

AGENDA  
Village Board of East Aurora  
December 6, 2021 Regular Meeting at 6 p.m. (note one hour earlier start time)  
Board Room at 585 Oakwood Avenue

1. CALL MEETING TO ORDER
  - A. Pledge of Allegiance
  - B. Roll Call
  - C. Approval of Minutes of Village Board Meeting for November 15, 2021
  - D. Approval of Payment of Abstract for 12/6/21 for Voucher Nos. 61615 to 61696 for a total of \$535,170.19
2. SPEAKERS & COMMUNICATIONS (I)  
Village Arborist Jared Webber discussion on trees, sidewalks, etc.
3. PUBLIC HEARINGS
  - A. Consider a Minor Subdivision proposal for 363 Prospect Avenue
4. OFFICIAL CONSIDERATIONS
  - A. Negative Declaration under the State Environmental Quality Review Act (SEORA) of an Unlisted Action for a Minor Subdivision for 363 Prospect Avenue
  - B. Approve a Minor Subdivision for 363 Prospect Avenue – Terrence Kopp
  - C. Promote Officer Patrick Bastine to Lieutenant starting December 12, 2021
  - D. Schedule a Public Hearing for three chickens to be located at 243 Cazenovia St – Caroline & Zack Taggart
  - E. Refer to the Planning Commission on January 4<sup>th</sup> a Site Plan Application for 189 King Street
  - F. Approve a Temporary Use Permit for 42 North Brewing Company for the Barrel Jam event on January 29<sup>th</sup>
  - G. Approve a Temporary Use Permit for Eclipse Multi-Sport for the Caroler 5K Run on December 18<sup>th</sup>
5. NEW BUSINESS
6. SPEAKERS & COMMUNICATIONS (II)
7. DEPARTMENT HEAD REPORT
8. ADJOURNMENT

**VILLAGE OF EAST AURORA  
VILLAGE BOARD MEETING  
November 15, 2021 –7:00 PM**

**Present:**

Trustee Cameron  
Trustee Kimmel-Hurt  
Trustee Porter  
Trustee Rosati  
Trustee Scheer  
Mayor Mercurio

**Absent:**

Trustee Lazickas

**Also Present:**

Shane Krieger, Chief of Police  
Matthew Hoeh, DPW Superintendent  
Maureen Jerackas, Clerk Treasurer  
Cathie Thomas-Village Administrator  
Chris Trapp, Village Attorney  
Robert Pierce, Deputy Village Attorney  
Elizabeth Cassidy, Code Enforcement Officer  
Roger Leblanc, Fire Chief  
Mary Ann Arnold- Village Deputy Clerk-Treasurer  
Jessica Taneff- Village Deputy Clerk  
East Aurora Advertiser  
Channel 7 ABC  
101 Members of the public

A Motion by Trustee Porter to approve the Village Board minutes November 1, 2021, seconded by Trustee Kimmel-Hurt and carried with unanimous approval.

Trustee Cameron moved to approve the Payment of Abstract for November 15, 2021 vouchers 61562 to 61613 for a total of \$781,911.06, seconded by Trustee Rosati carried with unanimous approval.

**SPEAKERS & COMMUNICATIONS (I)**

- None

## **PUBLIC HEARING**

- A Motion by Trustee Kimmel-Hurt to open a public hearing at 7:03 pm, for the Special Use Permit for the Poked Yolk restaurant at 227 Main Street, seconded by Trustee Rosati and carried with unanimous approval.
  - Cathie Thomas, Village Administrator – noted a condition on the Special Use Permit regarding an easement for a shed on the property.

A Motion by Trustee Porter to close the public hearing at 7:04 pm, was seconded by Trustee Cameron and unanimously approved.

## **OFFICIAL CONSIDERATIONS**

- **An Application of a Request for a Special Use Permit, received by the Office of the Village Clerk on October 7, 2021, is hereby:**

A motion by Trustee Porter,

was APPROVED, as submitted, for applicants Jim and Kristyn Vaughan, for establishment of the Poked Yolk restaurant at 227 Main Street.

The Village Board shall serve as the Lead Agency for purposes of the State Environmental Quality Review Act (SEQRA). A Negative Declaration is made under SEQRA and said application is determined to be an Unlisted Action.

This application was submitted to Erie County Planning for review and the reply received is, “No recommendation; proposed action has been reviewed and determined to be of local concern.” This application was reviewed by the Village Planning Commission and received a positive recommendation to be approved by the Village Board, along with findings which are incorporated herein. If approved, the following additional language should be part of the approval: Approval is Granted for the above-referenced Special Use Permit Application, as written and submitted, including a one-page narrative, dated October 7, 2021, which is incorporated herein, along with a one-page drawing depicting the building and parking on the site, and with the following additional modifications and/or conditions\*:

1) That when ownership of the property is transferred to the applicants, the Village and the applicants shall enter into a License Agreement that will permit the applicants to leave an existing shed on the property in its current location that is within a permanent easement, which agreement specifies that the applicants, as property owners, will be required to move such shed, if required, when work is necessary to be performed within the permanent easement. Should any part of the application and Special Use Permit approval be in conflict with any segment of the underlying Village Code (i.e., Zoning, etc.), adherence shall be with the Village Code provisions. The Village shall have the right to periodically inspect the property for compliance with the Village Code, the Special Use Permit and its conditions. The nature, duration and intensity of the operations which are involved in, or conducted in connection with, this Special Use Permit shall not be increased or

expanded without the approval of the Village Board. Any increase or expansion shall be considered at a public hearing held in accordance with the application requirements and administrative procedures which have been adopted by the Village Board. This Special Use Permit shall expire if meaningful construction has not been commenced within one year, and has not been completed within two years, of final Special Use Permit approval or, if no construction is involved, if the use has not been commenced within one year of final Special Use Permit approval.

This Special Use Permit shall expire if the use, once begun, ceases operation, for any reason, for more than six consecutive months. For seasonal uses, the use will be considered ceased if there is no operation for at least 12 consecutive months.

This Special Use Permit may be revoked by the Village Board if it is found and determined that there has been a material failure of compliance with any one of the terms, conditions, limitations or requirements imposed by the Special Use Permit. Revocation may also occur in the event of Village Code violations occurring at the property. The Village Board shall hold a public hearing to consider whether or not the Special Use Permit grantee has violated the terms and conditions of the Special Use Permit or if any Village Code violations have occurred. The public hearing shall be held only after the permit grantee has been notified. Notice of the violations and of the date, place and time of the public hearing shall be mailed to the Special Use Permit grantee by certified mail, return receipt requested, directed to the last known address of the permit grantee.

Seconded by Trustee Kimmel-Hurt, passed with unanimous approval.

## **PUBLIC HEARING**

- A Motion by Trustee Kimmel-Hurt to open a public hearing at 7:06 pm, for Local Law amending the Village Code, Section 177 – Parks, prohibiting smoking of any kind in Village Parks, seconded by Trustee Porter and carried with unanimous approval.
  - Richard Cox, 288 Perry St – opposed to smoking in Village parks
  - Mark, 42 Fillmore – opposed to smoking in Village parks
  - Eric Apen, 461 Oakwood Ave – opposed to smoking in Village parks

A Motion by Trustee Cameron to close the public hearing at 7:08 pm, was seconded by Trustee Porter and unanimously approved.

- A Motion by Trustee Kimmel-Hurt to open a public hearing at 7:09 pm, for Local Law for the Village to Opt Out of having retail dispensaries selling cannabis within the Village limits and for Local Law for the Village to Opt Out of having consumption sites for cannabis within the Village limits, seconded by Trustee Porter and carried with unanimous approval.

- Paul Porter – announced he was researching opening a dispensary, has decided against and will therefore participate in the vote.
- Brad Robbins, 801 Martin Dr – supports Board decision to maintain decision not to opt out of both dispensaries and consumption sites.
- Don Vidler, 115 Geneva Rd and owner of Vidler's 5 & 10 – requests Board to opt out of consumption sites, unsure of dispensaries.
- Mark Mann, 1667 Emery (owns property on Pennsylvania Ave) – opt out of both
- Carlos Santos, 182 Oakwood – Opt in dispensaries and consumption sites
- Rachelle Francis, 225 Sycamore – Opt out of dispensaries and consumption sites
- Sue Galbraith, 267 Oakwood – Opt in of dispensaries
- Joe Blind, 118 Riley – Opt out, needs further review
- Kaitlin Fitzgibbon, 182 Oakwood – Opt in dispensaries, ambivalent on consumption sites
- Julie Fisher, 477 Fillmore – Opt out of both dispensaries and consumption sites
- Ashleigh Curry, 110 Maple – Opt in dispensaries, ambivalent on consumption sites
- Rod Simeone, 85 Byeberry – Opt out of both, put it up for residents' vote
- Beth Fellendorf, 2696 Blackeley – Opt in dispensaries and consumption sites
- Katherine Viger, 531 North – Opt in dispensaries and consumption sites
- Justine Nadherny, 246 Gleed – Opt in dispensaries
- Dave Simeone, 121 King – Opt in dispensaries, undecided on consumption sites
- Patrick Blizniak, 2066 Mill – Opt in dispensaries
- Heather Alessi, 508 Girard – Opt in dispensaries, Opt out consumption sites
- Mark Goergen, 482 Fillmore – Opt in dispensaries, Opt out consumption sites
- Wilson Curry, Sweet Rd – No opinion, difficult decision for the Board
- Logan Filipski, 542 Oakwood – Opt in dispensaries, Opt out consumption sites
- David Hadley, 6975 Olean, S Wales – Opt out of dispensaries and consumption sites
- Thomas Hagner, 542 Fillmore – Opt out dispensaries and consumption sites now
- Mike Idland, 28 N Grove – Opt out dispensaries and consumption sites
- Patrick Klinck, 2783 Blakeley – Opt in dispensaries and consumption sites
- Richard Cox, 288 Perry – Opt out dispensaries and consumption sites, time to discuss
- Susie Jackson, 1257 Warren – Very tough decision, opt out of both for now and review
- Eric Apen, 461 Oakwood – Opt out of dispensaries and consumption sites
- Karen Lee, 570 Fillmore – Opt out of dispensaries and consumption sites to allow further review zoning and local laws and Village authority
- Joseph Gullo, 2491 Emery – Opt out of dispensaries and consumption sites
- Colleen O'Connor, 839 Mill – Opt in dispensaries
- Susan Gottesman, 186 Glenridge – Opt in dispensaries, ambivalent on consumption sites

- David Peltan, 128 Church St – Opt out of dispensaries and consumption sites for review
- Caitlyn Ullery, 172 Stoneridge – Opt in dispensaries to regulate and control
- Elizabeth Morana, 270 Buffalo #62 – Opt out of consumption sites
- Grace Gilbert, 221 Girard – Opt out of dispensaries and consumption sites, think about it
- Todd Bindig, 207 King – Opt out of dispensaries and consumption sites
- Linda Popiel, 1768 Lewis – Opt out of dispensaries and consumption sites
- Dr. Peach, 116 North Grove – Opt out of dispensaries and consumption sites, lack of Village control over them.
- Jack Peach, 116 North Grove – Opt out of dispensaries and consumption sites now to allow further review

A Motion by Trustee Cameron to close the public hearing at 8:40 pm, was seconded by Trustee Porter and unanimously approved.

## OFFICIAL CONSIDERATIONS

- **Resolution of the Village of East Aurora of a Determination of Non-Significance pursuant to the State Environmental Quality Review Act in the matter of a Local Law Amending the Village Code Adding a Prohibition that there shall be No Smoking in Village Parks**

A motion by Trustee Scheer,

WHEREAS, Parts 1, 2 and 3 of the Short Environmental Assessment Form has been filed with this Board, a copy of which is included by reference and made a part hereof, relating to a Local Law Amending the Village Code Adding a Prohibition that there shall be No Smoking in Village Parks; and

WHEREAS, the Village SEQRA Intake Committee carefully and fully reviewed Parts 1, 2 and 3 of the Short Environmental Assessment form, referenced above; and

WHEREAS, the Village SEQRA Intake Committee, after review of the above, recommends the Village Board issue a Negative Declaration of Environmental Significance; and

WHEREAS, the Village Board, upon carefully and fully reviewing all the information in regard to the proposed Local Law made a finding that there are no significant environmental impacts.

NOW, THEREFORE, BE IT RESOLVED, that the Village Board of East Aurora, as Lead Agency, has determined that the proposed action described in the Short Environmental Assessment Form filed with the Village, included and incorporated by reference herein, is classified as an Unlisted Action and therefore issues a Negative Declaration, that adoption of this Local Law will not have a significant environmental impact and a Draft Environmental Impact Statement will not be required nor prepared, and seconded by Trustee Porter, carried unanimously November 15, 2021.

- **Local Law No.7 of 2021 of the Village of East Aurora**

Amending Village Code Chapter 177 - Parks

A motion was made by Trustee Porter, to adopt Local Law No. 7 Amending Village Code Chapter 177 – Parks, as follows (items stricken are deleted and items underlined are added): **Chapter 177. Parks § 177-1. Use of public parks.**

A. It shall be unlawful for any person to do any of the following acts in any public park in the Village of East Aurora:

(16) Smoking of any kind whether tobacco products, marihuana, or chemical combinations, including, but not limited to, cigarettes, cigars, pipes, e-cigarettes, vaporizers (vaping), bonges, hookahs, joints, water pipes of any nature, and any form of cannabis.

**Severability**

If a court determines that any clause, sentence, paragraph, subdivision, or part of this local law or the application thereof to any person, firm or corporation, or circumstance is invalid or unconstitutional, the court's order or judgment shall not affect, impair, or invalidate the remainder of this local law, but shall be confined in its operation to the clause, sentence, paragraph, subdivision, or part of this local law or in its application to the person, individual, firm or corporation or circumstance, directly involved in the controversy in which such judgment or order shall be rendered.

Effective date 11/15/2021.

This local law shall take effect immediately upon filing with the Secretary of State.

seconded by Trustee Kimmel-Hurt, and was put on a roll call:

Trustee Cameron-Aye

Trustee Porter-Aye

Trustee Rosati-Aye

Trustee Kimmel-Hurt-Aye

Trustee Scheer-Aye

Mayor Mercurio-Aye

- **Local Law in the year 2021 Village of East Aurora**

A motion was made by Trustee Scheer to approve a local law adopted pursuant to Cannabis Law §131 opting out of licensing and establishing retail cannabis dispensaries within the Village of East Aurora

Section 1. Legislative Intent

It is the intent of this local law to opt the Village of East Aurora out of hosting retail cannabis dispensaries within its boundaries.

Section 2. Authority

This local law is adopted pursuant to Cannabis Law §131, which expressly authorizes villages to opt-out of allowing retail cannabis dispensaries to locate and operate within their boundaries.

Section 3. Local Cannabis Retail Dispensary Opt-Out

The Board of Trustees of the Village of East Aurora hereby opts-out of allowing retail cannabis dispensaries from locating and operating within the boundaries of the Village of East Aurora.

Section 4. Severability

If a court determines that any clause, sentence, paragraph, subdivision, or part of this local law or the application thereof to any person, firm or corporation, or circumstance is invalid or unconstitutional, the court's order or judgment shall not affect, impair, or invalidate the remainder of this local law, but shall be confined in its operation to the clause, sentence, paragraph, subdivision, or part of this local law or in its application to the person, individual, firm or corporation or circumstance, directly involved in the controversy in which such judgment or order shall be rendered.

seconded by Trustee Kimmel-Hurt and was put on a roll call:

Trustee Cameron-Nay

Trustee Porter-Nay

Trustee Rosati-Nay

Trustee Kimmel-Hurt-Nay

Trustee Scheer-Aye

Mayor Mercurio-Nay

This local law is denied, 5-1

- **Local Law No. 8 of the year 2021 Village of East Aurora**

A motion was made by Trustee Kimmel-Hurt to approve a local law adopted pursuant to Cannabis Law §131 opting out of licensing and establishing on-site cannabis consumption establishments within the Village of East Aurora

Section 1. Legislative Intent

It is the intent of this local law to opt the Village of East Aurora out of hosting on-site cannabis consumption establishments within its boundaries.

Section 2. Authority

This local law is adopted pursuant to Cannabis Law §131, which expressly authorizes villages to opt-out of allowing on-site cannabis consumption establishments to locate and operate within their boundaries.

Section 3. Local Cannabis On-Site Consumption Opt-Out

The Board of Trustees of the Village of East Aurora hereby opts-out of allowing on-site cannabis consumption establishments from locating and operating within the boundaries of the Village of East Aurora.

Section 4. Severability

If a court determines that any clause, sentence, paragraph, subdivision, or part of this local law or the application thereof to any person, firm or corporation, or circumstance is invalid or unconstitutional, the court's order or judgment shall not affect, impair, or invalidate the remainder of this local law, but shall be confined in its operation to the clause, sentence, paragraph, subdivision, or part of this local law or in its application to the person, individual, firm or corporation or circumstance, directly involved in the controversy in which such judgment or order shall be rendered.

Section 5. Effective date November 15, 2021

This local law shall take effect immediately upon filing with the Secretary of State.

seconded by Trustee Rosati, and was put on a roll call:

Trustee Cameron-Aye



Trustee Porter-Aye  
Trustee Rosati-Aye  
Trustee Kimmel-Hurt-Aye  
Trustee Scheer-Aye  
Mayor Mercurio-Aye

Local law No. 8 is approved unanimously, 6-0

- A Motion by Trustee Cameron, to Refer to the Historic Preservation Commission for the December 8<sup>th</sup> meeting a request for a Demolition Permit for 203 Main Street, was seconded by Trustee Kimmel-Hurt, with unanimous approval.
- A Motion by Trustee Rosati, to set a Public Hearing on December 6<sup>th</sup> to consider a Minor Subdivision for 363 Prospect Avenue, was seconded by Trustee Porter, with unanimous approval.
- A Motion by Trustee Kimmel-Hurt to adopt a  
**RESOLUTION AUTHORIZING THE ADOPTION OF A FUND BALANCE POLICY FOR THE VILLAGE OF EAST AURORA, NEW YORK**

WHEREAS, a fund balance policy is a key element of ensuring long-term economic and financial stability; and

WHEREAS, the objective of the Governmental Accounting Standards Board (GASB) Statement No. 54 “Fund Balance Reporting and Governmental Fund Type Definitions” is to enhance the usefulness of fund balance information by providing clearer fund balance classifications and by clarifying governmental fund type definitions; and

WHEREAS, Statement No. 54 is effective for financial statements for periods beginning after and therefore was effective for the Village’s 2011-12 fiscal year ending May 31, 2012; and

WHEREAS, said fund balance policy has been updated and reviewed; and

NOW THEREFORE, BE IT RESOLVED, that the Board of Trustees of the Village of East Aurora, New York hereby authorize the adoption of the attached Fund Balance Policy effective immediately.

Seconded by Trustee Cameron, with unanimous approval.

- The Clerk – Treasurer reviewed changes to the policy and the reasoning behind the fund balance amounts being set. The process for spending down or putting funds in reserves if fund balance exceeds the maximum.

- **Modify 2021-2022 Budget,** November 15, 2021  
Trustee Kimmel-Hurt, offered the following resolution and moved for its adoption:

**BE IT RESOLVED,** the Clerk-Treasurer is hereby authorized to modify the 2021/2022 Budget in the following manner:

Appropriated Fund Balance General Fund 3-0917 - \$ 793,339  
Expenditures –Park Maintenance 5-7140-0420 - \$ 130,000

Leaf blower, lawn mower, Players building roof  
Streets Maintenance Equipment 5-5110-0200 - \$ 125,000  
Dump Truck  
Village Administrator – Equipment 5-1325-0200 - \$20,000  
Multifunction Copier and Industrial Scanner  
Police Department – Department Equipment 5-3120-0230 - \$53,000  
Police Vehicle and Movable Street Signs  
Interfund Transfer- Capital – 5-9901-0903 - \$425,000  
Oakwood project  
Police and Fire Dispatch – Longevity – 5-3420-0125 - \$204  
Police and Fire Dispatch – Deferred Comp – 5-3420-0126 - \$8275  
Police Department – Deferred Comp – 5-3120-0126 – 10,000  
Police Department – Wages and Patrol – 5-3120-0120 - \$21,860  
Retirement payouts

Appropriated fund balance – water -3-0910 - \$270,000  
Expenditures – Transmissions & distribution equipment F-5-8340-0200 - \$40,000  
Dump truck  
Interfund Transfer – Capital – F-5-9900-0903 - \$230,000  
Oakwood Project

The following resolution was seconded by Trustee Porter and approved unanimously.

- **Fire Apparatus Reserve Increase**, November 15, 2021

Trustee Porter, offered the following resolution and moved for its adoption:

BE IT RESOLVED, the Clerk-Treasurer is hereby authorized to increase the Fire Apparatus Reserve (1.0237 and 3.0870) in the sum of \$150,000 from unassigned fund balance (3.0917). This increase is in anticipation of buying a new pumper truck in approximately 3 years.

The following resolution was seconded by Trustee Cameron and unanimously approved.

- A Motion by Trustee Porter, to Approve Budget Adjustments

Budget Transfers	2021-2022				
TO			FROM		
A.5.1640.0420	Central Garage- maintenance and repairs	\$1,000.00	A.5.1640.0450	Central Garage - Gas & Oil	\$1,000.00
A.5.3120.0480	Police Department - Uniforms and body Ar	\$6,000.00	A.5.1990.0000	Contingency	\$6,000.00

Was seconded by Trustee Rosati, with unanimous approval.

- **New police vehicle**

Trustee Kimmel-Hurt made a motion to advertise for bids for a new police vehicle. Seconded by Trustee Cameron and unanimously approved.

- **Return of Unpaid 2021-2022 Village Taxes**

Trustee Scheer offered the following resolution and moved for its adoption:

**WHEREAS** the Board of Trustees of the Village of East Aurora levied real property taxes against all assessable real property in the Village to meet local government requirements for the 2021-2022 fiscal year, and

**WHEREAS** the Village Clerk Treasurer of the Village of East Aurora has submitted a list of unpaid Village taxes for said year after servicing actions, and

**WHEREAS** the Village of East Aurora desires the Erie County Department of Real Property Tax Services to enforce the collection of delinquent Village taxes,

**NOW THEREFORE BE IT RESOLVED** that the attached list of delinquent real property taxes, representing Thirty - Four (34) parcels and totaling \$39,271.82 without penalties (\$43,965.18 with penalties) be submitted to the Erie County Department of Real Property Tax Services for re-levy and subsequent reimbursement to the Village of East Aurora.

The foregoing resolution was seconded by Trustee Porter and unanimously carried.

- A Motion by Trustee Porter, to Authorize the Mayor to sign the Ekos Software Agreement for tracking fuel at the DPW pumps, was seconded by Trustee Cameron, with unanimous approval.
- A Motion by Trustee Cameron, to approve Change Order No. 1 for the Tannery Brook Culvert Replacement Project, closing out the construction agreement for \$239.96 under the amount of the original contract, was seconded by Trustee Kimmel-Hurt, with unanimous approval.

