleson Grange, NSW, 2567 Phone: 02 4648 7777 Fax: 02 4648 7700 Email: sales@bestsheds.com.au</p>	<p>Customer Name: Site Address: 8 Panorama Drive Woodside Beach, VIC, 3974</p>	<p>DATE: 14-06-2023 JOB NO. 2022125769 5 of 6 SHEET</p>
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8 PANORAMA DR  
WOODSIDE BEACH



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dorriedesign@pmvms.com.au  
937-AD 241796  
4134 827 927



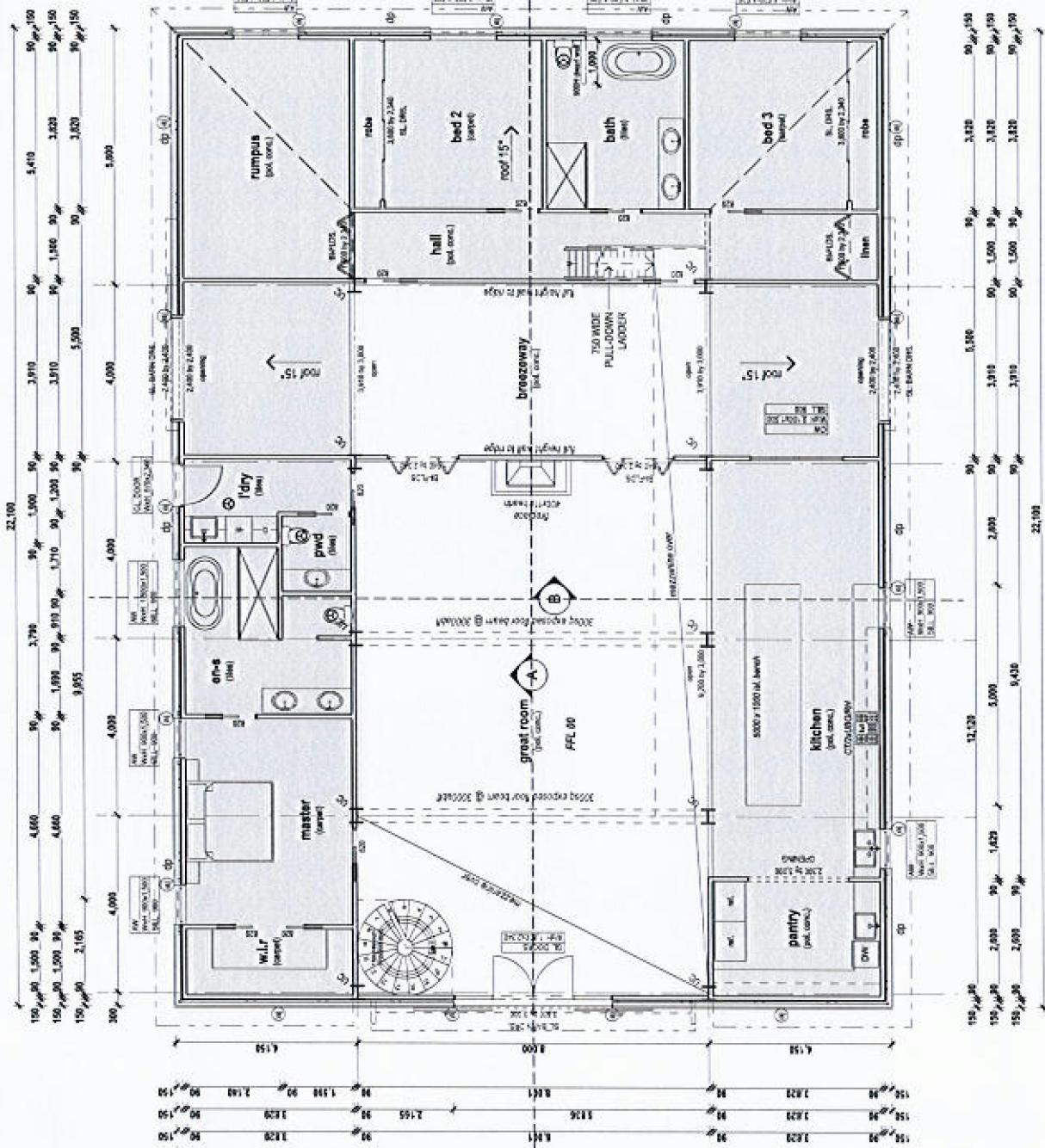
WORKING DRAWINGS ..version  
COVER SHEET ..of drawing  
1 of 13 ..sheet no.  
PHOTOGRAPHIC DRAWIN ..Name