- **Resolution to Declare Surplus Property,** November 15, 2021

Trustee Porter, offered the following resolution and moved for its adoption:

**BE IT RESOLVED**, the Department of Public Works has a 2020 Bobcat 3400 Utility Truck (Number B53620354) for surplus property and is due to be traded in for the purchase of a new vehicle in the next 90 days.

**BE IT RESOLVED**, the Department of Public Works has a 2020 T450 Skid-Steer Loader (Number AUV17354) for surplus property and is due to be traded in for the purchase of a new vehicle in the next 90 days.

**BE IT RESOLVED**, the Department of Public Works has a 2020 S570 T4 Sid-Steer Loader (Number B4SC11244) for surplus property and is due to be traded in for the purchase of a new vehicle in the next 90 days.

**BE IT RESOLVED**, the Department of Public Works has a 2020 Bobcat E35 Compact Excavator (Number B3Y217662) for surplus property and is due to be traded in for the purchase of a new vehicle in the next 90 days.

The foregoing resolution was seconded by Trustee Kimmel-Hurt and unanimously approved.

- A Motion by Trustee Kimmel-Hurt, to cancel the Village Board meeting on January 3, 2022, was seconded by Trustee Cameron, with unanimous approval.
- A Motion by Trustee Porter, to change the time for the December 6, 2021 Village Board meeting to 6:00 pm, was seconded by Trustee Cameron, with unanimous approval.

## **SPEAKERS & COMMUNICATIONS (II)**

- Katherine Viger – thankful for all the time and effort put into the public hearings, it is appreciated.
- Joe and Liz Cassidy, 357 South Park – former Board president and members of the Aurora Players chair and long-time supporters, thank you for funding the roof replacement of the Roycroft Pavilion in Hamlin Park. Also appreciate the use of the building by a non-profit organization for the residents of the Village.
- Don Vidler, 115 Geneva – thanks the DPW and Village for the increase of the trash pick-up, it is a great improvement.

## **DEPARTMENT HEAD AND TRUSTEE REPORTS**

- Police Chief-interviewed candidates for next two police positions, background checks should be complete in the next week or two, one is a certified officer, the other will go to academy, hope to be at December Village Board meeting for appointment. These will bring the department back to 17 officers. Once candidates are on their own, will begin training for drug enforcement, the training costs will need to be included in future budgets.
- Fire Chief-thank the board for the funding for future apparatus needs.
- DPW Superintendent-leaves continue to be picked up as long as weather permits
- Code Enforcement Officer-nothing tonight.
- Clerk-Treasurer-thankful for technology equip purchasing budget for the Clerk's office. Also appreciative for Board members meeting with her to discuss fund balance policy and budget modifications and adjustments, which will save tax payers money.
- Village Administrator-very busy with Cannabis issue, thank Maureen, clerk team and Nick Fodero (IT) for their work on it. Training on zoning for cannabis is coming up in December, Cathie attending and she will share information with the Board.
- Trustee Cameron-nothing
- Trustee Kimmel-Hurt-HPC presentation held at The Bank on November 10, 2021 about receiving historic designation, it was very informative and got to tour the facility.
- Trustee Rosati-Town dog control is doing census, appreciative of work the DPW has done getting more trash receptacles in Village. EC reported Covid 19 counts are up in hospitals, need to be vigilant.
- Trustee Porter-nothing
- Trustee Scheer-nothing

November 15, 2021

- Mayor Mercurio-spoke with Poloncarz regarding Covid 19 counts. Family is vaccinated, but then tested positive Covid. Please continue to be cautious, get the booster. Decoration volunteers are busy preparing Village decorations for holidays, doing great work.

**ADJOURNMENT**

A Motion was made by Trustee Kimmel-Hurt to adjourn the meeting at 9:35 pm.  
Seconded by Trustee Rosati and unanimously carried.

Respectfully submitted,  
Mary An Arnold  
Village Deputy Clerk Treasurer













Village of East Aurora  
VEA 12/6/2021

Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
Total vouchers for EAST AURORA AUTO PARTS: 1					\$179.03						
BANK OF HOLLAND GEN CHECK - 00100	61658	EBERL IRON WORKS	11/17/2021	307018	\$786.00	sign parts and posts	2022	7	12/06/2021		
	Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date		
	1			A.5.5110.0420	STREET MAINTENANCE - ROAD MATERIALS		\$786.00	2022000195	11/16/2021		
Total vouchers for EBERL IRON WORKS: 1					\$786.00						
BANK OF HOLLAND GEN CHECK - 00100	61619	ERIE COUNTY COMPTROLLER	11/12/2021	1800065341	\$2,490.85	ELECTRIC SUPPLIER CHARGES for October, 2021	2022	7	12/06/2021		
	Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date		
	1	571 MAIN ST VILLAGE HALL ACCT 7933856		A.5.1620.0431	BUILDINGS - ELECTRIC		\$359.04				
	2	575 OAKWOOD AVE (OLD FIRE DEPT) ACCT 237062		A.5.3410.0431	FIRE DEPARTMENT - ELECTRIC		\$0.00				
	3	581 OAKWOOD AVE DPW STORAGE ACCT 5123021		A.5.1640.0431	CENTRAL GARAGE - ELECTRIC		\$0.00				
	4	ELM ST SIGNAL ACCT 3514288		A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$2.28				
	5	ELMWOOD & CHESTNUT HILL BOOSTER PUMP STATION ACCT 3590155 (BILLS EVERY OTHER MONTH)		A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$421.44				
	6	GIRARD AVE ACCT 893560		A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$8.01				
	7	PINE ST DPW Offices and Garage; ACCT 256115		A.5.1640.0431	CENTRAL GARAGE - ELECTRIC		\$50.95				
	8	PINE ST WATER PLANT; ACCT 288597		F.5.1620.0431	BUILDINGS - ELECTRIC		\$5.36				
	9	ST LIGHTING ACCT 4086039		A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$583.13				
	10	ST LIGHTING R2 ACCT 719336		A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$271.10				
	11	33 CENTER ST (NEW FIRE HALL) ACCT N01000060689999		A.5.3410.0431	FIRE DEPARTMENT - ELECTRIC		\$789.54				
Total vouchers for ERIE COUNTY COMPTROLLER: 1					\$2,490.85						
BANK OF HOLLAND GEN CHECK - 00100	61686	ERIE COUNTY PUBLIC HEALTH LAB	11/18/2021	11210024	\$105.00	OCTOBER 2021	2022	7	12/06/2021		
	Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date		



Village of East Aurora  
VEA 12/6/2021

Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
		1			F.5.8340.0490	TRANSMISSION AND DISTRIBUTION - WATER TESTING/CHEMICALS		\$105.00	2022000147	10/01/2021	
Total vouchers for ERIE COUNTY PUBLIC HEALTH LAB: 1					\$105.00						
BANK OF HOLLAND GEN CHECK - 00100	61654	FLEET MAINTENANCE,INC.	11/08/2021	596620	\$17.15	#512 SWEEPER	2022	7	12/06/2021		
					<b>Line Number</b>	<b>Detail Description</b>	<b>Account Number</b>	<b>Account Description</b>	<b>Detail Amount</b>	<b>PO Number</b>	<b>PO Date</b>
					1		A.5.1640.0460	CENTRAL GARAGE - VEHICLE MAINTENANCE & PARTS	\$17.15	2022000191	11/08/2021
Total vouchers for FLEET MAINTENANCE,INC.: 1					\$17.15						
BANK OF HOLLAND GEN CHECK - 00100	61649	FM COMMUNICATIONS INC.	11/22/2021	121010341- 107008647	\$262.40	NEW EAPD #25 SPEAKER & MOUNTING KIT	2022	7	12/06/2021		
					<b>Line Number</b>	<b>Detail Description</b>	<b>Account Number</b>	<b>Account Description</b>	<b>Detail Amount</b>	<b>PO Number</b>	<b>PO Date</b>
					1	NEW EAPD #25	A.5.3120.0460	POLICE DEPARTMENT - VEHICLE MAINTENANCE & PARTS	\$262.40		
Total vouchers for FM COMMUNICATIONS INC.: 1					\$262.40						
BANK OF HOLLAND GEN CHECK - 00100	61653	GRAINGER	11/01/2021	9105794235/91 04707105	\$317.82	Nov 2021	2022	7	12/06/2021		
					<b>Line Number</b>	<b>Detail Description</b>	<b>Account Number</b>	<b>Account Description</b>	<b>Detail Amount</b>	<b>PO Number</b>	<b>PO Date</b>
					1		A.5.1640.0470	CENTRAL GARAGE - DEPARTMENTAL SUPPLIES	\$317.82	2022000187	11/01/2021
Total vouchers for GRAINGER: 1					\$317.82						
BANK OF HOLLAND GEN CHECK - 00100	61666	KURK FUEL COMPANY	11/05/2021	618843	\$3,278.76	Diesel fuel 9/24/21-11/5/21	2022	7	12/06/2021		
					<b>Line Number</b>	<b>Detail Description</b>	<b>Account Number</b>	<b>Account Description</b>	<b>Detail Amount</b>	<b>PO Number</b>	<b>PO Date</b>
					1	DPW 947.666 gallons x \$2.7323	A.5.1640.0450	CENTRAL GARAGE - GASOLINE, OIL & GREASE	\$2,589.31		
					2	EAFD 252.334 gallons x \$2.7323	A.5.3410.0450	FIRE DEPARTMENT - GASOLINE, OIL & GREASE	\$689.45		
Total vouchers for KURK FUEL COMPANY: 1					\$3,278.76						





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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
				1	A.5.1620.0470	BUILDINGS - DEPARTMENTAL SUPPLIES		\$261.52	2022000182	11/01/2021	
				2	molding	A.5.3120.0470	POLICE DEPARTMENT - DEPARTMENTAL SUPPLIES	\$85.49	2022000182		
				3	movable cart	A.5.1620.0420	BUILDINGS - MAINTENANCE & REPAIRS	\$85.49	2022000182		
				4	Nov 2021	F.5.8340.0470	TRANSMISSION AND DISTRIBUTION - SUPPLIES & MATERIALS	\$206.84	2022000182	11/01/2021	

Total vouchers for LOWE'S: 1

\$639.34

BANK OF HOLLAND GEN CHECK - 00100	61692	M and T BANK	11/30/2021	November, 2021 Payment	\$39,283.36	Credit card payment for November, 2021	2022	7	12/06/2021
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Line Number	Detail Description	Account Number	Account Description	Detail Amount	PO Number	PO Date
1	EAPD Office Supplies-Amazon	A.5.3120.0403	POLICE DEPARTMENT - OFFICE SUPPLIES	\$27.97		
3	Refund from Norton for DPW	A.5.1490.0403	PUBLIC WORKS ADMINISTRATION - OFFICE SUPPLIES	\$125.05		
4	Adobe Pro DC	A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS	\$16.30		
5	EAPD Office Supplies	A.5.3120.0403	POLICE DEPARTMENT - OFFICE SUPPLIES	\$130.64		
6	Refund from Amazon for EAPD	A.5.3120.0403	POLICE DEPARTMENT - OFFICE SUPPLIES	(\$11.24)		
7	EAPD Office supplies-Amazon	A.5.3120.0470	POLICE DEPARTMENT - DEPARTMENTAL SUPPLIES	\$29.99		
8	IdentoGO for Pinto	A.5.3120.0403	POLICE DEPARTMENT - OFFICE SUPPLIES	\$89.75		
9	IdentoGO for Pat Shea	A.5.3120.0403	POLICE DEPARTMENT - OFFICE SUPPLIES	\$89.75		
10	Holiday lights from VALU	A.5.7550.0470	CELEBRATIONS - OPERATING EXPENSES	\$95.64		
11	Holiday decorations from Valero	A.5.7550.0470	CELEBRATIONS - OPERATING EXPENSES	\$15.28		
12	Fuel for heater in storage building from Valero	A.5.7550.0470	CELEBRATIONS - OPERATING EXPENSES	\$16.44		
13	Christmas product from Valero	A.5.7550.0470	CELEBRATIONS - OPERATING EXPENSES	\$20.02		
14	UPS Shipment to Municipal Solutions	A.5.1380.0410	FISCAL AGENT FEE - FISCAL AGENT FEES	\$35.04		
15	Modern Corp.	A.5.8160.0410	REFUSE & GARBAGE	\$38,334.64		



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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
		16	Amera-Chem for EAPD		A.5.3120.0440	POLICE DEPARTMENT - TRAINING, TRAVEL & DUES		\$106.90			
		17	EAPD - Amazon		A.5.3120.0470	POLICE DEPARTMENT - DEPARTMENTAL SUPPLIES		\$161.19			
Total vouchers for M and T BANK: 1					\$39,283.36						
BANK OF HOLLAND GEN CHECK - 00100	61643	Mark Cerrone, Inc.	11/15/2021	21381	\$431,074.41	Tannery Brook, period to 9/30/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	Tannery Brook, period to 9/30/21		H.5.8540.0015	STORM SEWER - MAINTENANCE & REPAIRS.TANNERY BROOK CULVERT		\$431,074.41			
Total vouchers for Mark Cerrone, Inc.: 1					\$431,074.41						
BANK OF HOLLAND GEN CHECK - 00100	61675	MISTRAS GROUP INC.	11/09/2021	11284466	\$800.00	Yearly Truck Inspection & repairs	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1			A.5.3410.0460	FIRE DEPARTMENT - VEHICLE MAINTENANCE & PARTS		\$800.00	2022000094	08/10/2021	
Total vouchers for MISTRAS GROUP INC.: 1					\$800.00						
BANK OF HOLLAND GEN CHECK - 00100	61638	MUNICIPAL SOLUTIONS	11/16/2021	16577	\$225.00	For services in connection the the preparation and submission of the material event notice to report the \$4,545,000 BAN call for Tannery Brook and Oakwood projects.	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	For services in connection the the preparation and submission of the material event notice to report the \$4,545,000 BAN call for Tannery Brook and Oakwood projects.		A.5.1380.0410	FISCAL AGENT FEE - FISCAL AGENT FEES		\$225.00			
Total vouchers for MUNICIPAL SOLUTIONS: 1					\$225.00						
BANK OF HOLLAND GEN CHECK - 00100	61667	NOCO ENERGY CORP.	11/05/2021	12199935	\$6,697.22	Unleaded fuel 9/20/21-11/5/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	



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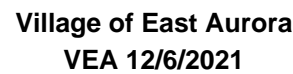
Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
				1	DPW- 632.230 gallons x \$2.9131	A.5.1640.0450	CENTRAL GARAGE - GASOLINE, OIL & GREASE	\$1,841.75			
				2	B&G Club- 22.708 gallons x \$2.9131	A.5.1640.0450	CENTRAL GARAGE - GASOLINE, OIL & GREASE	\$66.15			
				3	EAPD- 1415.427 gallons x \$2.9131	A.5.3120.0450	POLICE DEPARTMENT - GASOLINE, OIL & GREASE	\$4,123.28			
				4	EAFD- 228.635 gallons x \$2.9131	A.5.3410.0450	FIRE DEPARTMENT - GASOLINE, OIL & GREASE	\$666.04			
Total vouchers for NOCO ENERGY CORP.: 1					\$6,697.22						
BANK OF HOLLAND GEN CHECK - 00100	61633	NY GOVERNMENT FINANCE OFFICERS' ASSOCIATION	12/06/2021	INV 38632	\$180.00	2022 Membership - GOV1, Mary Ann Arnold	2022	7	12/06/2021		
				Line Number	Detail Description	Account Number	Account Description	Detail Amount	PO Number	PO Date	
				1	2022 Membership - GOV1, Mary Ann Arnold	A.5.1325.0440	VILLAGE ADMINISTRATOR - TRAINING, TRAVEL & DUES	\$180.00			
BANK OF HOLLAND GEN CHECK - 00100	61639	NY GOVERNMENT FINANCE OFFICERS' ASSOCIATION	11/19/2021	INV-38722	\$180.00	Membership dues for M.Jerackas	2022	7	12/06/2021		
				Line Number	Detail Description	Account Number	Account Description	Detail Amount	PO Number	PO Date	
				1	Membership dues for M.Jerackas	A.5.1325.0440	VILLAGE ADMINISTRATOR - TRAINING, TRAVEL & DUES	\$180.00			
Total vouchers for NY GOVERNMENT FINANCE OFFICERS' ASSOCIATION: 2					\$360.00						
BANK OF HOLLAND GEN CHECK - 00100	61627	NYCOM	11/18/2021	Planning & Zoning Webinar	\$30.00	Webinar for C. Thomas	2022	7	12/06/2021		
				Line Number	Detail Description	Account Number	Account Description	Detail Amount	PO Number	PO Date	
				1	Webinar for C. Thomas	A.5.1325.0440	VILLAGE ADMINISTRATOR - TRAINING, TRAVEL & DUES	\$30.00			
BANK OF HOLLAND GEN CHECK - 00100	61678	NYCOM	11/30/2021	Webinar Fees	\$240.00	Planning, Zoning and VEA Board webinars.	2022	7	12/06/2021		
				Line Number	Detail Description	Account Number	Account Description	Detail Amount	PO Number	PO Date	
				1	Planning webinars FOR Dale Morris and Randy West.	A.5.8020.0440	PLANNING COMMISSION - TRAINING, TRAVEL & DUES	\$150.00			
				2	VEA Board webinars for Marcia Kimmel-Hurt	A.5.1010.0440	BOARD OF TRUSTEES - TRAINING, TRAVEL & DUES	\$30.00			



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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
		3	Zoning webinar for Gary Kimmel-Hurt.		A.5.8010.0440	ZONING - TRAINING, TRAVEL & DUES		\$60.00			
Total vouchers for NYCOM: 2					\$270.00						
BANK OF HOLLAND GEN CHECK - 00100	61673	NYS Assoc. of Fire Chiefs	11/30/2021	13600	\$175.00	annual membership fees	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	annual membership fees		A.5.3410.0440	FIRE DEPARTMENT - TRAINING, TRAVEL & DUES		\$175.00			
Total vouchers for NYS Assoc. of Fire Chiefs: 1					\$175.00						
BANK OF HOLLAND GEN CHECK - 00100	61615	NYSEG	11/15/2021	1001-111-531	\$21.59	Near 21 Elm ST.; 10/9-11/9/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	Near 21 Elm ST.; 10/9-11/9/21		A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$21.59			
BANK OF HOLLAND GEN CHECK - 00100	61616	NYSEG	11/09/2021	1001-7273-243	\$27.48	ELECTRICITY USAGE-NEAR 650 GIRARD AVE.; 10/9-11/4/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	GIRARD AVE SIGNAL NYSEG ACCT NO 1001-7273-243		A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$27.48			
BANK OF HOLLAND GEN CHECK - 00100	61617	NYSEG	11/09/2021	1004-8515-430	\$22.98	400 Pine St. Salt Shed;; 10/9-11/4/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	400 Pine St. Salt Shed;; 10/9-11/4/21		A.5.1640.0431	CENTRAL GARAGE - ELECTRIC		\$22.98			
BANK OF HOLLAND GEN CHECK - 00100	61618	NYSEG	11/09/2021	1001-0310-448	\$217.32	ELECTRICITY USAGE - 571 MAIN ST.; 10/8-11/8/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	ELECTRICITY USAGE - 571 MAIN STREET		A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$217.32			
BANK OF HOLLAND GEN	61635	NYSEG	11/18/2021	1004-1637-827	\$461.30	ELECTRICITY USAGE AT 33 CENTER ST FIRE HALL; 10/16-11/16/21	2022	7	12/06/2021		





Report run by: gretchen



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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date			
BANK OF HOLLAND GEN CHECK - 00100	61622	OCCUSTAR, INC.	08/10/2021	6215	\$319.00	SUPPLIES	2022	7	12/06/2021					
						2 Add DOT to FF Exam						A.5.3410.0420	FIRE DEPARTMENT - DEPARTMENT SUPPLIES	\$25.00
						3 Comprehensive Blood Panel-7028						A.5.3410.0420	FIRE DEPARTMENT - DEPARTMENT SUPPLIES	\$49.00
Total vouchers for OCCUSTAR, INC.: 2					\$475.00									
BANK OF HOLLAND GEN CHECK - 00100	61661	OFFICE DEPOT	11/05/2021	208324406001	\$99.99	Norton Anti-virus DPW renewal	2022	7	12/06/2021					
Total vouchers for OFFICE DEPOT: 1					\$99.99									
BANK OF HOLLAND GEN CHECK - 00100	61688	REBOY SUPPLY INC.	12/06/2021	93976/93796/93799	\$37.00	Nov 2021	2022	7	12/06/2021					
Total vouchers for REBOY SUPPLY INC.: 1					\$37.00									
BANK OF HOLLAND	61647	RED WING BRANDS OF AMERICA, INC.	11/18/2021	20211118033056	\$191.99	Gavin Menz workboots	2022	7	12/06/2021					







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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
			4 Enrollees; December 2021								
	4		Group Life Insurance Water Fund Retirees; 2 Enrollees; December 2021		F.5.9045.0804	LIFE INSURANCE - LIFE INSURANCE-RETIREES		\$14.95			
Total vouchers for THE HARTFORD: 1					\$1,408.23						
BANK OF HOLLAND GEN CHECK - 00100	61628	Thomas, Cathie	11/09/2021	Nov. 2021 Reimbursement	\$34.72	Mileage to and from MAOA meeting on 11/9/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	Mileage to and from MAOA meeting on 11/9/21		A.5.1325.0440	VILLAGE ADMINISTRATOR - TRAINING, TRAVEL & DUES		\$34.72			
Total vouchers for Thomas, Cathie: 1					\$34.72						
BANK OF HOLLAND GEN CHECK - 00100	61625	TIME WARNER CABLE	11/02/2021	129529001110 221	\$144.98	ACCT 202-129529001-001 - 400 PINE ST; 11/1-11/30/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	TWC 400 PINE ST - ACCT202-129529001-001		A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		\$144.98			
BANK OF HOLLAND GEN CHECK - 00100	61626	TIME WARNER CABLE	11/02/2021	214128401110 221	\$139.98	ACCT 202-214128401-001; 571 MAIN ST; 11/1-11/31/21	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	TWC VEA ACCT 202-214128401-001 - 571 MAIN ST		A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		\$139.98			
Total vouchers for TIME WARNER CABLE: 2					\$284.96						
BANK OF HOLLAND GEN CHECK - 00100	61641	Time Warner Cable-EAFD	11/14/2021	115006201111 421	\$187.10	EAFD-11/14-12/13/2021	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	EAFD-11/14-12/13/2021		A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		\$187.10			
Total vouchers for Time Warner Cable-EAFD: 1					\$187.10						