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PROPOSED RESIDENCE - J. CURTIN  
- client - designer  
# PANORAMA DR. WOODSIDE BEACH - realism

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**FLOOR AREAS:**  
GRD FLOOR - 360.2m<sup>2</sup> (38.8sqrs)  
MEZZANINE - 35.7m<sup>2</sup> (3.8sqrs)  
**TOTAL - 395.9m<sup>2</sup> (42.6sqrs)**

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 DENOTES SMOKE DETECTORS: INSTALLED PER PART 7.2 OF THE NBC AND TO COMPLY WITH AS3936.

 DENOTES MECHANICAL VENTILATION DUCTED EXTERNALLY AND SHALL PROVIDE 20m³/CLEAR AIR, (MIN) TO LAUNDRY.

**NOTE:**  
2340 INTERNAL DOOR HEIGHT  
UNLESS NOTED OTHERWISE.  
2700 CEILING HEIGHT UNLESS  
NOTED OTHERWISE.

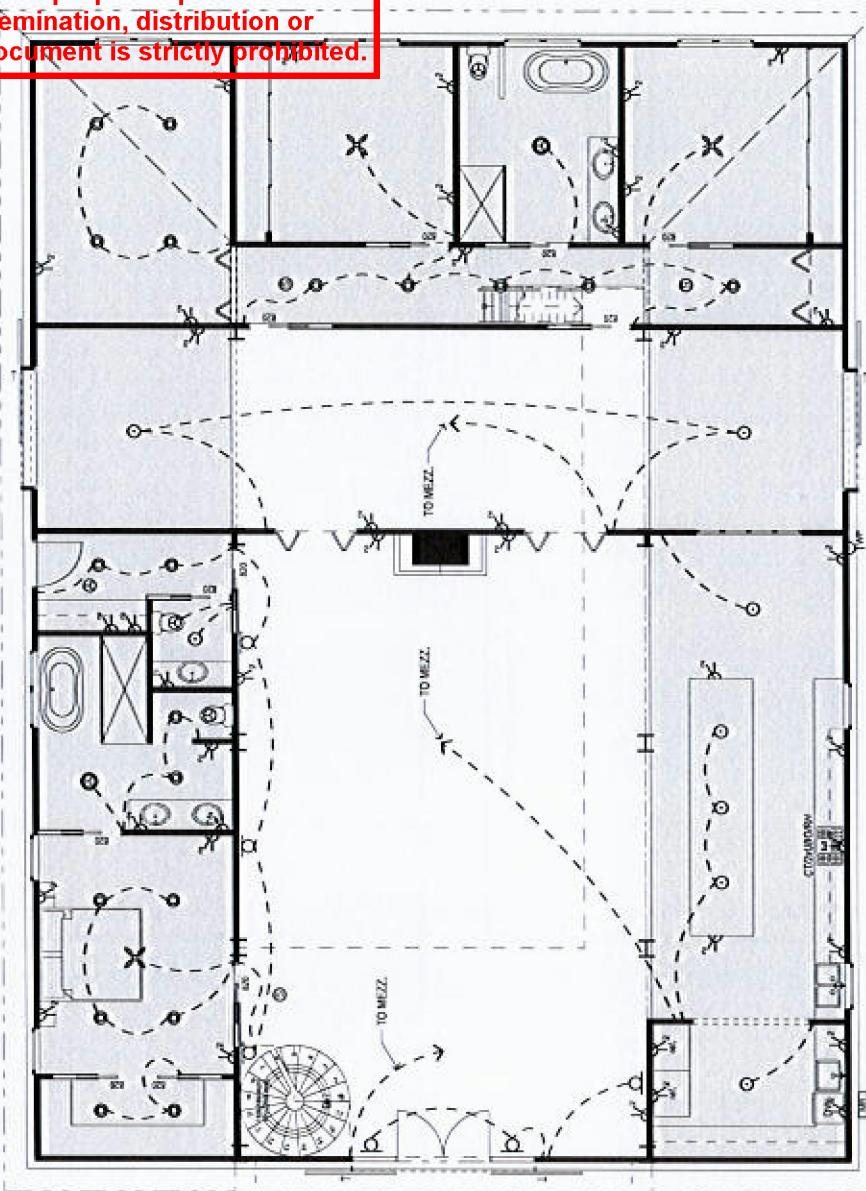
**NOTE:**  
SHARING TO BE PROVIDED TO ENTREPRENEUR  
ACCORDING WITH ADOBE AIR.  
TILE CONSTRUCTION IS TO OWNER/WITNESS  
2007 VOL.2  
WITHDRAWING TO WHAT COUNTING TO  
NUMBER WITH NCL VOL.2  
SUBDIVISIONS TO BE PROVIDED  
SUBDIVISIONS TO SEARCH INMENTS  
PROVIDE TO WITNESS ADDITION TO ADOBE

GROUND FLOOR PLAN  
1:100



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GRD FLOOR ELECTRICAL PLAN  
1:100

1

WORKING DRAWINGS	D DORICK DESIGN
GRD FLOOR ELECTRICAL PLAN	14/02/2013
7/13 Sheet 00	14/02/2013
6 PANORAMA DR, WOODSIDE BEACH Location	J & C UPTON -Engineer

PROPOSED RESIDENCE project
Client
6 PANORAMA DR, WOODSIDE BEACH Location
J & C UPTON -Engineer

Item No	CHG	Change Name	Date
01			14/02/2013

<b>CONTRACTORS NOTE</b>	
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ALL WORK MUST BE DONE IN ACCORDANCE WITH THE APPROPRIATE STANDARDS AND CODES OF PRACTICE.	
DO NOT USE THIS DRAWING FOR BUILDING PURPOSES.	

ELECTRICAL/LIGHTING PLAN IS SUBJECT  
TO ALTERATION PENDING BUILD OWNER/  
ELECTRICIAN CONSULTATION. THIS PLAN IS  
TO BE USED AS A GUIDE ONLY.

LEGEND			
○	LIGHT POINT	◎	IMAGE DETECTOR, HAD MINTED
○	DOME LIGHT	□	TELEPHONE OUTLET
—	LIGHT POINT (FLUORESCENT)	□	110V TELEPHONE SOCKET
X	Ceiling Fan/light	□	HEATING REGISTER
(C)	SENSOR LIGHT	/	Cooling Register
C	LIGHT POINT (WALL MOUNTED)	/	RANGE HOOD
(S)	EXHAUST FAN - 250 mm dia (1.0m)	X	SWITCHBOARD
O	DC EXHAUST FAN LIGHT (250mm)	X	WALL FURNACE
		X	DOOR BELL
		X	SOCKET OUTLET (250V)

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dorickdesign@gmail.com.au  
0434 827 927