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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
GEN CHECK - 00100											
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	new PT Disp Atkinson 2 pair pants		A.5.3420.0480	POLICE & FIRE DISPATCH - UNIFORMS		\$91.90			
Total vouchers for UNITED UNIFORM COMPANY: 4					\$216.20						
BANK OF HOLLAND GEN CHECK - 00100	61694	Vaspian	12/01/2021	103564	\$525.00	Phone Services for December, 2021	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	Phone Services for December, 2021		A.5.1325.0434	VILLAGE ADMINISTRATOR - TELEPHONE		\$525.00			
Total vouchers for Vaspian: 1					\$525.00						
BANK OF HOLLAND GEN CHECK - 00100	61631	VERIZON WIRELESS	11/03/2021	9892022954	\$201.84	CELLULAR PHONES PROVIDED AS PER NYS OGS (STATE CONTRACT); 10/4- 11/3/2021	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	716-359-0911 DETECTIVE		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE		\$40.32			
		2	716-913-1761 POLICE SUPERVISOR (LIETENANTS)		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE		\$40.32			
		3	716-998-3734 MAYOR		A.5.1210.0434	MAYOR - TELEPHONE		\$0.00			
		4	716-383-1957 POLICE CHIEF SHANE KRIEGER		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE		\$40.32			
		5	716-256-0983 FIRE CHIEF MOBILE WIFI		A.5.3410.0434	FIRE DEPARTMENT - TELEPHONE		\$37.99			
		6	CREDIT		A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		(\$2.43)			
		7	Village Administrator 716-289-0134		A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		\$45.32			
Total vouchers for VERIZON WIRELESS: 1					\$201.84						
BANK OF HOLLAND GEN CHECK - 00100	61624	Verizon-Local Svc.	11/06/2021	Verizon Local Svc.	\$356.34	Verizon Local Service; 11/7- 12/6/21	2022	7	12/06/2021		



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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
		Line Number	Detail Description		Account Number	Account Description		Detail Amount		PO Number	PO Date
		1	716-652-6000 Front office-Clerk's		A.5.1325.0434	VILLAGE ADMINISTRATOR - TELEPHONE		\$0.00			
		2	716-652-6057 DPW		A.5.1490.0434	PUBLIC WORKS ADMINISTRATION - TELEPHONE		\$0.00			
		3	716-N73-1487 Data Private Line Between Village Hall & DPW		A.5.1490.0434	PUBLIC WORKS ADMINISTRATION - TELEPHONE		\$91.24			
		4	716-652-111 Police		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE		\$0.00			
		5	716-N73-1438 Radio Transmitter Police Station to Boces/Ormsby Center (1010 Center St.)		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE		\$165.49			
		6	716-652-0319 Fire Hall Elevator (33 Center St)		A.5.3410.0434	FIRE DEPARTMENT - TELEPHONE		\$31.89			
		7	652-0893 Elevator, 655-0686 Fire Alarm		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE		\$67.72			
Total vouchers for Verizon-Local Svc.: 1					\$356.34						
BANK OF HOLLAND GEN CHECK - 00100	61632	W.B. MASON CO., INC.	11/09/2021	224978897, 225014979	\$2.96	VEA Office supplies	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount		PO Number	PO Date
		1	VEA Office supplies Inv. #22501497		A.5.1325.0403	VILLAGE ADMINISTRATOR - OFFICE SUPPLIES		\$14.98			
		2	VEA Office supplies, Inv. 224978897		A.5.1325.0403	VILLAGE ADMINISTRATOR - OFFICE SUPPLIES		\$17.98			
		3	VEA Office supplies Credit		A.5.1325.0403	VILLAGE ADMINISTRATOR - OFFICE SUPPLIES		(\$30.00)			
BANK OF HOLLAND GEN CHECK - 00100	61642	W.B. MASON CO., INC.	11/10/2021	225014979	\$14.98	VEA office supplies	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount		PO Number	PO Date
		1	VEA office supplies		A.5.1325.0403	VILLAGE ADMINISTRATOR - OFFICE SUPPLIES		\$14.98			
BANK OF HOLLAND GEN CHECK - 00100	61652	W.B. MASON CO., INC.	11/24/2021	225431357, 225431305	\$11.94	VEA water and EAPD water.	2022	7	12/06/2021		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount		PO Number	PO Date
		1	EAPD water.		A.5.3120.0420	POLICE DEPARTMENT - MAINT. SERVICE CONTRACTS		\$2.98			
		2	Dispatch water		A.5.3420.0420	POLICE & FIRE DISPATCH -		\$2.97			





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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
		3	VEA water		A.5.1325.0403	MAINTENANCE/SERVICE CONTRACTS VILLAGE ADMINISTRATOR - OFFICE SUPPLIES		\$5.99			
Total vouchers for W.B. MASON CO., INC.: 3					\$29.88						
BANK OF HOLLAND GEN CHECK - 00100	61623	WNYNETWORKS	11/10/2021	3699	\$570.00	IT Service for October, 2021	2022	7	12/06/2021		
		<b>Line Number</b>	<b>Detail Description</b>		<b>Account Number</b>	<b>Account Description</b>		<b>Detail Amount</b>	<b>PO Number</b>	<b>PO Date</b>	
		1	IT Service for VEA		A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		\$332.50			
		2	IT Service for EAPD		A.5.3120.0420	POLICE DEPARTMENT - MAINT. SERVICE CONTRACTS		\$95.00			
		3	IT Service for DPW		A.5.1490.0420	PUBLIC WORKS ADMINISTRATION - MAINTENANCE & REPAIRS		\$142.50			
Total vouchers for WNYNETWORKS: 1					\$570.00						



Village of East Aurora  
VEA 12/6/2021

Posted Batch Totals

Fund	Fund Description	Invoice Batch		Manual Checks		Purchase Cards		Total	
		Paid	Unpaid	Paid	Unpaid	Paid	Unpaid	Paid	Unpaid
A	GENERAL FUND	\$0.00	\$85,469.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$85,469.00
F	WATER FUND	\$0.00	\$2,876.78	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$2,876.78
H	CAPITAL PROJECTS	\$0.00	\$446,824.41	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$446,824.41
Posted Batch Grand Totals		\$0.00	\$535,170.19	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$535,170.19



Village of East Aurora  
VEA 12/6/2021

\*\*\*\*\* Certificate of Financial Officer \*\*\*\*\*

I hereby certify that the attached Voucher Listing is complete and accurate to the best  
of my knowledge, and payment is hereby approved.

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

# **TOWN OF AURORA**

575 OAKWOOD AVENUE, EAST AURORA, NY 14052

BUILDING DEPARTMENT

(716) 652-7591

## **MEMO**

TO: Mayor Mercurio, and Village Trustees

FROM: Elizabeth Cassidy, Code Enforcement Officer

DATE: October 27, 2021

Douglas Wolf, as agent for Terrence Kopp, has submitted an application for a minor 3-lot subdivision of the parcel at 363 Prospect Ave. The lot will be split into three legal building lots with frontage on Prospect. The middle lot received a 5' lot width variance by the Village Zoning Board of Appeals at the October meeting. The existing dwelling has a legal non-conforming side yard setback to the west; however the subdivision proposed would have no effect on this setback. The proposal is to divide the lots. Future construction of the dwellings including, but not limited to, location of buildings, driveways, setbacks, any possible drainage concerns, and utility connections will be addressed at the time of permit submittal.

Village Code section 285-50.4C requires the Village to submit the application to the Erie County Department of Environment and Planning for their review and comment due to the proximity to a County highway (Center St).

The Village Board may refer the application to the Planning Commission for their review and recommendation. Village Code section 227-21D states that the Village Board may schedule a public hearing after which a SEQRA determination is made and a decision on the minor subdivision will be rendered.

This is an Unlisted action under SEQRA.

If you have any questions, please contact me at 652-7591.

Liz Cassidy

**VILLAGE OF EAST AURORA**  
 571 Main Street, East Aurora, New York 14052  
 716-652-6000  
 In conjunction with  
**Town of Aurora Building Department**  
 300 Glead Ave, East Aurora, NY 14052  
 716-652-7591

*Subdivision*

~~SEE PLAN APPLICATION~~

Building Dept:	
Date Received	10/26/21
Complete App	10/26/21
Village Clerk:	
Date Received	
Amount \$	
Receipt #	Waved per C.T.

PROPOSED PROJECT Prospect Street Subdivision SBL#: 175.08-8-7  
 LOCATION 363 Prospect ZONING DISTRICT SFR

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME Douglas Wolf, project manager  
 ADDRESS 429 Oakwood Ave. East Aurora, NY 14052  
 TELEPHONE (716) 864-8241 FAX \_\_\_\_\_ E-MAIL dsw429@hotmail.com  
 SIGNATURE *[Signature]*

OWNER NAME Terrence Kopp  
 ADDRESS 13048 Centerline Rd, South Wales 14139  
 TELEPHONE (716) 574-9570 FAX \_\_\_\_\_ E-MAIL koppforestproducts@outlook.com  
 SIGNATURE \_\_\_\_\_

ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT  
 NAME Thornton Kenyon FIRM Nussbaumer & Clarke inc.  
 ADDRESS 509 Main Street, East Aurora, NY 14052  
 TELEPHONE (716) 655-1058 FAX \_\_\_\_\_ E-MAIL nussclarke.com  
 SIGNATURE \_\_\_\_\_ AFFIX STAMP

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date \_\_\_\_\_ Minor Project written request to waive PC mtg Y/N/NA: VB Decision Y/N

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:

\_\_\_ Type 1 \_\_\_ Type 2 \_\_\_ Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date	
Public Hearing	_____	
Notices Mailed	_____	
Posted Notice-VEA Hall	_____	
Posted Notice-Prop	_____	
Approval/Denial Date	_____	Attach Village Board resolution with noted conditions.

# Short Environmental Assessment Form

## Part 1 - Project Information

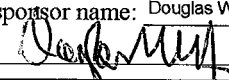
### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Douglas Wolf, project manager			
Name of Action or Project:			
Subdivision of property at 363 Prospect Ave			
Project Location (describe, and attach a location map):			
363 Prospect			
Subdivision of 363 Prospect into 3 separate lot parcels			
Name of Applicant or Sponsor:		Telephone:	
Douglas Wolf, project manager		(716) 864-8241	
Address:		E-Mail:	
429 Oakwood Ave		dsw429@hotmail.com	
City/PO:		State:	Zip Code:
East Aurora		NY	14052
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			<b>NO</b>
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<b>YES</b>
			<input type="checkbox"/>
			<input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			<b>NO</b>
If Yes, list agency(s) name and permit or approval:			<b>YES</b>
			<input checked="" type="checkbox"/>
			<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.38	acres
b. Total acreage to be physically disturbed?		0	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.5	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional			
<input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES	
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES			
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?			
If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	<b>NO</b>  <input checked="checked" type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	<b>NO</b>  <input checked="checked" type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	<b>NO</b>  <input checked="checked" type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor name: Douglas Wolf Signature:  Date: 05/12/21		





Chair, Schamberger called the hearing back into order at 7:20pm and read the following findings for 363 Prospect Ave.:

1. 363 Prospect Ave is located in an SFR District.
2. The existing residence was built in approximately 1970 and has a legal non-conforming side yard setback of 8.64' on the west side of the property.
3. The existing lot is 232' wide, 195.03' deep (removed ROW), and has approximately 45,247 sq ft in area. The current requirements for a new lot are 70' for lot width and 10,500 sq ft in area.
4. The applicant plans to split the parcel into three rectangular lots, two of which will be conforming in lot width and area.
5. The third center lot will only be 65' wide but will have 12,676 sq ft in area. This lot will require a 5' lot width variance.
6. The Planning Commission reviewed and made the recommendation for a different minor subdivision plan for this property for a minor subdivision into three lots and one of those lots was a flag lot. The Planning Commission will have to review this separate application at a future meeting if the ZBA grants this variance. The variance was referred to the Village Board for recommendation, the Village Board unanimously recommended approval on September 7, 2021 meeting.
7. An undesirable change will not be produced in the character of the neighborhood or a detriment to nearby properties will be created by granting of the area variance.
8. The benefits sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance.
9. The proposed variance is not substantial
10. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions of the neighborhood or district.
11. The alleged difficulty was self-created
12. The proposed variance is the minimum variance deemed necessary and adequate and at the same time preserves and protects the character of the neighborhood and the health, safety and welfare of the community.
13. There were 87 notices sent out and 2 responses against and 2 responses in favor
14. This is a Type II action under SEQR.

Member Kimmel-Hurt made a motion to accept the proposed findings and to **GRANT** the variance for 363 Prospect Ave. The motion was seconded by Member Hoffman and unanimously carried.

Project: 363 Prospect Minor Subdivision

Date: 11/30/21

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

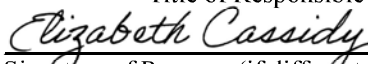
Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## *Short Environmental Assessment Form*

### *Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Village of East Aurora <hr/> Name of Lead Agency	<hr/> Date
Peter Mercurio <hr/> Print or Type Name of Responsible Officer in Lead Agency	Mayor <hr/> Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<div style="text-align: center;">   <hr/>         Signature of Preparer (if different from Responsible Officer)       </div>

**Resolution of the Village of East Aurora of a Determination of Non-Significance pursuant to the State Environmental Quality Review Act in the matter of the Minor Subdivision Application for the property at 363 Prospect Avenue in the Village of East Aurora**

WHEREAS, the applicant has filed Part 1 of the Short Environmental Assessment Form with this Board, a copy of which is included by reference and made a part hereof, relating to the proposed minor subdivision at 363 Prospect Avenue, East Aurora, New York, wherein the applicant proposes a minor subdivision, and documentation was submitted, as follows:

- An application for a minor subdivision, dated October 26, 2021 (one page);
- SEQRA SEAF Part 1 – Project Information Form (three pages);
- as shown on a drawing (one page, undated and with no indication of the creator), depicting three lots, one with an existing house and two vacant lots

WHEREAS, the Erie County Division of Planning, after carefully and fully reviewing a description of the proposed project, along with application, including the Minor subdivision proposal attached thereto, with any and all amendments and modifications, as submitted by the Village Clerk, replied in writing it had “No recommendation; proposed action has been reviewed and determined to be of local concern”; and

WHEREAS, the Village Planning Commission, after carefully and fully reviewing the application, including for the minor subdivision, with any and all amendments and modifications, and considering comments and documentation presented for and against the project, voted in the majority recommending approval, with findings; and

WHEREAS, the Village SEQRA Intake Committee carefully and fully reviewed Part 1 of the Short Environmental Assessment form submitted by applicant, including the minor subdivision application, and the above-referenced amendments and modifications; and

WHEREAS, the Village SEQRA Intake Committee, after their review of the above, prepared Parts 2 and 3 of the Short Environmental Assessment Form with a recommendation of the issuance of the Negative Declaration of Environmental Significance for submission to, and consideration by, the Village Board; and

WHEREAS, the Village Board of Trustees, upon taking an independent hard look and reasoned evaluation of the above-referenced information, comments and written documentation, including, but not limited to, Part 1 of the Short Environmental Assessment Form; comments and recommendations of the Planning Commission, the minor subdivision; the reply of Erie County Division of Planning; and the recommendation of the SEQRA Intake Committee and that Committee’s completed Part II and Part III of the Short Environmental Assessment Form concerning the potential environmental impact of the project; all of which are incorporated by reference herein; and

WHEREAS, the Village Board, upon carefully and fully reviewing all the information, comments and written documentation in regard to the project, made a finding that there are no significant environmental impacts.

NOW, THEREFORE, BE IT RESOLVED, that the Village Board of East Aurora as Lead Agency has determined that the proposed action described in the Short Environmental Assessment Form submitted by the applicant for the minor subdivision proposed for 363 Prospect Avenue, East Aurora, New York, is classified as an Unlisted Action and therefore issues a Negative Declaration that this development will not have a significant environmental impact and a Draft Environmental Impact Statement will not be required nor prepared.

The foregoing resolution was duly made by Trustee \_\_\_\_\_ and seconded by Trustee \_\_\_\_\_ and carried on December 6, 2021.

**Resolution of the Village of East Aurora Approving a  
Minor Subdivision for 363 Prospect Avenue in the Village of East Aurora, New York**

WHEREAS, an application has been submitted for minor subdivision approval at the above referenced property; and

WHEREAS, the Village Board referred the application to the Planning Commission for review, comment and recommendation, and the Planning Commission resolution, recommending the minor subdivision approval, with findings, is incorporated herein as follows:

Findings:

- (a) The applicant has received necessary approval from the Zoning Board of Appeals for an area variance for the width of one lot to be 65 feet.
- (b) The proposed subdivision will provide the opportunity for new housing stock in the Village.
- (c) The proposed subdivision lot sizes are consistent with many existing neighboring lots.

WHEREAS, the Erie County Division of Planning has reviewed same and has no recommendation and deems the matter to be of local concern; and

WHEREAS, the Village's SEQRA Intake Committee considered the application and reviewed Part 1 of the Short Environmental Assessment Form submitted by the applicant and completed Part 2 and Part 3 thereof on behalf of the Village, and it was the determination of the SEQRA Committee that the proposed development plan is an Unlisted Action and would have no significant environmental impact; and

WHEREAS, the Village Board at a public meeting reviewed and considered the comments and all written materials submitted by the applicant and all other information and recommendations before the Board, including minutes of prior Village Board meetings and the recommendation of the SEQRA Intake Committee and Planning Commission, as well as the determination of the Zoning Board of Appeals; and

WHEREAS, the Village Board has separately considered the environmental impacts of the project, declared itself Lead Agency and issued a Negative Declaration of environmental significance.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board as follows:

1. The Findings of Fact of the SEQRA Intake Committee, the resolution with findings and conditions of the Planning Commission, and the minor subdivision application, including the above-referenced improvement rendering filed with the Village, all information included in the minutes taken in relation to the abovementioned Village Board and Planning Commission meetings are herein incorporated by reference.
2. The resolution of the Village Board considering the environmental impacts of the project and the issuance of a Negative Declaration of environmental significance is attached and incorporated herein by reference.
3. The minor subdivision relating to the proposed project at 363 Prospect Avenue, East Aurora, New York, wherein the applicant proposes to subdivide one existing lot into three new lots, and as detailed in the following documentation:

- An application for a minor subdivision, dated October 26, 2021 (one page);
- SEQRA SEAF Part 1 – Project Information Form (three pages);
- as shown on a drawing (one page, undated and with no indication of the creator), depicting three lots, one with an existing house and two vacant lots;

is hereby approved, applying the standards under the Village Zoning Code, the project sits in with the Master Plan and is in harmony with the Zoning Code, and is subject to the following additional conditions:

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4. The resolution is effective immediately.

The foregoing resolution was duly made by Trustee \_\_\_\_\_ and seconded by Trustee

\_\_\_\_\_ and carried on December 6, 2021.



Application Fee \$25.00 ✓ (Fees are payable at time of application)  
Permit Fee \$25.00 ✓  
Mailers Fee \$50.00 ✓  
\*Public Hearing \$50.00 ✓

Paid 12/1/2021  
#188

VILLAGE OF EAST AURORA, 585 OAKWOOD AVE, EAST AURORA, NY 14052

**APPLICATION FOR PERMIT FOR KEEPING OTHER THAN HOUSEHOLD PETS**  
(\*\*pursuant to provisions of Section 104-3 A of the Code of the Village of East Aurora)

**APPLICANT:** Caroline + Zack Taggart 716 289 8830 (caroline)  
(Name) (Home Phone Number)  
243 Cazenovia St. 716 352 1519 (zack)  
(Address) (Work/Cell Phone)  
caroline.a.taggart@gmail.com  
(Email Address)

**OWNER OF PROPERTY:** same as above (effective 12/3/2021)  
(Name)  
\_\_\_\_\_  
(Address)  
\_\_\_\_\_  
(City, State) (Zip)

**DESCRIBE WHAT IS TO BE KEPT ON PREMISES:**

3 hens in a custom-built coop surrounded by fence (10'x10')

**DESCRIPTION OF AREA WHERE IT/THEY WILL BE KEPT:**

*A survey map of the property must be attached to this application, with the area specified.*

back corner of lot (Southeast corner)

**REASON FOR REQUESTING PERMIT:**

currently have 3 chickens permitted (issued 2018) for 442 Prospect Ave in village, but we are moving to our new house @ 243 Cazenovia.

**LIST NAMES AND ADDRESSES OF ALL NEIGHBORS: (Attach list to application)**

It is understood that if this permit is granted, it will only apply to what has been specifically listed above and will automatically expire when/if any of the above information changes.

Applicant agrees to allow duly authorized official(s) of the Village of East Aurora to inspect the premises and the site proposed for the keeping of other than household pets as a part of processing this application.

Applicant hereby certifies that he or she is the applicant, and that the information contained in this application is true and correct.

11/30/21 20 21  
(Date)

[Signature]  
(Applicant's Signature)

**NOTE:** This application must be filed with the Village Administrator, Village Hall, 585 Oakwood Ave, East Aurora, New York 14052. \*The Village Board of Trustees reserves the right to require a public hearing.

\*\*§104-3 A of the Village Code: No person or persons shall keep or house horses, cattle, swine, poultry, pigeons or any other animals or bees other than household pets within the limits of the Village of East Aurora without a permit from the Board of Trustees, after investigation., that the keeping of the animal or animals or bees in question will not be objectionable or offensive by reasons of noise, smell or other cause. Such a permit shall be revocable at any time by the Board of Trustees.

Current Resident  
243 Cazenovia St  
East Aurora, NY 14052

Current Resident  
197 South Willow St  
East Aurora, NY 14052

Current Resident  
Cazenovia St  
East Aurora, NY 14052

Current Resident  
243 Perry St  
East Aurora, NY 14052

Current Resident  
267 Cazenovia St  
East Aurora, NY 14052

Current Resident  
253 Perry St  
East Aurora, NY 14052

Current Resident  
257 Cazenovia St  
East Aurora, NY 14052

Current Resident  
265 Perry St  
East Aurora, NY 14052

Current Resident  
Cazenovia St  
East Aurora, NY 14052

Current Resident  
284 Mill Rd  
East Aurora, NY 14052

Current Resident  
272 Cazenovia St  
East Aurora, NY 14052

Current Resident  
Oakwood Ave  
East Aurora, NY 14052

Current Resident  
266 Cazenovia St  
East Aurora, NY 14052

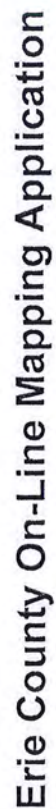
Current Resident  
East Aurora, NY 14052

Current Resident  
260 Cazenovia St  
East Aurora, NY 14052

Current Resident  
252 Cazenovia St  
East Aurora, NY 14052

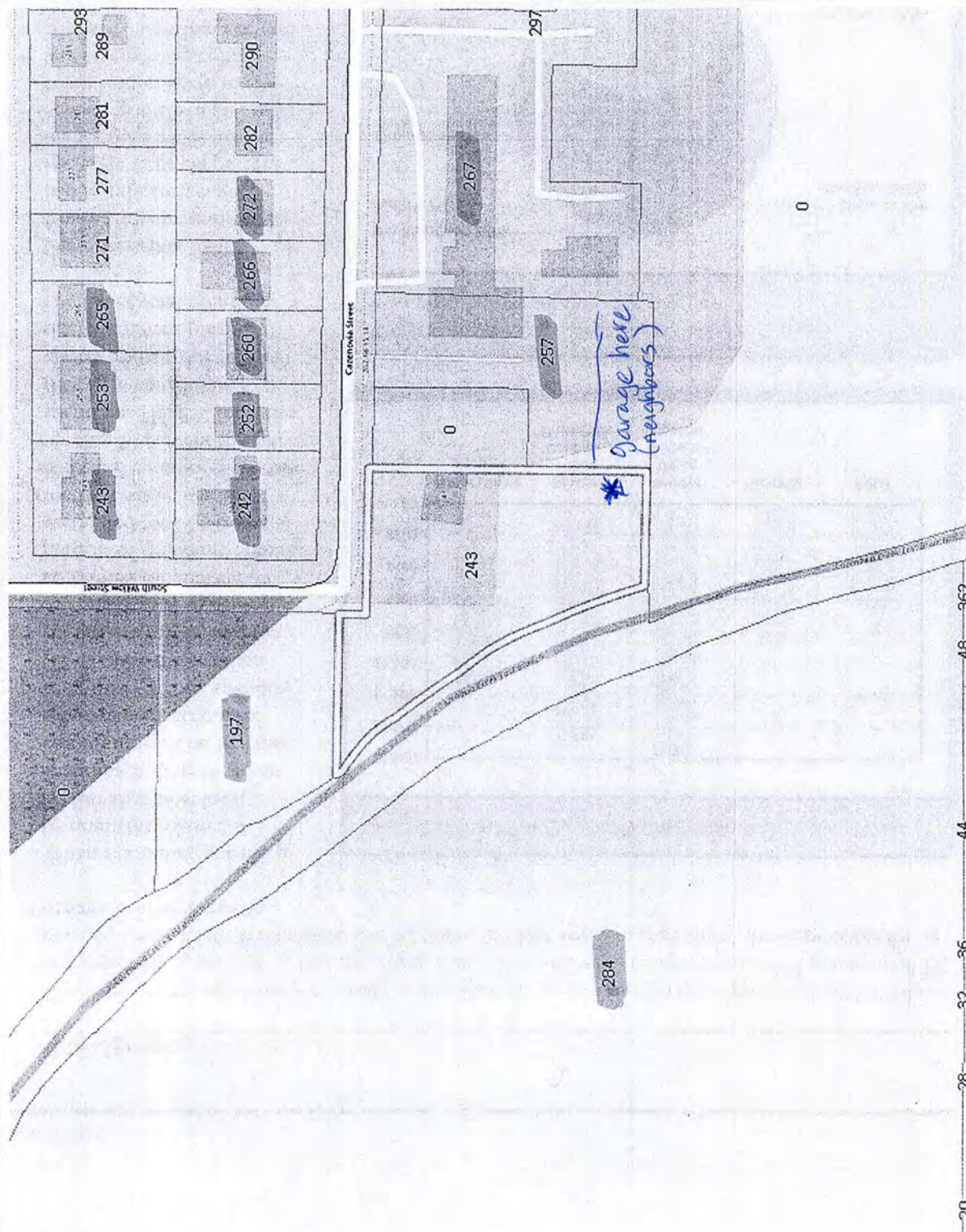
Current Resident  
242 Cazenovia St  
East Aurora, NY 14052





### Legend

- ☐ Parcels  
 Streets and Highways  
     — Interstate  
     — Primary State Road  
     — Secondary State Road  
     — County Road  
     — Local Road



0	0.04	0.1 Miles
---	------	-----------

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

ERIE COUNTY  
DEPARTMENT OF ENVIRONMENT & PLANNING  
OFFICE OF GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

1: 2,257



# **TOWN OF AURORA**

575 OAKWOOD AVENUE, EAST AURORA, NY 14052

BUILDING DEPARTMENT

(716) 652-7591

## **MEMO**

TO: Mayor Mercurio and Village Trustees

FROM: Elizabeth Cassidy, Code Enforcement Officer

DATE: November 30, 2021

The Building Department has accepted a Site Plan application for a residential development at a vacant lot at 189 King St. A site plan review is required per Village Code section 285-30.6 because it is an existing legal lot of record that has less than the required 70' of frontage. For your reference, see the attached a map of this section on King St with lot frontage marked.

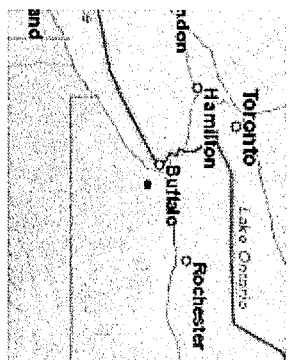
Village Code section 285-51.5 requires the Village Board to refer the Site Plan application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing prior to the SEQR determination and decision.







A County Planning referral is not required for this site plan.

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.  
Liz Cassidy





- Legend**
-  **Parcels**
- Streets and Highways**
-  Interstate
  -  Primary State Road
  -  Secondary State Road
  -  County Road
  -  Local Road

### Legend

Parcels

## Streets and Highways

## Interstate

— Primary State Road

— Secondary State Road

County Road

Local Road

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

1: 2,257



# **BUFFALO** **BUNGALOW** CONTEMPORARY CRAFTSMAN

549 Winspear rd. Elma NY 14059 \* 716-864-6785 \* Mybuffalobungalow.com

11/23/2021

RE: 189 king st. proposed site plan review

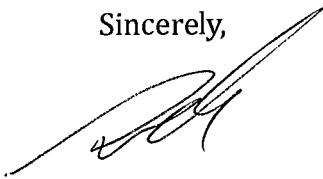
Owners: David & Georginia Schutte

Dear Plan review,

Buffalo bungalow is the builder/agent hired by the owners of 189 King St. Please see attached documents, plans, survey. plot, topo, drainage etc. regarding the proposed new residential build at 189 king st. East Aurora 14052.

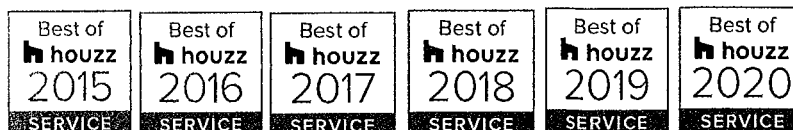
Our hope is to have the plan & site plan approved for a winter of 2021 New residential home start to be built ay 189 king st.

Sincerely,



Derek Sullivan

1 of 1



**VILLAGE OF EAST AURORA**  
 571 Main Street, East Aurora, New York 14052  
 716-652-6000  
 In conjunction with  
**Town of Aurora Building Department**  
 300 Gleed Ave, East Aurora, NY 14052  
 716-652-7591

Building Dept.	11/29/21
Date Received	11/30/21
Complete App	
Village Clerk:	
Date Received	
Amount \$	
Receipt #	

**SITE PLAN APPLICATION**

PROPOSED PROJECT Residential Home SBL#: 4 Block E  
 LOCATION 189 KING ST ZONING DISTRICT \_\_\_\_\_

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME David & Georgia Schutte (Buffalo Bungalow-ABAT)  
 ADDRESS 965 Center Rd Apt. D2 Buffalo NY 14204  
 TELEPHONE 863-242-6323 FAX \_\_\_\_\_ E-MAIL DavidSchutte@gmail.com  
 SIGNATURE \_\_\_\_\_

OWNER NAME \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 TELEPHONE \_\_\_\_\_ FAX \_\_\_\_\_ E-MAIL \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_

ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT  
 NAME James D. Skotz FIRM JDS & Associates  
 ADDRESS 9 Ryan St. Lancaster NY 14086  
 TELEPHONE 392-5747 FAX \_\_\_\_\_ E-MAIL JDS-AssociatesPC@yahoo.com  
 SIGNATURE James D. Skotz AFFIX STAMP

**THIS APPLICATION MUST INCLUDE THE FOLLOWING:**

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (1) complete file of submittal package in PDF format via email (under 10MB) to [maureen.ierackas@east-aurora.ny.us](mailto:maureen.ierackas@east-aurora.ny.us). Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

**OFFICE USE ONLY:** Sketch Plan Meeting Date \_\_\_\_\_ Minor Project written request to waive PC mtg Y/N/NA: VB Decision Y/N

**REQUIRED MEETINGS/REFERRALS:**

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

**SEQR ACTION:**

\_\_\_ Type 1 \_\_\_ Type 2 \_\_\_ Unlisted

**VILLAGE BOARD ACTION:**

	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <i>NEW RESIDENTIAL HOME FOR THE SCHULTZ FAMILY</i>			
Project Location (describe, and attach a location map): <i>189 KING ST.</i>			
Brief Description of Proposed Action: <i>TO ERRECT A NEW SINGLE FAMILY HOME.</i>			
Name of Applicant or Sponsor: <i>DEREK SILLMAN (AGENT) BUFFALO BUNGALOW</i>		Telephone: <i>716-867-6785</i>	
Address: <i>549 WINSBOR RD</i>		E-Mail: <i>INTEGRATE@MSG.COM</i>	
City/PO: <i>ELMA</i>		State: <i>NY</i>	Zip Code: <i>14059</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>E.A. BUILDING PERMIT ONLY</i>		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>.3</i> acres	
b. Total acreage to be physically disturbed?		<i>.3</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.3</i> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

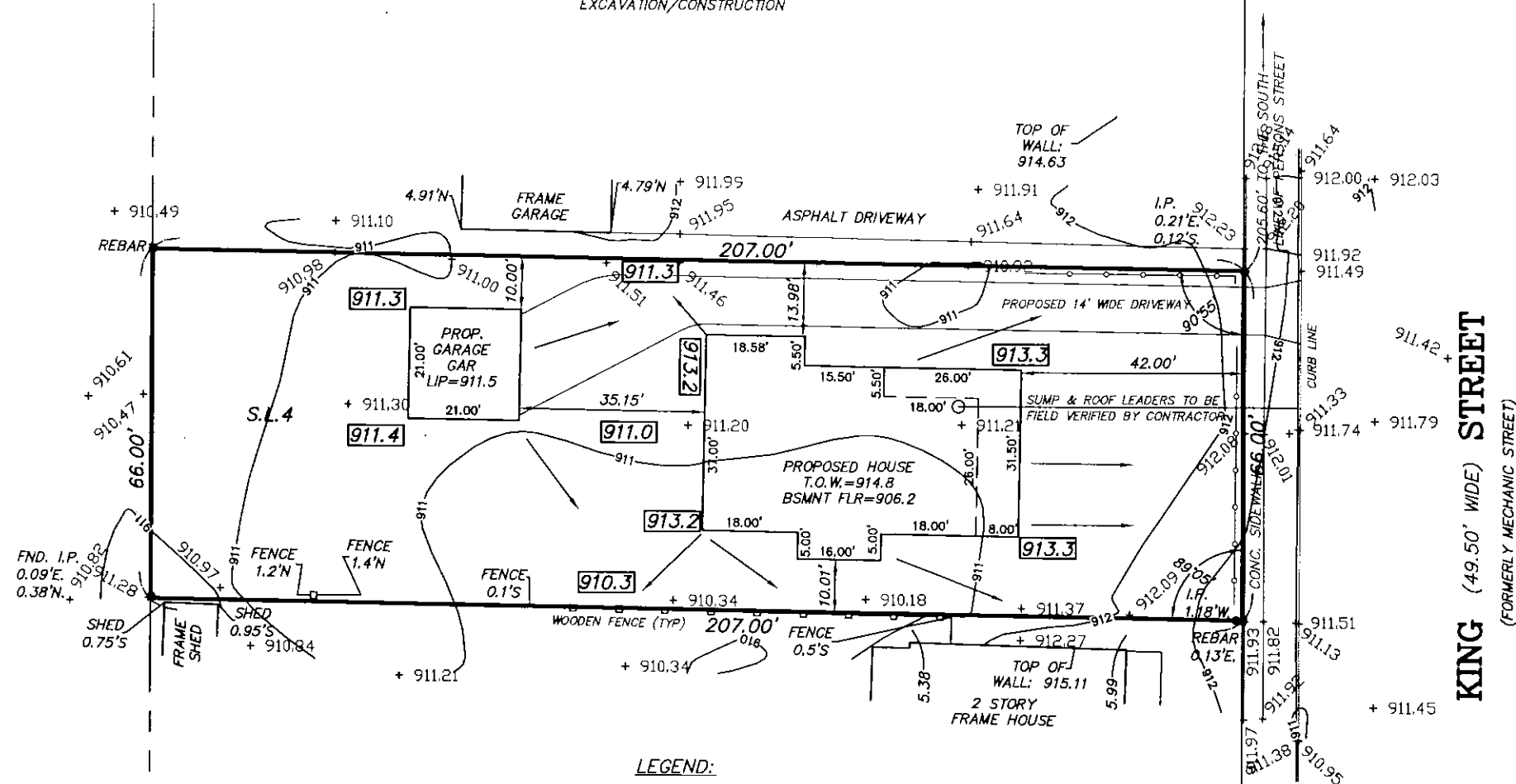


5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>Drainage Plan Attached</u> <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>Deck Sullivan Robert Rogers</u> Date: <u>11/23/21</u> Signature: <u>[Signature]</u>		

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE  
BENEFIT OF AN ABSTRACT OF TITLE.  
● SET OR EX. 5/8" REBAR

PLOT PLAN TO BE APPROVED BY  
THE LOCAL BUILDING DEPARTMENT  
PRIOR TO COMMENCEMENT OF  
EXCAVATION/CONSTRUCTION



LEGEND:

- 914.8 INDICATES TOP OF WALL ELEVATION
- 913.2 INDICATES MINIMUM FINISHED GRADE AT THE FOUR CORNERS OF HOUSE,
- 000.0 INDICATES MINIMUM FINISHED GRADE ELEVATION
- x 783.01 INDICATES EXISTING GRADE ELEVATION
- ↓ ↓ ↓ INDICATES PROPOSED SURFACE RUNOFF FLOW DIRECTION

BENCHMARK,  
TOP OF FIRE HYDRANT IN FRONT OF 199 KING STREET  
ELEVATION 913.43

— — — — — SILT FENCE



*[Handwritten signature]*

DATE	REVISION/TYPE

GRADING PLAN OF  
SUB LOT 4, BLOCK "E", MAP COVER 742  
**THE EAST AURORA LAND & IMPROVEMENT COMPANY MAP**  
PART OF LOT 23, TOWNSHIP 9, RANGE 6  
HOLLAND LAND COMPANY'S SURVEY  
VILLAGE OF EAST AURORA, TOWN OF AURORA, ERIE COUNTY, NEW YORK

GPI

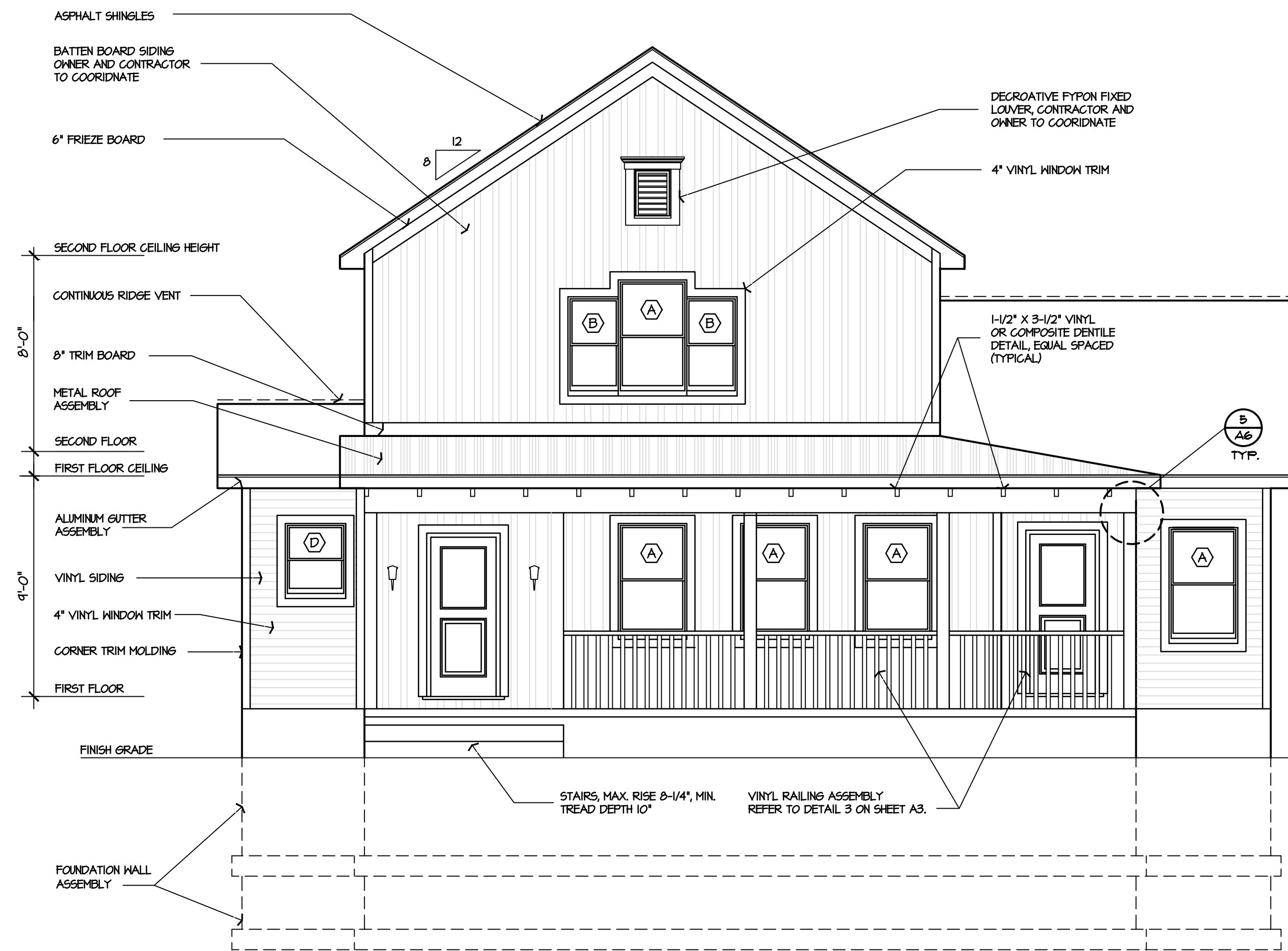
**GPI ENGINEERING, LANDSCAPE  
ARCHITECTURE & SURVEYING, LLP**  
ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE  
4950 GENESEE STREET, SUITE 100  
BUFFALO, NEW YORK 14225  
(716) 633-4844 FAX 633-4940

Job No. 9613

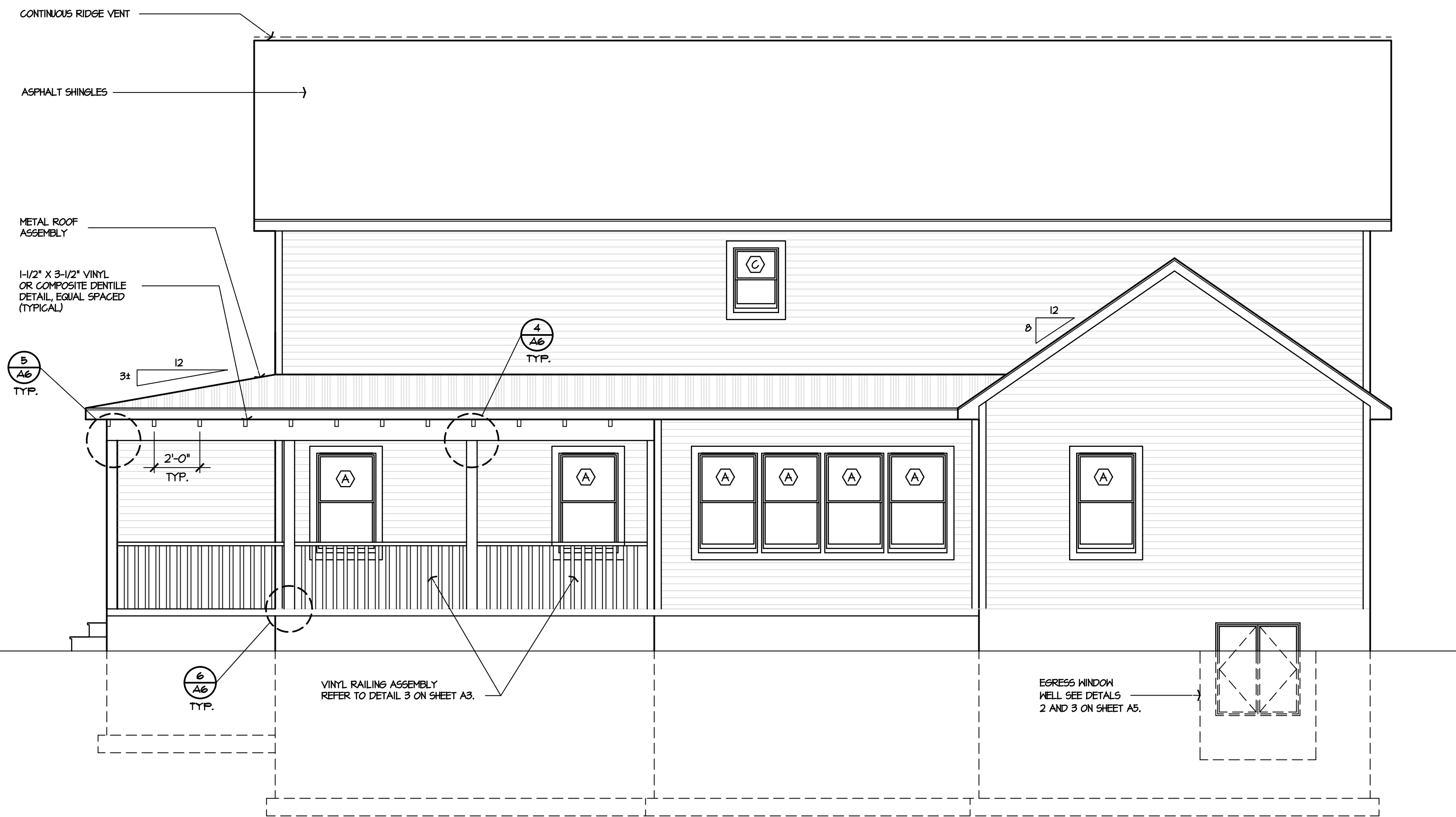
Scale: 1" = 20'