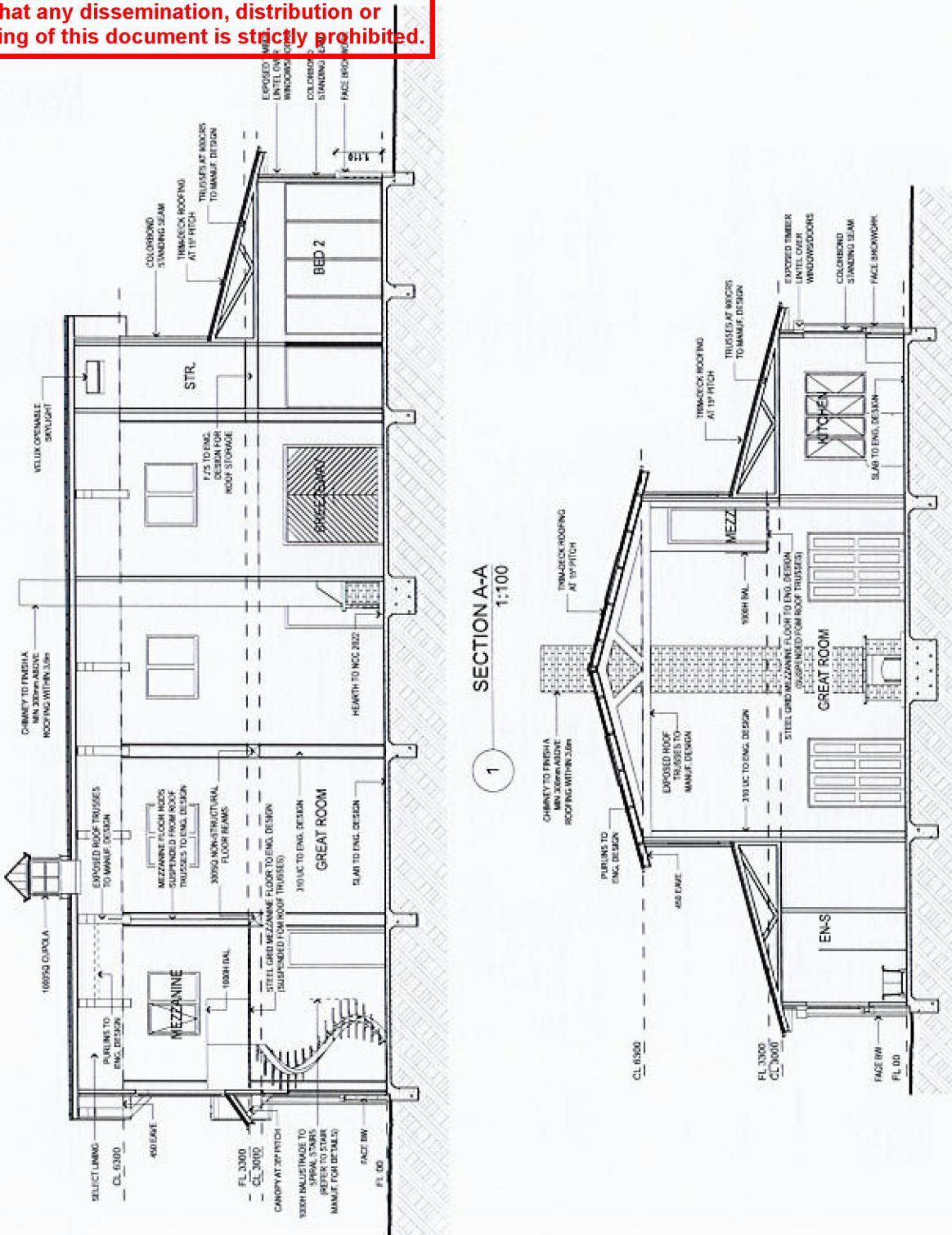
dennis dorick design  
dorickdesign@gmail.com.au  
0434 827 927  
**Design Matters**