Date: NOVEMBER 18, 2021

TAX No. 175.08-5-5



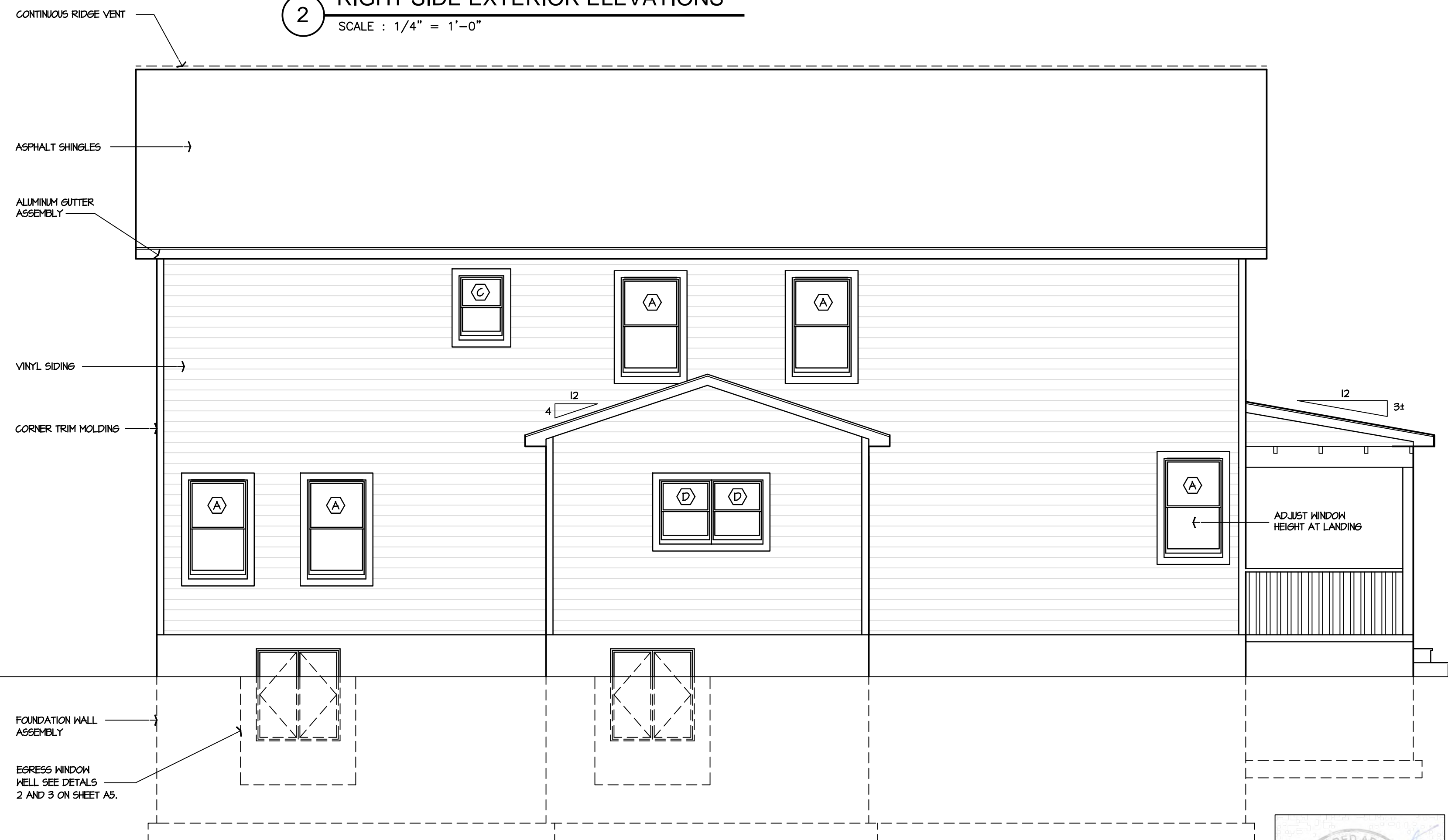
1 FRONT EXTERIOR ELEVATIONS  
SCALE : 1/4" = 1'-0"



2 RIGHT SIDE EXTERIOR ELEVATIONS  
SCALE : 1/4" = 1'-0"



3 REAR EXTERIOR ELEVATIONS  
SCALE : 1/4" = 1'-0"



4 LEFT SIDE EXTERIOR ELEVATIONS  
SCALE : 1/4" = 1'-0"



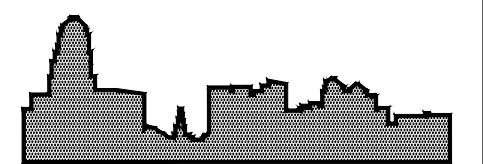
DRAWING REVISIONS	
ITEM	DESCRIPTION



549 WINSPEAR ROAD, ELMA NY 14059  
(716) 864.6785  
www.mybuffalobungalow.com

RESIDENTIAL HOUSE  
BUFFALO BUNGALOW DEVELOPMENT  
KING STREET, EAST AURORA EW YORK  
PROPOSED EXTERIOR ELEVATIONS

PROJECT NAME  
DRAWING

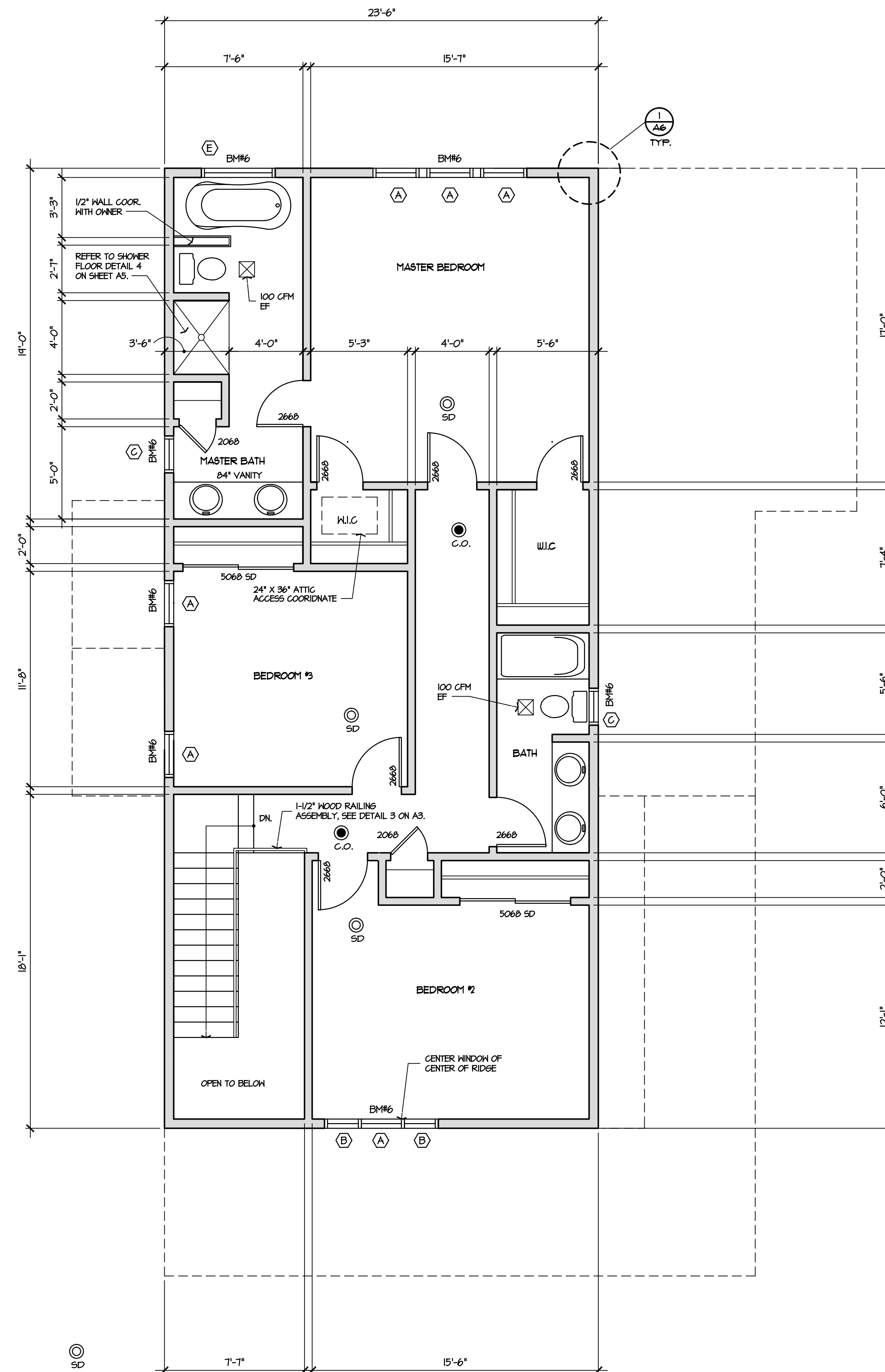
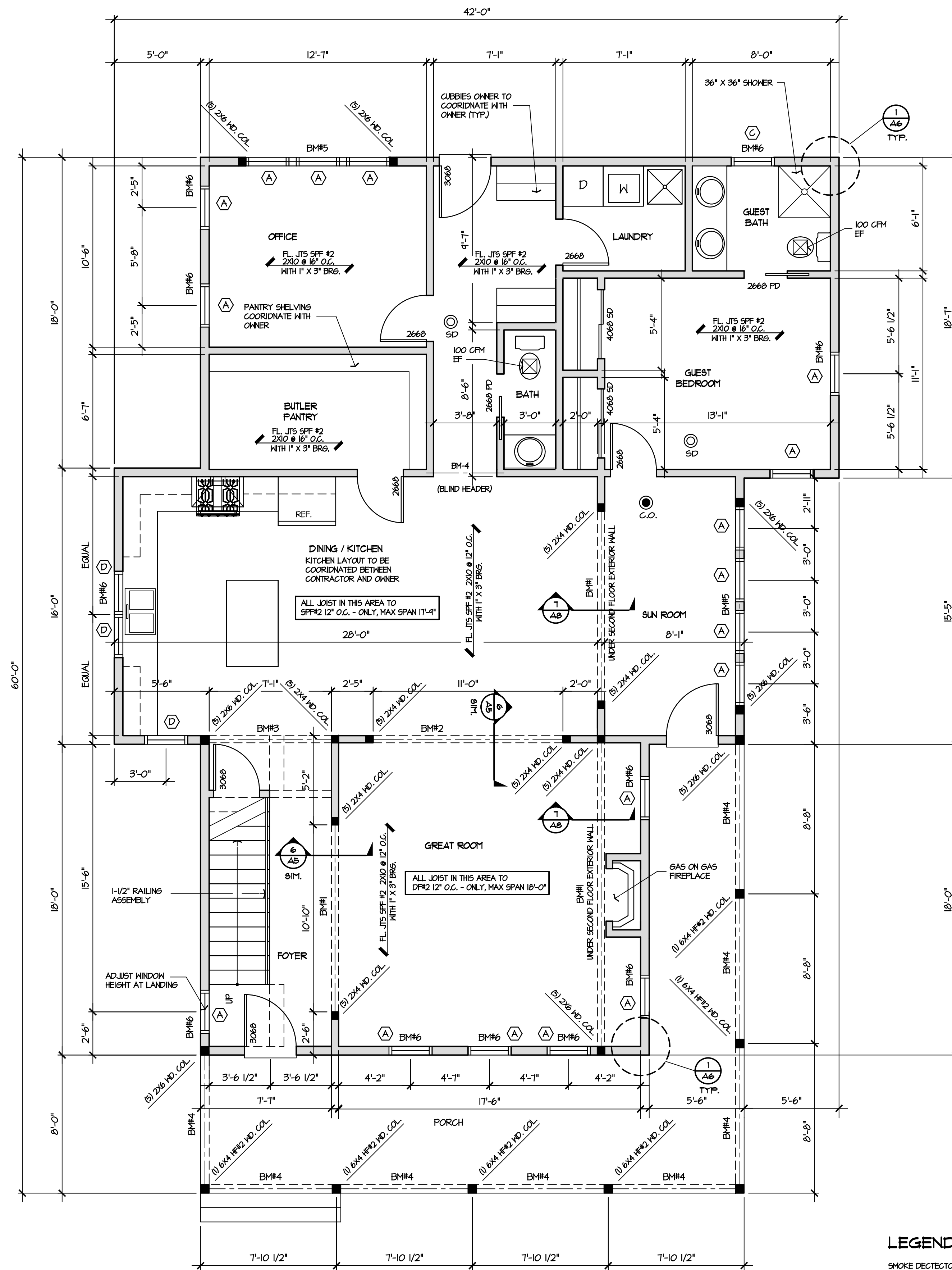


JDS ASSOCIATES  
ARCHITECT, P.C.  
9 RYAN STREET, LANCASTER NY 14086  
(716) 392-5747  
EMAIL: jds\_associatespc@yahoo.com  
WEB SITE: jdsassociatespc.com

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DRAWN BY:	JDS
CHECKED BY:	JDS
DATE:	OCTOBER 2021
SCALE:	NOTED
PROJECT NO.:	2021-200
SHEET NO.	A1





GENERAL BLOCKING NOTES:

- 01) ALL BEARING COLUMNS WOOD OR STEEL TO BE PROVIDED WITH SOLID BLOCKING AS PER DETAILS 9 ON SHEET A6 AND 1 ON SHEET A5, TYPICAL ALL LOCATIONS.
- 02) PROVIDE FIRE BLOCKING IN ALL AREAS, 10'-0" MAX AS PER NYSRC 2020 R302.11.

1 FIRST FLOOR PLAN  
SCALE : 1/4" = 1'-0"  
FIRST FLOOR: 1724 SQFT.

2 SECOND FLOOR PLAN  
SCALE : 1/4" = 1'-0"  
SECOND FLOOR: 1221 SQFT.

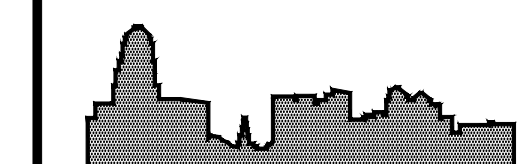
DRAWING REVISIONS		
ITEM	DATE	DESCRIPTION



549 WINSPEAR ROAD, ELMA NY 14059  
(716) 864.6785  
www.mybuffalobungalow.com

RESIDENTIAL HOUSE  
BUFFALO BUNGALOW DEVELOPMENT  
KING STREET, EAST AURORA EW YORK  
PROPOSED FLOOR PLAN

PROJECT NAME  
DRAWING

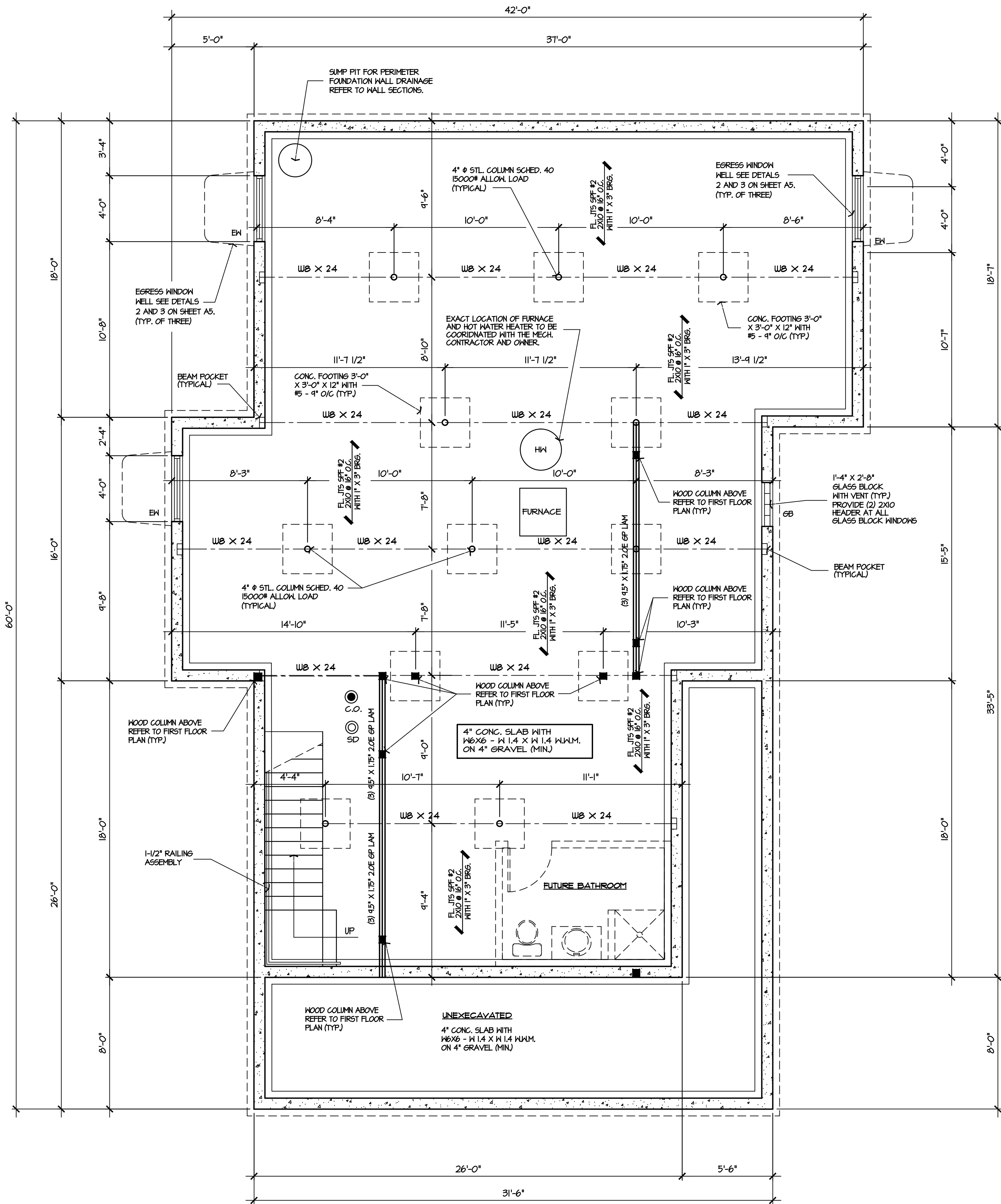


JDS ASSOCIATES  
ARCHITECT, P.C.  
9 RYAN STREET, LANCASTER NY 14086  
(716) 392-5747  
EMAIL: jds\_architect@yahoo.com  
WEB SITE: jdsassociatespc.com

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SCALE:	NOTED
PROJECT NO.:	2021-200
SHEET NO.	A2





GENERAL NOTES:

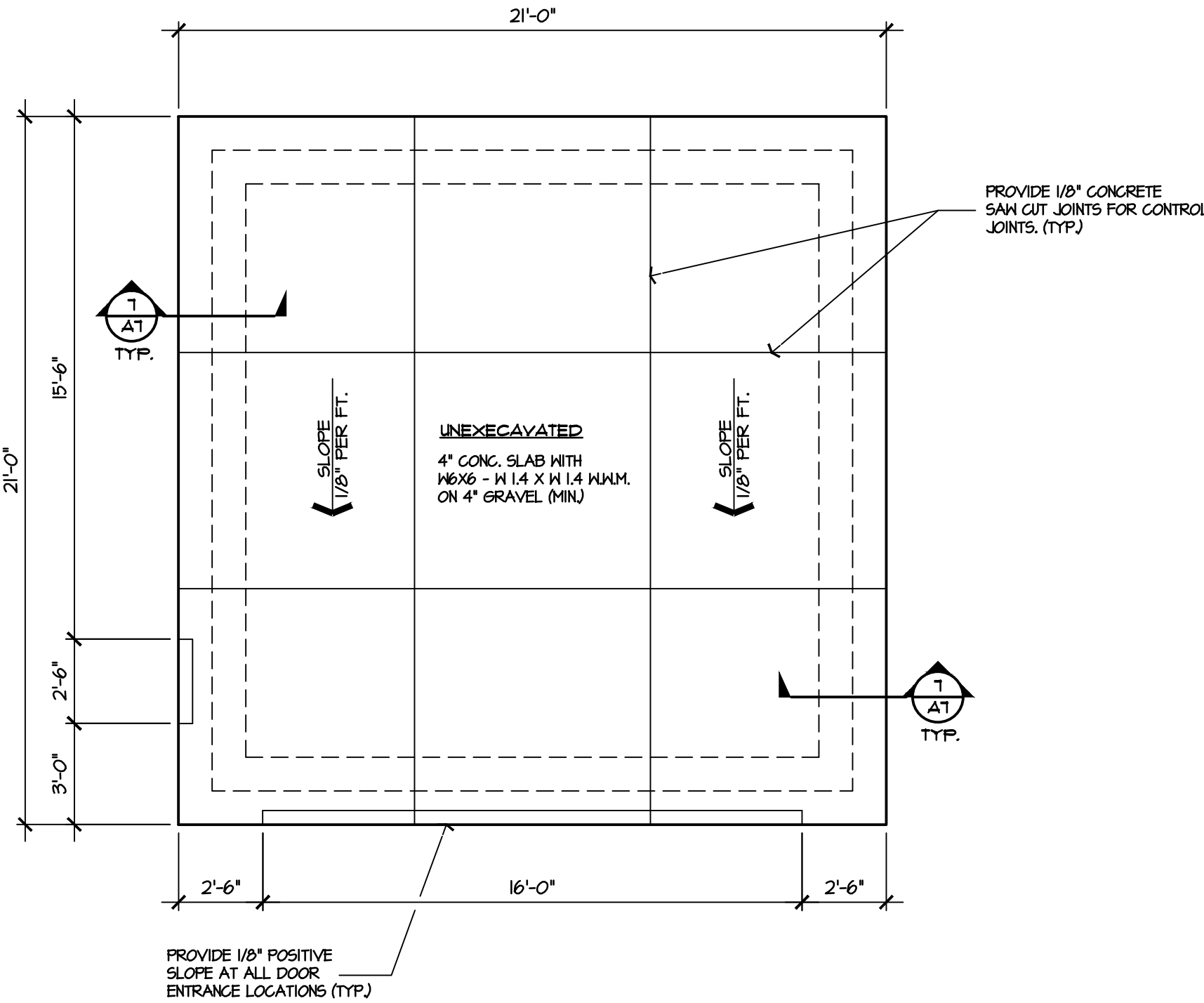
01. FOUNDATION DESIGN AND CONSTRUCTION SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS ACCORDING TO SECTION R301 OF THE RESIDENTIAL CODE OF NEW YORK AND TRANSMITTING LOAD TO THE SUPPORTING SOIL.
02. PROVIDE #6 AT 26" O.C. AT ALL GARAGE WALLS AND ABUTTING PORCH WALLS.
03. PROVIDE DOUBLE JOIST UNDER ALL PARALLEL WALLS UNLESS OTHERWISE NOTED.

1 FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

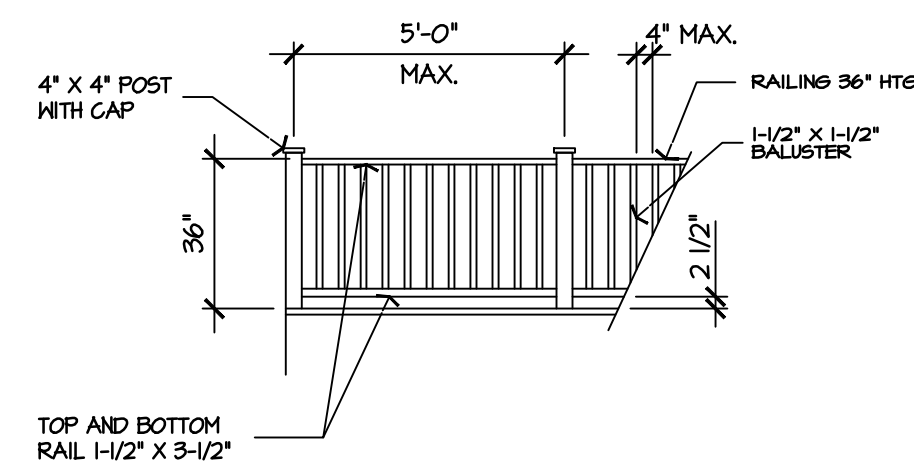
GENERAL BLOCKING NOTES:

01. ALL BEARING COLUMNS WOOD OR STEEL TO BE PROVIDED WITH SOLID BLOCKING AS PER DETAILS 3 ON SHEET A6 AND 1 ON SHEET A5, TYPICAL ALL LOCATIONS.
02. PROVIDE FIRE BLOCKING IN ALL AREAS, 10'-0" MAX AS PER NYSRC 2020 R302.11.



2 GARAGE FOUNDATION PLAN

1/4" = 1'-0"



3 TYPICAL RAILING DETAIL

SCALE: NOT TO SCALE

BEAM SCHEDULE

BEAM - BM#	MANUFACTURER	TYPE	SIZE	BEARING (SEE NOTES)	REMARKS
BM-1	GEORGIA PACIFIC	LVL	(3) - 1.75" X 10.00" - 2.0E 6P-LAM	5"	
BM-2	GEORGIA PACIFIC	LVL	(3) - 1.75" X 11-1/8" - 2.0E 6P-LAM	5"	
BM-3	GEORGIA PACIFIC	LVL	(2) - 1.75" X 9-1/4" - 2.0E 6P-LAM	5"	
BM-4	SPRUCE PINE FIR	BEAM	(3) 2X10 SFF #2	5"	
BM-5	GEORGIA PACIFIC	LVL	(3) - 1.75" X 11-1/8" - 2.0E 6P-LAM	5"	
BM-6	DOUGLAS FIR	HEADER	(2) 2X12 DF #2 WITH 1/2" PLYWOOD SPACER	4"	PROVIDE (3) 2X6 WD COL. EACH SIDE OF BEAM

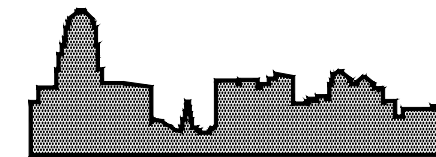
01. REFER TO MANUFACTURERS DESIGN SPECIFICATIONS FOR ALL BEAM TO COLUMN CONNECTIONS, BUILT UP BEAM ASSEMBLIES AND REQUIRED BEARING LENGTHS.
02. ALL BEAMS BY GEORGIA PACIFIC LVL, SUBSTITUTIONS NEED WRITTEN APPROVAL FROM ARCHITECT.
03. THE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITION PRIOR PURCHASING OR PLACEMENT OF NEW LVL BEAMS, NOTIFY ARCHITECT, IN WRITING OF ANY DISCREPANCIES.
04. ALL BEAMS TO BE STORED ON SITE AS PER THE MANUFACTURERS SPECIFICATIONS.
05. ALL BEAM TO COLUMN CLIPS AS PER BEAM MANUFACTURER.
06. ALL BEAMS TO BE CONTINUOUS UNLESS OTHERWISE NOTED.



RESIDENTIAL HOUSE  
BUFFALO BUNGALOW DEVELOPMENT  
KING STREET, EAST AURORA EW YORK  
HOUSE AND GARAGE FOUNDATION PLANS

PROJECT NAME

DRAWING



JDS ASSOCIATES  
ARCHITECT, P.C.  
9 RYAN STREET, LANCASTER NY 14086  
(716) 392-5747  
EMAIL: jds\_architects@yahoo.com  
WEB SITE: jdsassociatespc.com

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CHECKED BY: JDS  
DATE: OCTOBER 2021  
SCALE: NOTED  
PROJECT NO.: 2021-200  
SHEET NO.

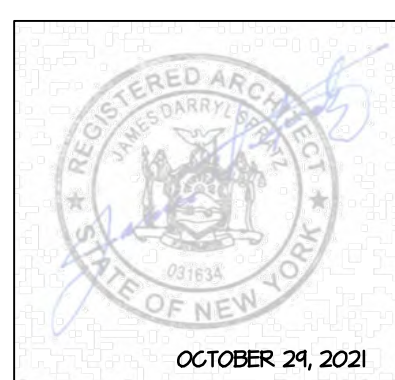
A3



- A. EXTEND ALL ICE AND WATER BARRIER UP ADJACENT WALLS 8" MINIMUM
- B. INSTALL ICE AND WATER BARRIER FROM FASCIA UP ROOF EDGE 3'-0" AS MEASURED HORIZONTALLY FROM OUTSIDE FACE OF EXTERIOR WALL. INSTALL ICE AND WATER BARRIER IN 3'-0" FROM EDGE OF ROOF AT ALL RAKES.
- C. VALLEY FLASHINGS CONSIST OF THE FOLLOWING: 18" WIDE ALUMINUM FLASHING DOWN CENTER OF VALLEY, ICE AND WATER BARRIER OVER ALUMINUM FLASHING AND UP SIDES OF VALLEY 48" MINIMUM 30# FELT PAPER AND SEMI CLOSED SHINGLE INSTALLATION.
- D. ALL GUTTERS ARE TO BE OF THE CONTINUOUS TYPE WITH ENDPLATES AND DOWN SPOUT DROP INSTALLED IN SILICONE SEALANT. GUTTERS AND DOWN SPOUTS ARE TO BE FORMED FROM PRE-FINISHED ALUMINUM. ALL GUTTERS ARE TO HAVE A GUTTER SCREEN OR GUARD TO ELIMINATE LEAF BUILDUP IN THE GUTTERS.
- E. ALL STEP FLASHING IS TO BE 16" WIDE WITH 8" UP SIDES OF ADJACENT WALLS
- F. ALL RIDGE VENTS ARE TO BE INSTALLED CENTERED ON RIDGE. HOLD BACK RIDGE VENT 6" FROM OUTSIDE FACE OF EXTERIOR WALL AND 1/2" FROM INTERSECTION OF RIDGE AND OTHER ROOF SLOPES
- G. ALL ROOF SHINGLES ARE TO BE 30 YEAR WARRANTED FIBERGLASS ASPHALT LAMINATED ARCHITECTURAL STYLE SHINGLES. THE OWNER IS TO SELECT MANUFACTURER, COLOR AND STYLE.



- 01.) ALL DOWN SPOUTS TO BE TIED INTO EXISTING DRAINAGE SYSTEM.
- 02.) PROVIDE ACCESS TO ALL ATTIC AREAS AS PER NYS RC 2020 R807.
- 03.) DO NOT BRACE RAFTERS TO PARTITION WALLS THAT ARE PARALLEL TO FLOOR JOIST.

[illegible]

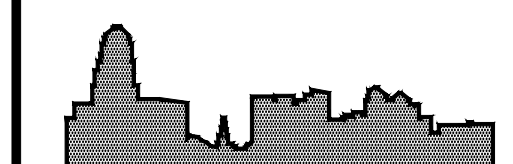
549 WINSPEAR ROAD, ELMA NY 14059  
(716) 864.6785  
[www.mybuffalobungalow.com](http://www.mybuffalobungalow.com)

**RESIDENTIAL HOUSE**  
**BUFFALO BUNGALOW DEVELOPMENT**  
**KING STREET, EAST AURORA EW YORK**

## ROOF PLAN AND DETAILS

PROJECT NAME

DRAWING



**JDS ASSOCIATES  
ARCHITECT, P.C.**  
9 RYAN STREET, LANCASTER NY 14086  
(716) 392-5747  
EMAIL: [jds\\_associatespc@yahoo.com](mailto:jds_associatespc@yahoo.com)  
WEB SITE: [jdsassociatespc.com](http://jdsassociatespc.com)

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DESIGNED BY: JDS/Ds

DRAWN BY: JDS

CHECKED BY: JDS

DATE: OCTOBER 2021

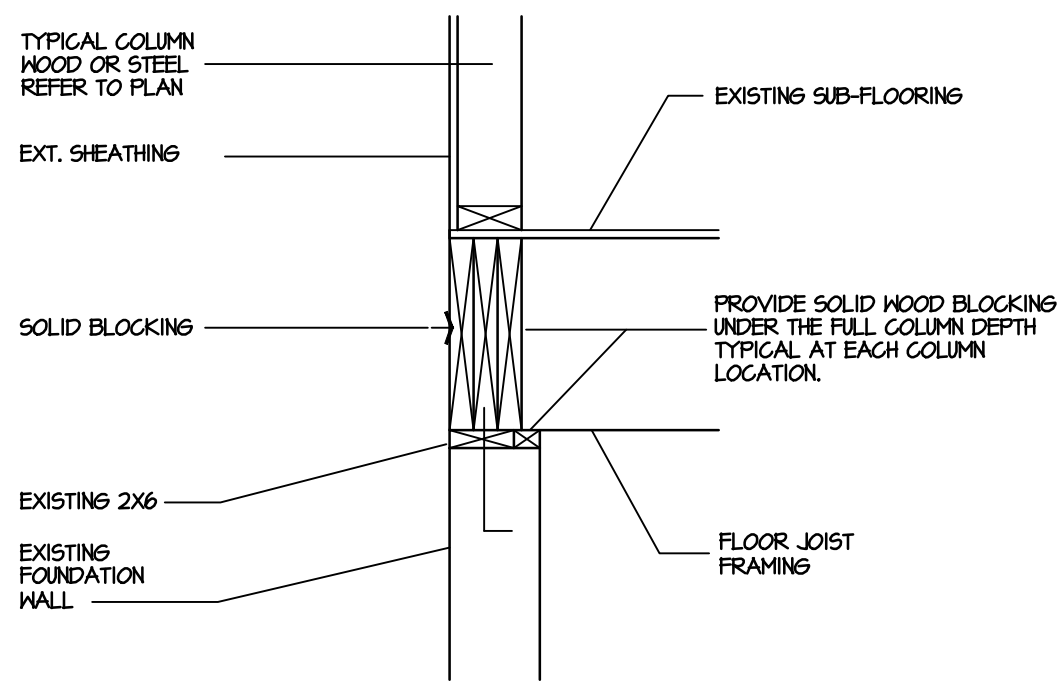
SCALE: NOTED

PROJECT NO.:	2021-200
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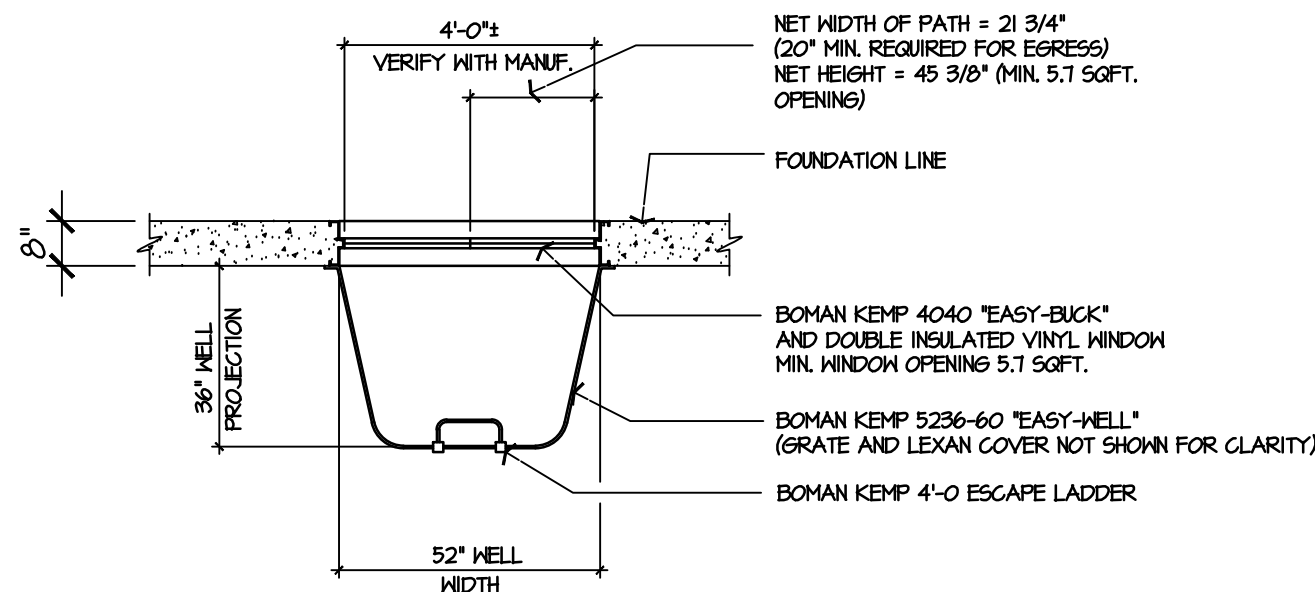
SHEET NO.

A4

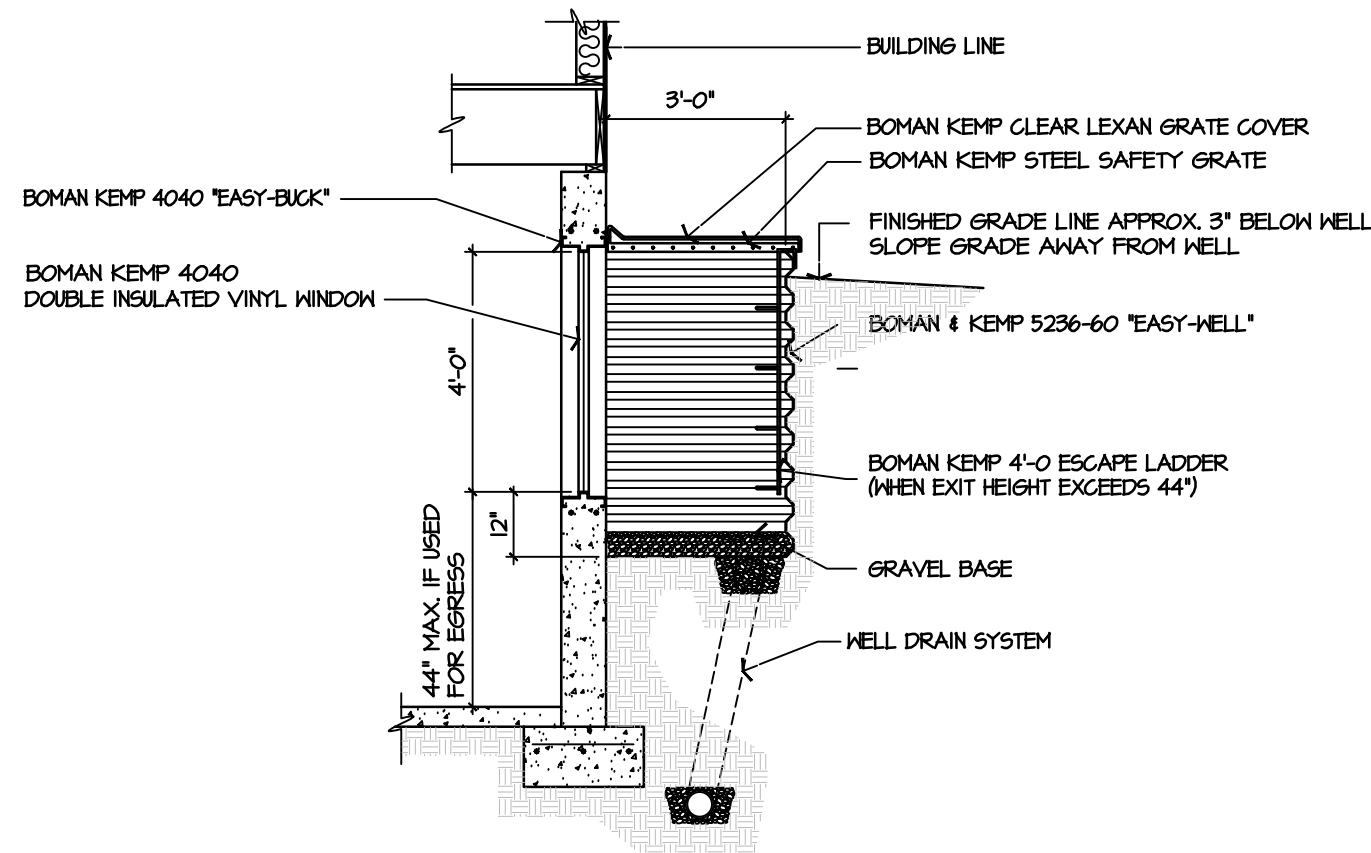




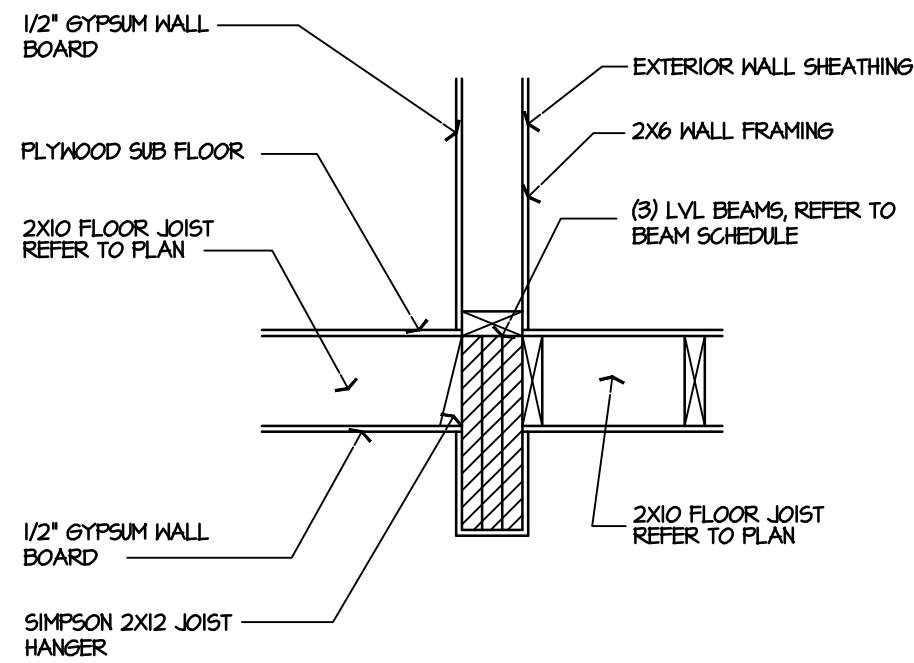
1 TYPICAL WOOD BLOCKING DETAIL  
SCALE: NOT TO SCALE