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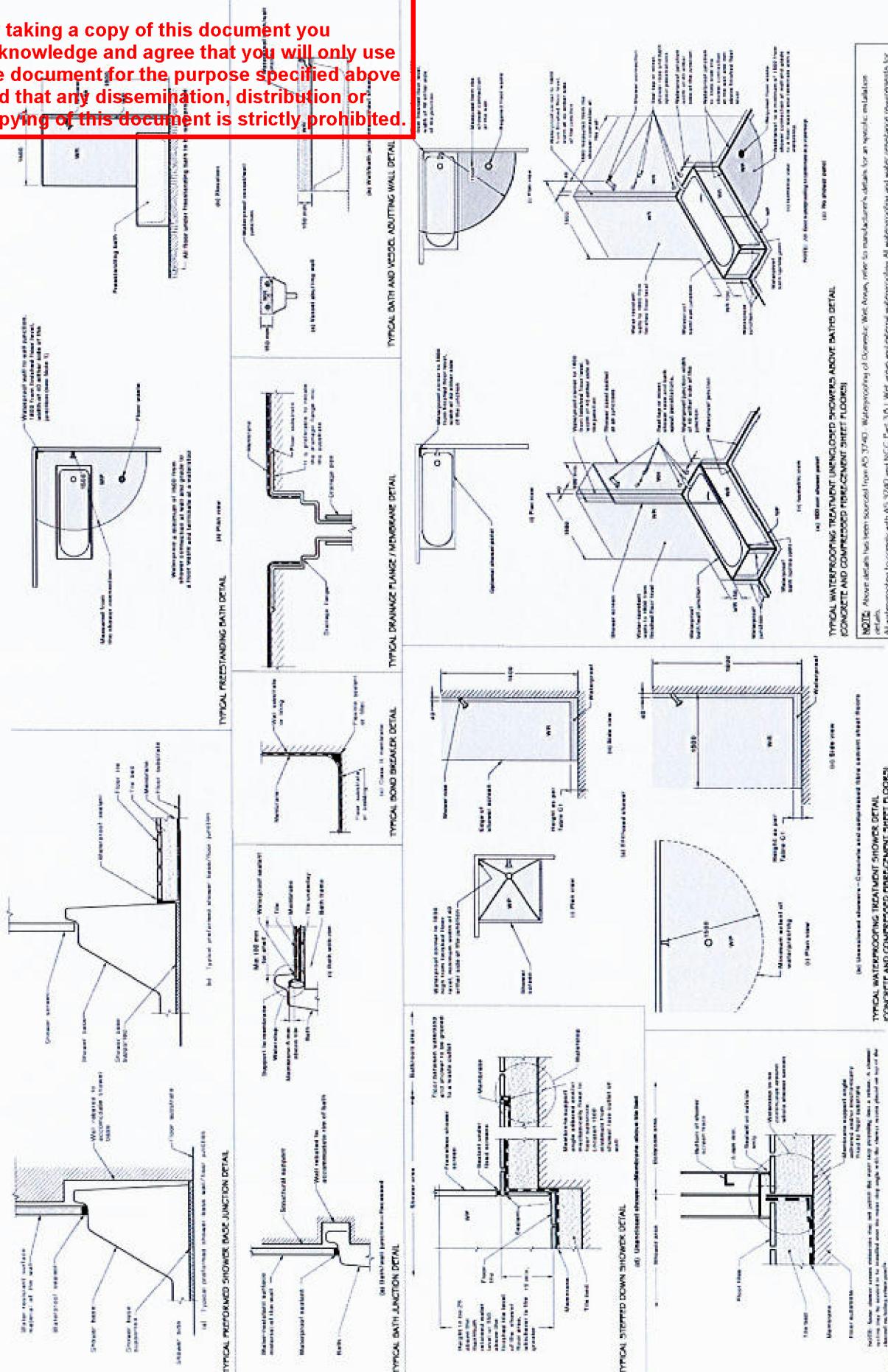
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Section	Proposed Residence Project	Date	Design	WorKing Drawings
1	6 PANORAMA DR, WOODSIDE BEACH	14/12/2023	J. C. UPTON	TYPICAL SECTIONS, AT 1:400 11 of 13, Sheet 00 6 PANORAMA DR, WOODSIDE BEACH
2		23/12/2023	J. C. UPTON	

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Project	Client	Location	Date
D DORIC	DRYLINE	6 PHANOMA DR, WOODSIDE BEACH	14/12/2023

Project	Client	Location	Date
D DORIC	DRYLINE	6 PHANOMA DR, WOODSIDE BEACH	14/12/2023

Project	Client	Location	Date
WORKING DRAWINGS -WATERPROOFING DETAILS	DRYLINE	6 PHANOMA DR, WOODSIDE BEACH	13/12/2023

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