2 PLAN VIEW WINDOW WELL  
SCALE: NOT TO SCALE

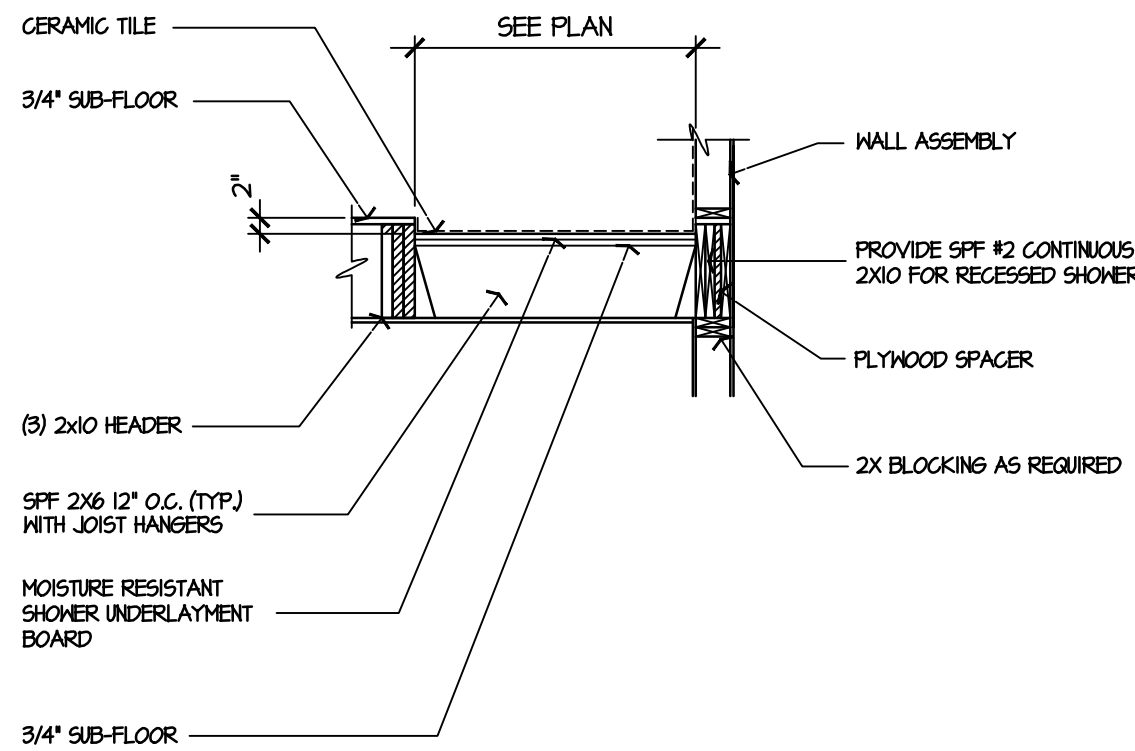


3 SECTION THRU WINDOW WELL  
SCALE: NOT TO SCALE

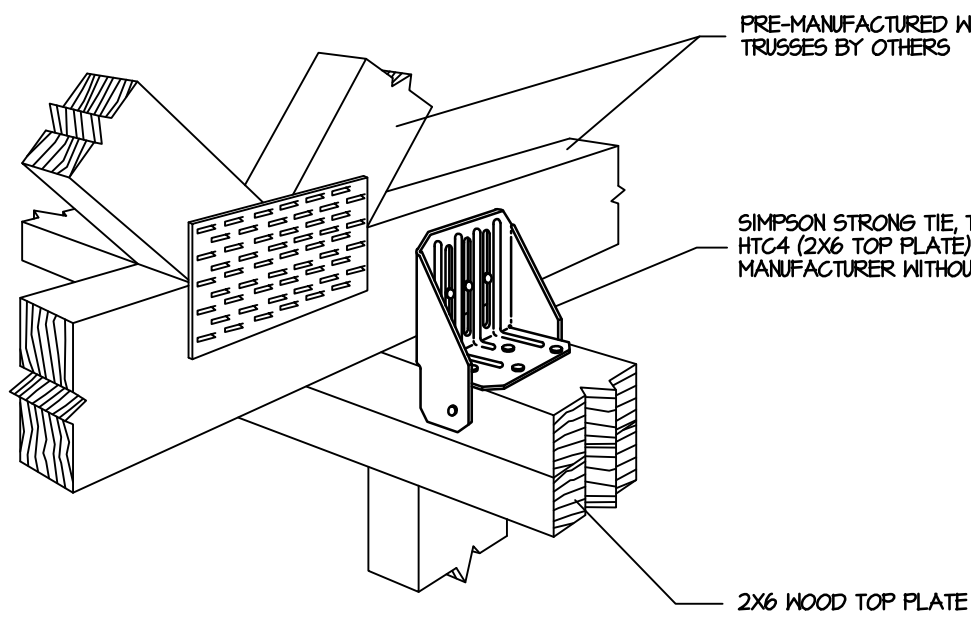


6 TYPICAL CEILING BEAM  
SCALE: NOT TO SCALE

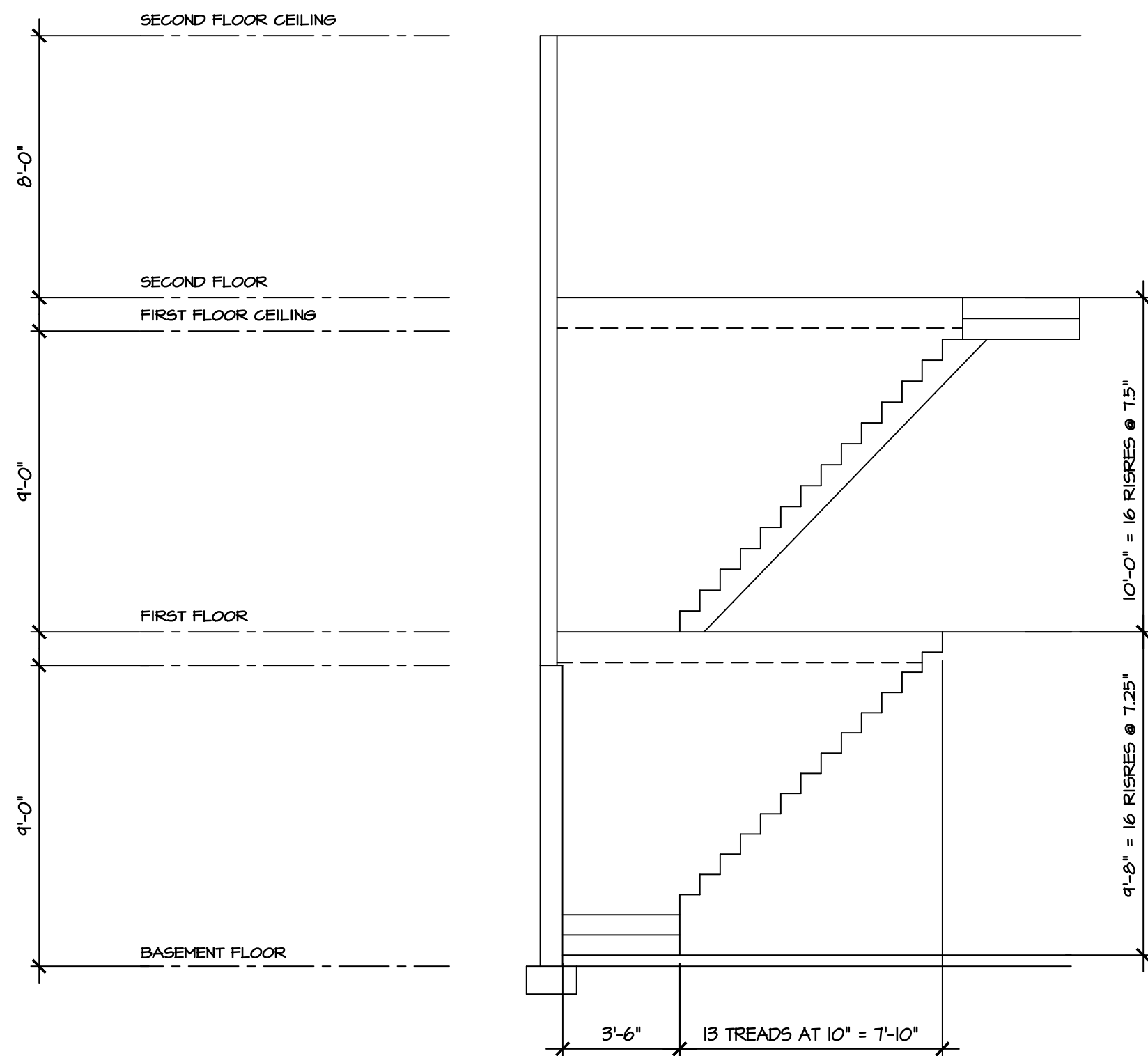
CLIMATE AND GEOGRAPHICAL DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED MPH	SEISMIC DESIGN CATEGORY	SUBJECT TO DESIGN FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIREMENT	FLOOD HAZARD	
			HEATHERING	FROST LINE DEPTH	TERMITE				DECAY
50	40	ZONE B	SEVERE	48" DEPTH	SLIGHT TO MODERATE	MODERATE	4 DEF. (F)	YES	N/A



4 SHOWER FLOOR DETAIL  
SCALE: NOT TO SCALE



5 HOLD DOWN CLIP DETAIL  
SCALE: NOT TO SCALE



7 TYPICAL STAIR SECTION  
SCALE: 1/4" = 1'-0"

## RESIDENTIAL SPECIFICATIONS

### GENERAL

Contractor shall be responsible for obtaining all permits and make arrangements for all required inspections.

All construction shall conform to the New York State Uniform Building Code, latest edition.

All construction shall conform to all Local and Town Zoning Ordinances, relative to setbacks, densities, parking, treatment of storm water, sewers, deed restrictions easements and the like.

### SOILS AND BACKFILLING

Soil bearing capacities are assumed to be 1,500. Footer design is based on this assumption. Unusual soils and/or presence of migrating waters shall be reported to soils engineer.

Backfilling shall be done with care. Backfilling shall be done in maximum 1'-0" lifts and thoroughly tamped. On site material may be used at lawn areas. Select fill should be used at and under paved areas. Backfilling may commence only when foundation walls have achieved proper braced. Provide trench pumping in inclement weather to protect bearing soils.

### CONCRETE

Shall conform to the latest edition of the "Building Code Requirements for Reinforced Concrete (ACI 318-83)" which shall govern the detailing, fabrication and construction of cast in place reinforced concrete.

All concrete shall have compressive strength of 3,000 PSI at 28 days. (6 bag mix)

When called out on drawings, steel reinforcing shall conform to ASTM A 615 Grade 60. Protection for reinforcing in concrete;

Footings - 3" cover for bottom and sides.

Piers and Walls - 2" cover all ground.

Slabs - 3/4" cover for main reinforcing.

Wire reinforcing shall conform to ASTM A.

Place reinforcing in top 1/3 of slab.

Provide pilasters in walls as shown on drawings.

Contractor shall be responsible for level and accurate placement of bearing plates, anchor bolts, and passage of thru-wall piping. Foundations shall be drained with 4" P.V.C. perforated tubing set in stone and slope to sump hole. Foundations shall be waterproofed with sprayed asphalt.

### MASONRY

Shall conform to ASTM standards for block foundations as well as brick veneers. Mortars and joining should be selected to insure strength, permanence and water tightness. Follow N.C.M.A. standards for cold weather installations. Use joint reinforcing (Dur-o-wall) when indicated on drawings. Brick shall be as indicated on drawings minimum thickness 5/16", shop coated with steel primer.

### FRAMING LUMBER

Exterior Walls K.D. 2 x 6 H.F. at 16" O.C.

Use: 1/2" OSB (exterior grade) in 4' x 8' sheets for walls and roof decking. (or equal)

Floor framing and roof framing shall be K.D. # 1 & 2 Douglas Fir or Spruce Fir with a bending stress of 1,200 P.S.I. providing 1" x 3" bridging at midspan of spans exceeding 8'-0". Provide collar ties at 6'-0" O.C. underlayment. Plywood shall be glued to joists with PL-400 and nailed.

Underlayment shall be 1/4" plywood at linoleum 1/2" plywood at ceramic

Contractor shall provide double joists and headers at all deck penetrations, beneath all walls parallel to floor joists below, at all bathroom locations, and as indicated on the drawings.

Stairs shall be constructed out of pine with

treads - 1 1/8" thick

risers - 3/4" thick

stringers - 2 x 10

Provide handrails 1 1/2" per Codes.

If Aspenite sheathing is employed (use in conjunction with plywood corners), it shall be 7/16 A.P.A. Aspenite or "sturdiboard" shall not be used as sub-flooring.

### ROOFING AND GUTTERS

Roof decking shall be 1/2" CD of plywood or OSB with solid coverage.

Underlay with #30 felt paper, 36" rolls.

Asphalt shingles shall be minimum grade of 240#/square. Size 12 x 36 self sealing, tab grade #1. (290# top on the line) 40 Year Warranty, 90 MPH Wind Rating.

Use galvanized nails as fasteners - 4 nails/shingle.

Gutters shall be seamless aluminum

4" x .032 gauge gutters

2" x 3" x .024 downspots

Flashing shall be .019 gauge

Aluminum

Copper (16 oz.)

Stainless Steel

### SIDING

Shall be smooth or embossed .024 grade aluminum or vinyl with foil wrap backing.

Exposure shall be 8" or as indicated on drawings.

Corners, trim, rakes, soffits and fascias shall be installed as prescribed per manufacture's written instructions.

### INSULATION

Shall be set to valves as indicated on drawings. Provide insulation with vapor barrier on warm side of insulation.

Sidewalls R-19 minimum

Top floor ceiling R-38 minimum

Contractor to insure proper ventilation, on attic insulation via roof, soffit or ridge ventilation. Ratio of ventilation 1 S.F. to 200 S.F. of attic space.

Provide insulation at top portion of basement walls as indicated on drawings.

### WINDOWS

Manufacturer: Vetter Window Corporation or equal

Type: Double hung

Select Finish: Determined by owner and contractor

Provide R.O. framing to suit door sized on drawing. Provide builder's hardware to suit proper installation of dor and insure door's specific fiction.

### GYPSUM BOARD

Shall be 1/2" thick with tape and three coats of compound. Provide moisture resistant gypsum board in bathrooms and at kitchen fixtures, and locations receiving ceramic tile. Provide rate typsum board between living spaces and garages.

### INTERIOR DOORS AND TRIM

Shall be 1 3/8" thick x 6'-8" width indicated on drawings.

Doors shall be (flush - paneled)

Doors shall be (six panel - solid)

Doors shall be (birch or specify)

Solid doors shall have 3 hinges

Trim shall be pinear poplar. Arched openings shall be offered (plain-cased)

Install doors to accept carpet pile heights. Provide locks to passage hardware at baths and master bedroom.

### FINISH AND EQUIPMENT

To be coordinated between contractor and owner.

Paints (min. primer and 2 coat latex)

Carpet (allowance)

Ceramic tile (types and amounts)

Formica (color)

Cabinet and counter (allowance)

Linoleum and floor tiles

To be coordinated between contractor and owner.

Plumbing fixtures

Faucets

Laundry tubes

Hot water tank

Furnace

Sump pump

A.C. unit (package or split systems)

Exhaust fans

Humidifiers

Electrical fixtures (allowance)

Electrical devices

Specialties (e.i. security systems)

Electrial wiring shall follow National Electrical Code as allowance for switches, outlets and fixtures locations.

Storm Water handled per governing town.

Mechanical Systems shall confirm to A.S.H.R.A.E. design requirements.

Plumbing shall conform to New York State Plumbing Code.

PATIOS, WALKS AND DRIVEWAYS

Shall be installed per concrete specifications. Size per drawings. Removal of trees shall coordinate between contractor and owner.

All described above shall be installed by persons trained and normally engaged in the work described. Material shall be installed conforming to manufacturers printed instructions and shall be utilized within the intended use.

## WINDOW SCHEDULE

#	UNIT #	TYPE	UNIT SIZE	UN-OBSTRUCTED GLASS AREA (WINDOW EGRESS SQFT.)	GLASS AREA SF	VENT AREA SF	REMARKS
(A)	3046	DBL. HUNG	3'-1 5/8" X 4'-8 1/8"	5.82	10.31	5.82	MULL ALL DOUBLE AND TRIPLE WINDOWS
(B)	24310	DBL. HUNG	2'-1 5/8" X 4'-0 1/8"	3.64	6.31	3.64	MULL ALL DOUBLE AND TRIPLE WINDOWS
(C)	2032	DBL. HUNG	2'-1 5/8" X 3'-0 1/8"	2.47	4.21	2.47	MULL ALL DOUBLE AND TRIPLE WINDOWS
(D)	24210	DBL. HUNG	2'-5 5/8" X 3'-0 1/8"	2.56	4.46	2.56	MULL ALL DOUBLE AND TRIPLE WINDOWS
(E)	38210	DBL. HUNG	3'-4 5/8" X 3'-0 1/8"	4.14	7.56	4.14	MULL ALL DOUBLE AND TRIPLE WINDOWS

ALL WINDOWS TO BE ANDERSEN WINDOWS OR EQUAL (CONTRACTOR TO VERIFY ROUGH OPENING SIZES WITH MANUFACTURER.) ALL BEDROOM WINDOWS TO BE PROVIDED WITH EGRESS HARDWARE AS REQUIRED BY NEW YORK STATE BUILDING CODE. ALL BEDROOM WINDOWS TO BE PROVIDED WITH MIN. OPENING HEIGHT OF 24" AND WIDTH OF 20". ALL RESCUE OPENING SHALL BE A MIN. OF 5.70 SQFT. (MAXIMUM SILL HEIGHT 44")

### DRAWING REVISIONS

ITEM DATE DESCRIPTION

01 8/2016 RENED AS PER BLDG. DEPT. COMMENTS



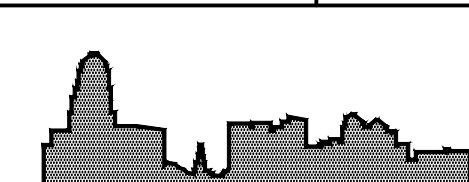
549 WINSPEAR ROAD, ELMA NY 14059

(716) 864.6785

www.mybuffalobungalow.com

## RESIDENTIAL HOUSE BUFFALO BUNGALOW DEVELOPMENT KING STREET, EAST AURORA EW YORK DETAILS AND SPECIFICATIONS

PROJECT NAME



JDS ASSOCIATES

ARCHITECT, P.C.

9 RYAN STREET, LANCASTER NY 14086

(716) 392-5747

EMAIL: jds\_associatespc@yahoo.com

WEB SITE: jdsassociatespc.com

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CHECKED BY: JDS

DATE: OCTOBER 2021

SCALE: NOTED

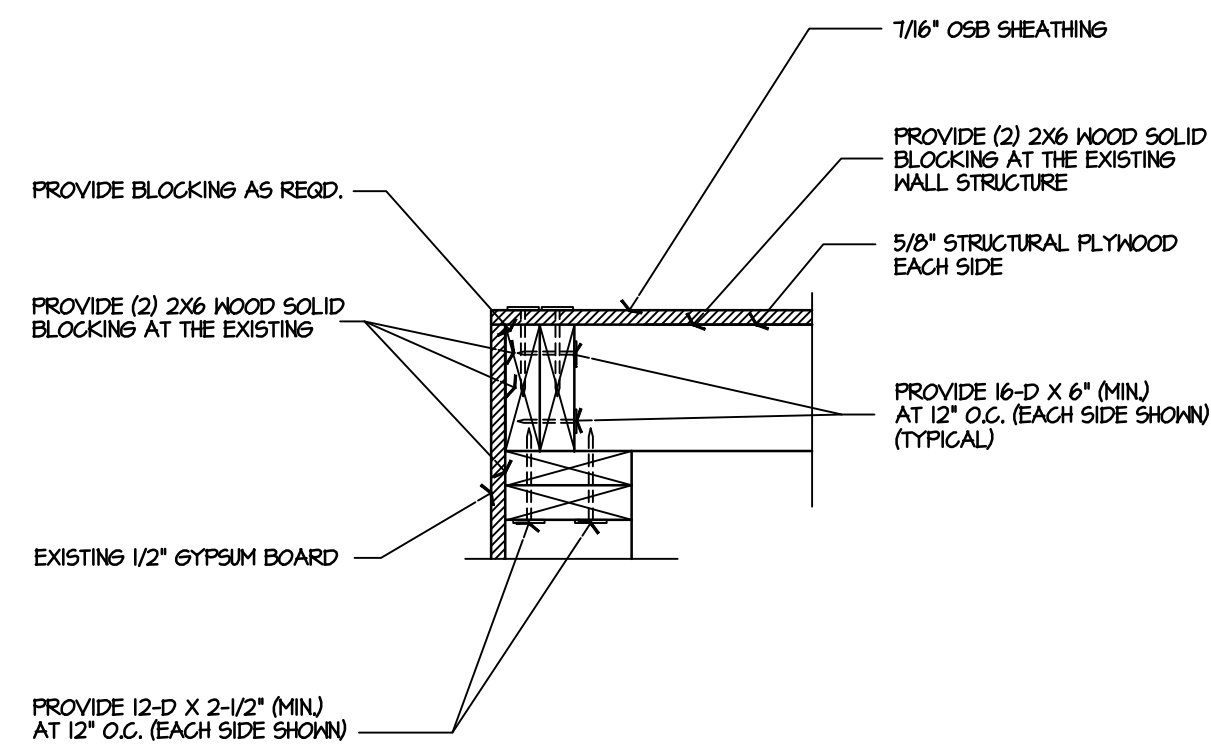
PROJECT NO.: 2021-200

SHEET NO.

A5

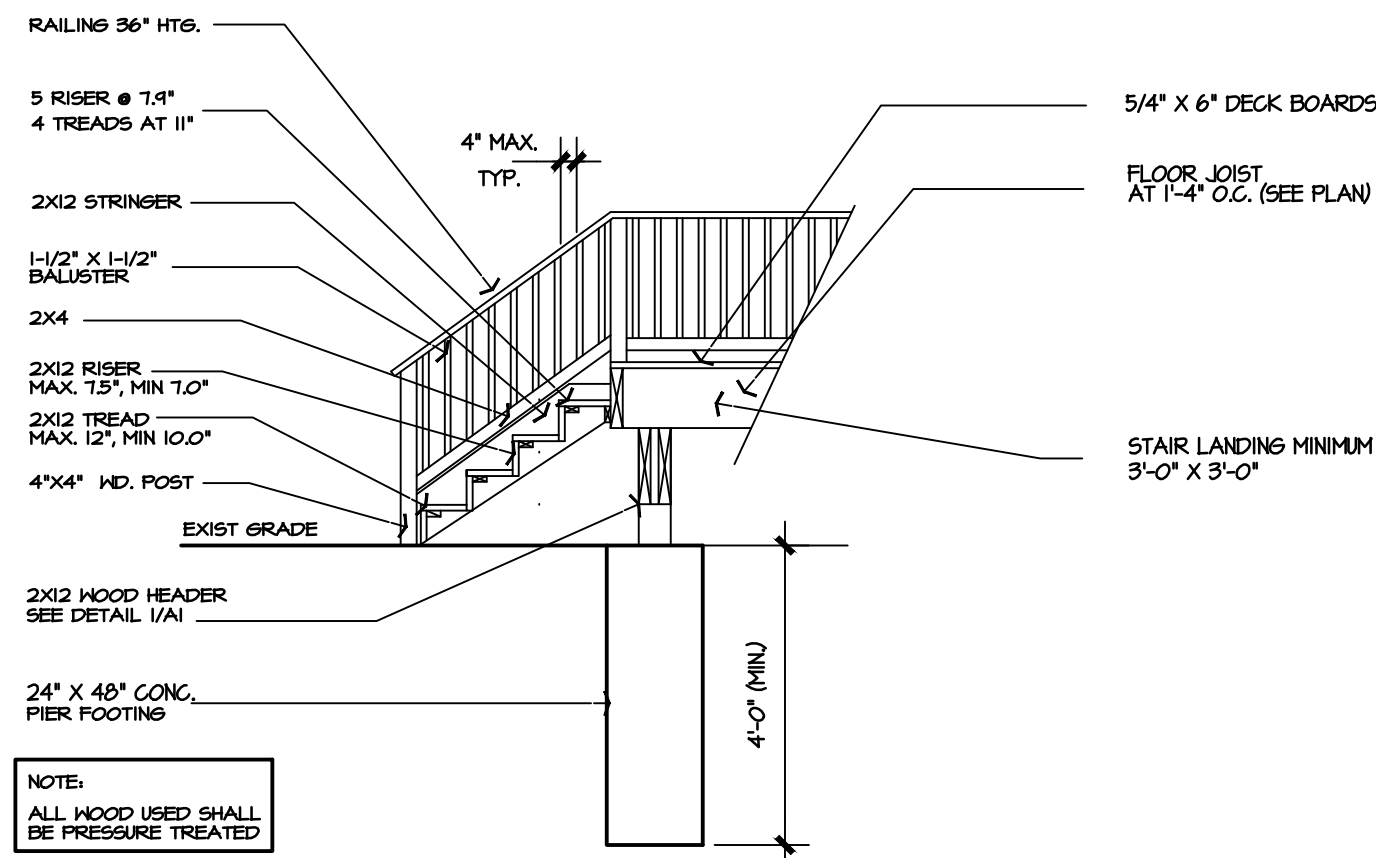






NOTE:  
TOE NAIL TOP AND BOTTOM  
OF PROPOSED BLOCKING  
TYPICAL AT ALL LOCATION  
INDICATED.

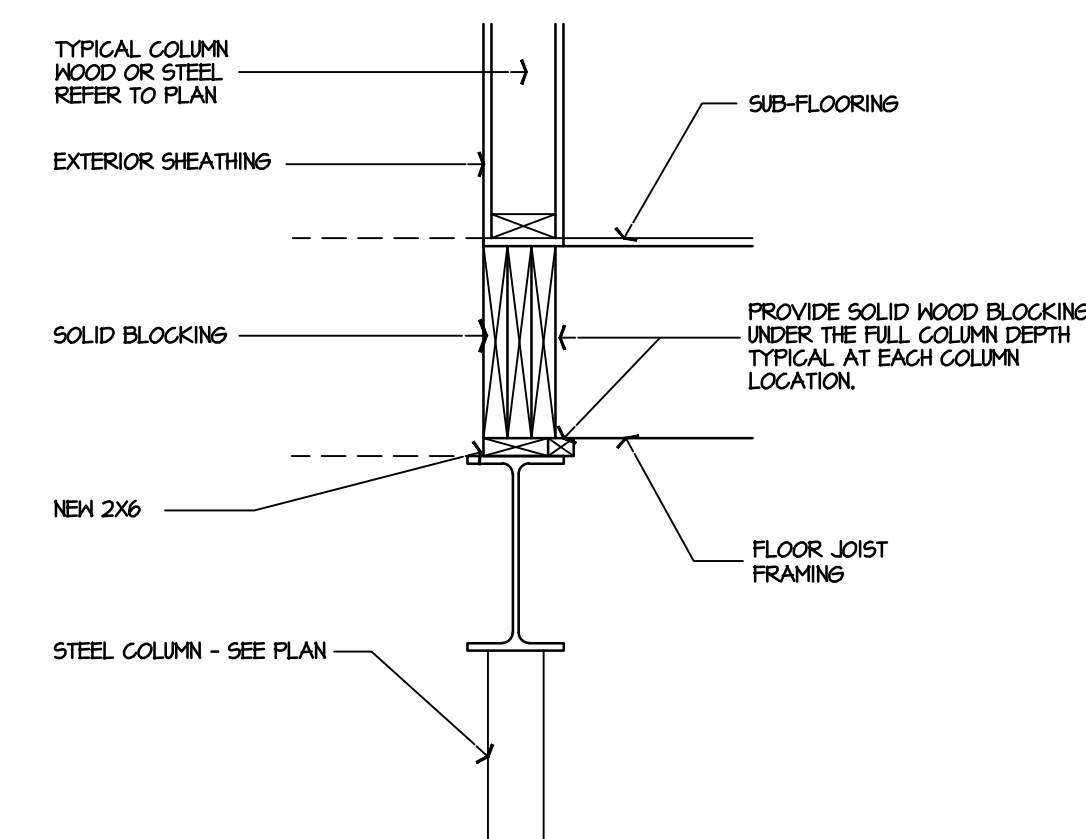
1 FRAMING CORNER DETAIL  
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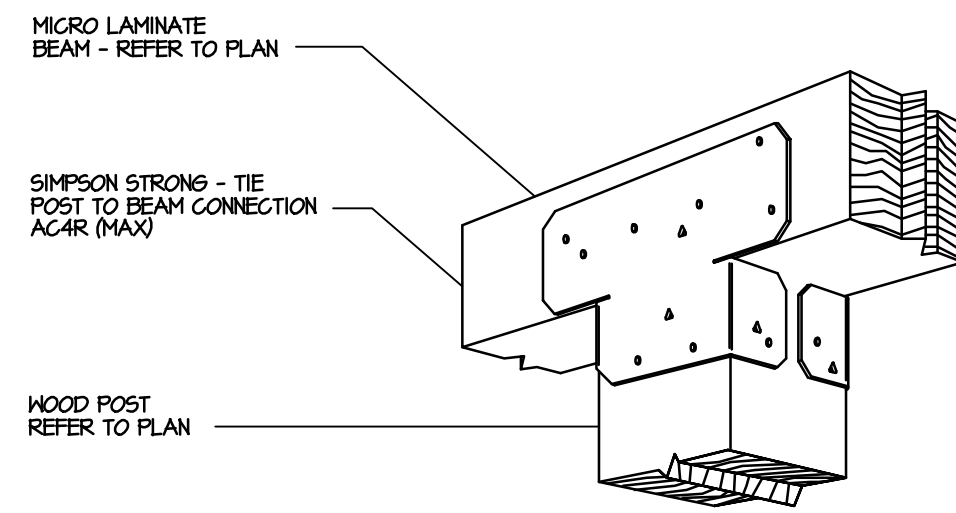
NOTE:  
ALL WOOD USED SHALL  
BE PRESSURE TREATED

2 TYPICAL STAIR DETAIL  
SCALE: NOT TO SCALE

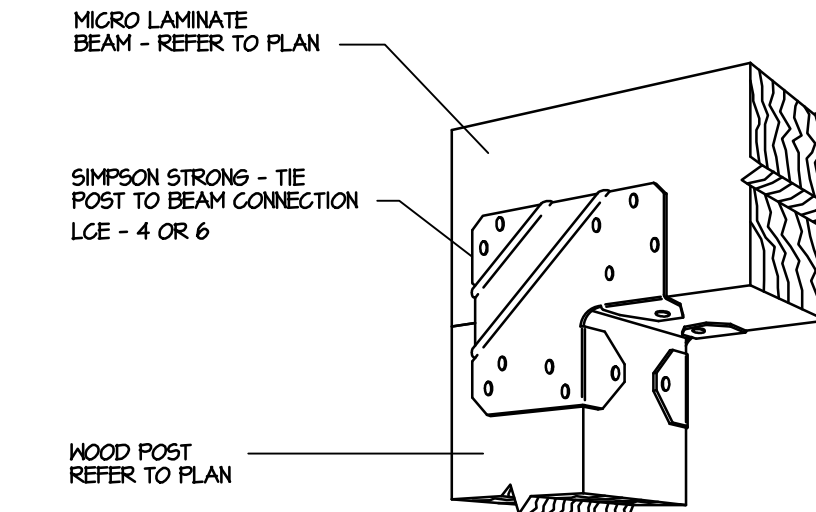
LOCATION OF PROPOSED STAIR TO BE COORDINATED WITH OWNER.



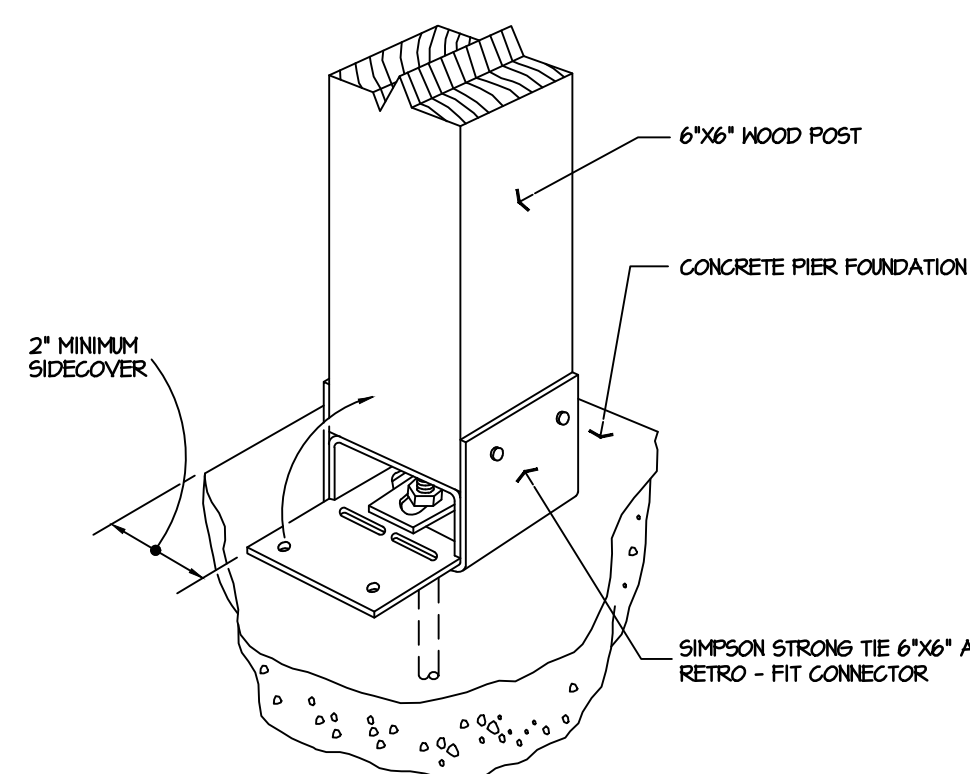
3 TYPICAL WOOD BLOCKING DETAIL  
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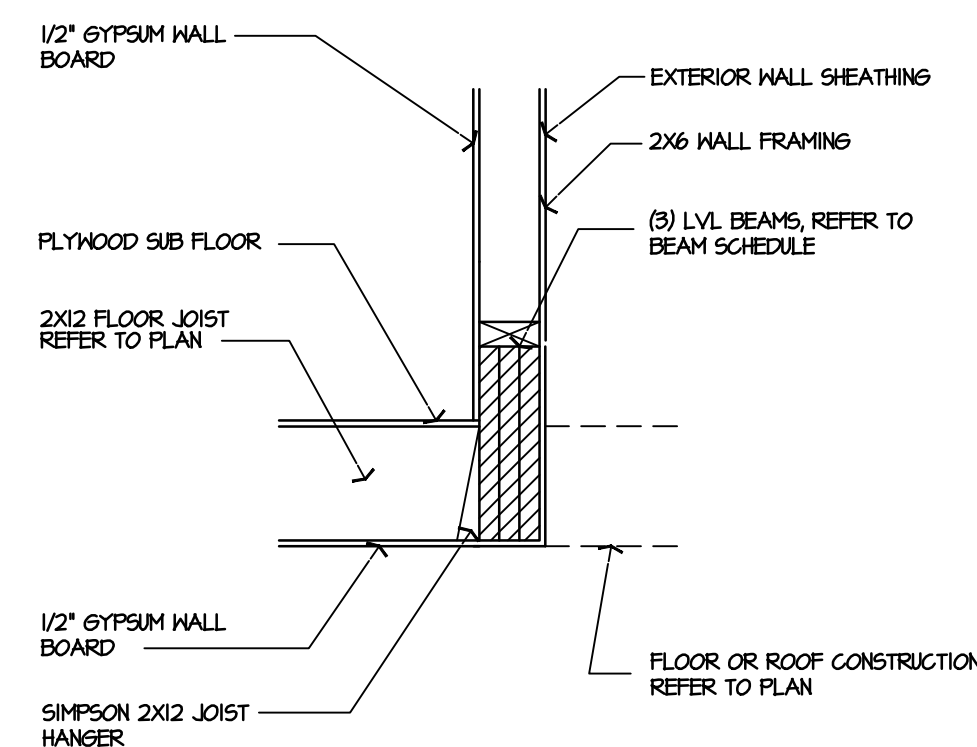
4 WOOD COLUMN DETAIL  
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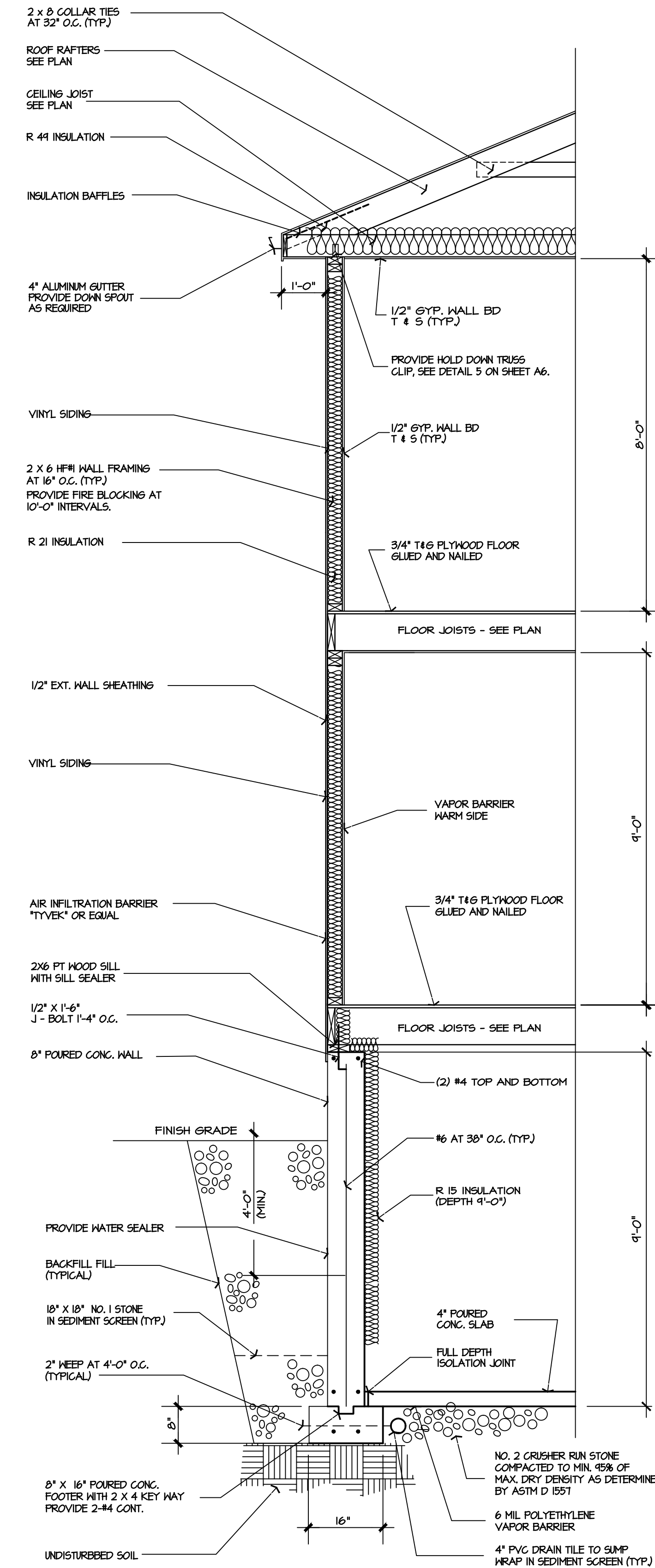
5 TYPICAL POST ANCHOR DETAIL  
SCALE: NOT TO SCALE



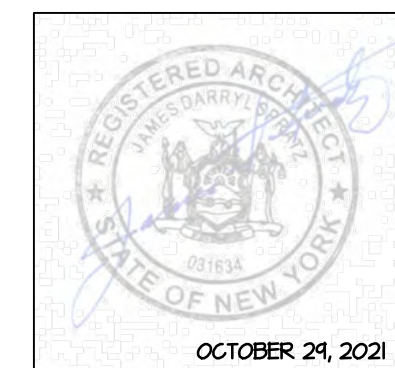
6 WOOD COLUMN DETAIL  
SCALE: NOT TO SCALE



7 HIDDEN HEADER BEAM  
SCALE: NOT TO SCALE



8 TYPICAL WALL SECTION  
SCALE : NOT TO SCALE



DRAWING REVISIONS	
ITEM	DESCRIPTION

**BUFFALO BUNGALOW**  
CONTEMPORARY CRAFTSMAN

549 WINSPEAR ROAD, ELMA NY 14059  
(716) 864.6785  
www.mybuffalobungalow.com

**RESIDENTIAL HOUSE**  
**BUFFALO BUNGALOW DEVELOPMENT**  
**KING STREET, EAST AURORA EW YORK**

FOUNDATION PLAN AND WALL SECTION

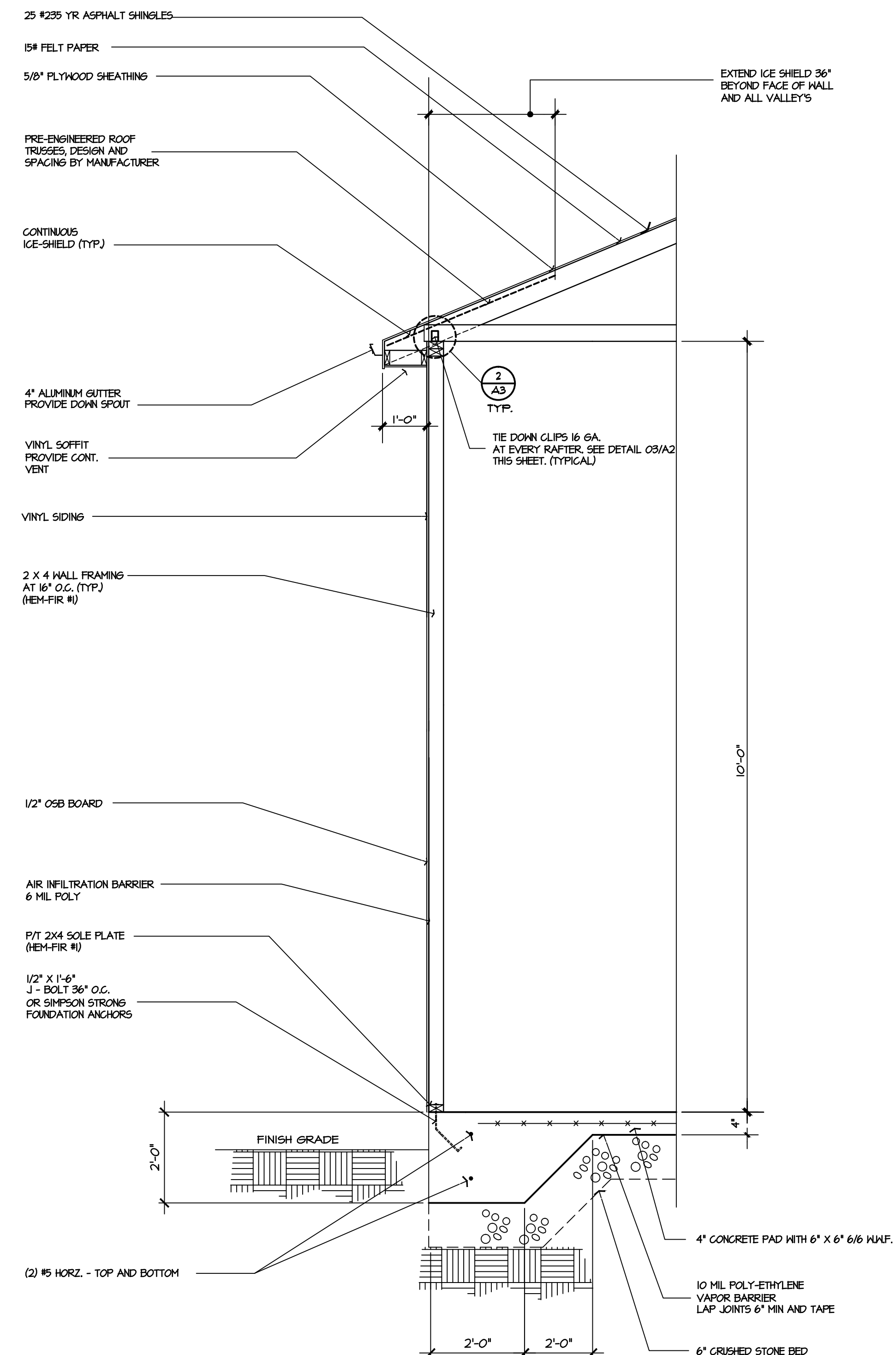
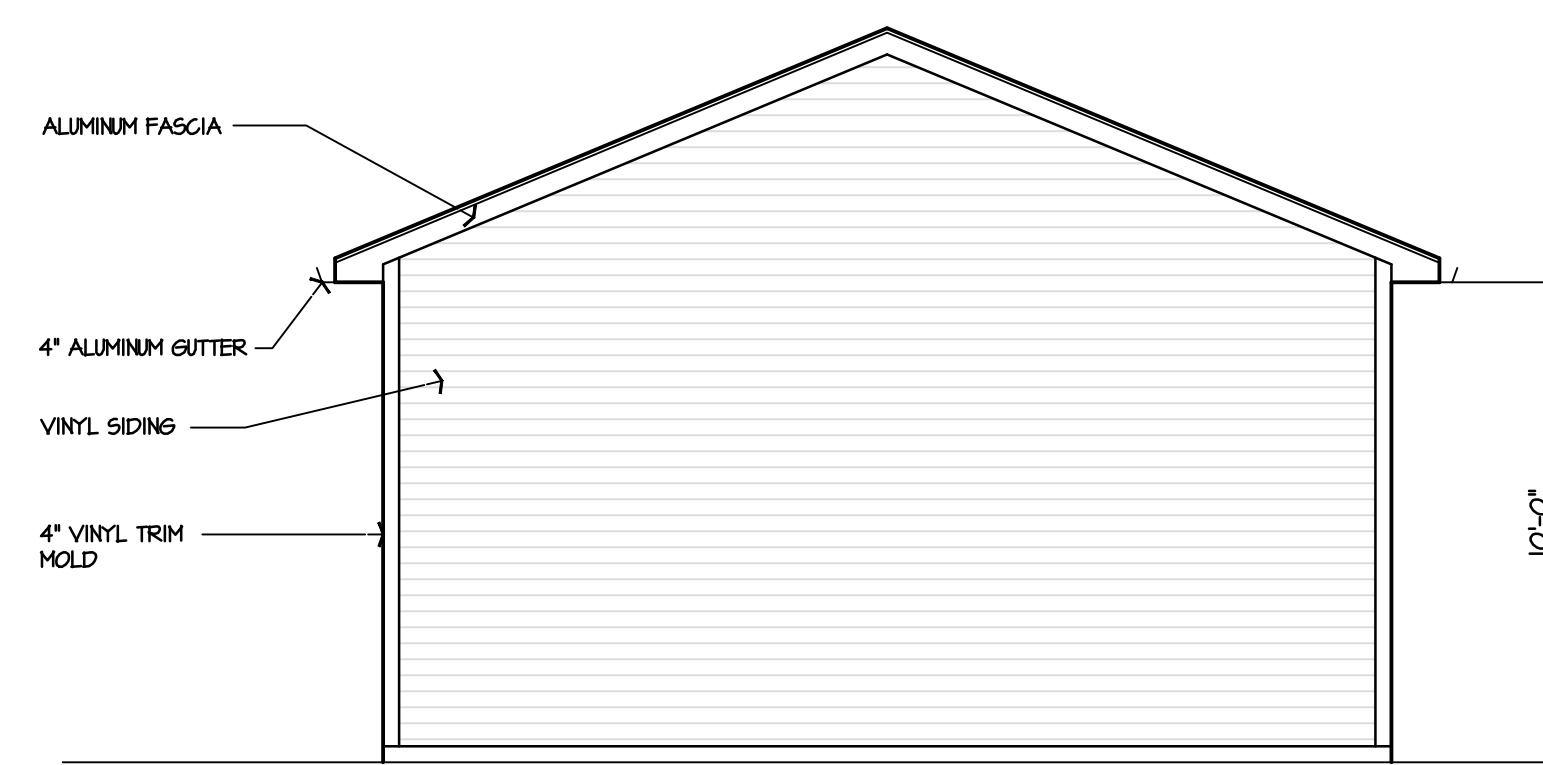
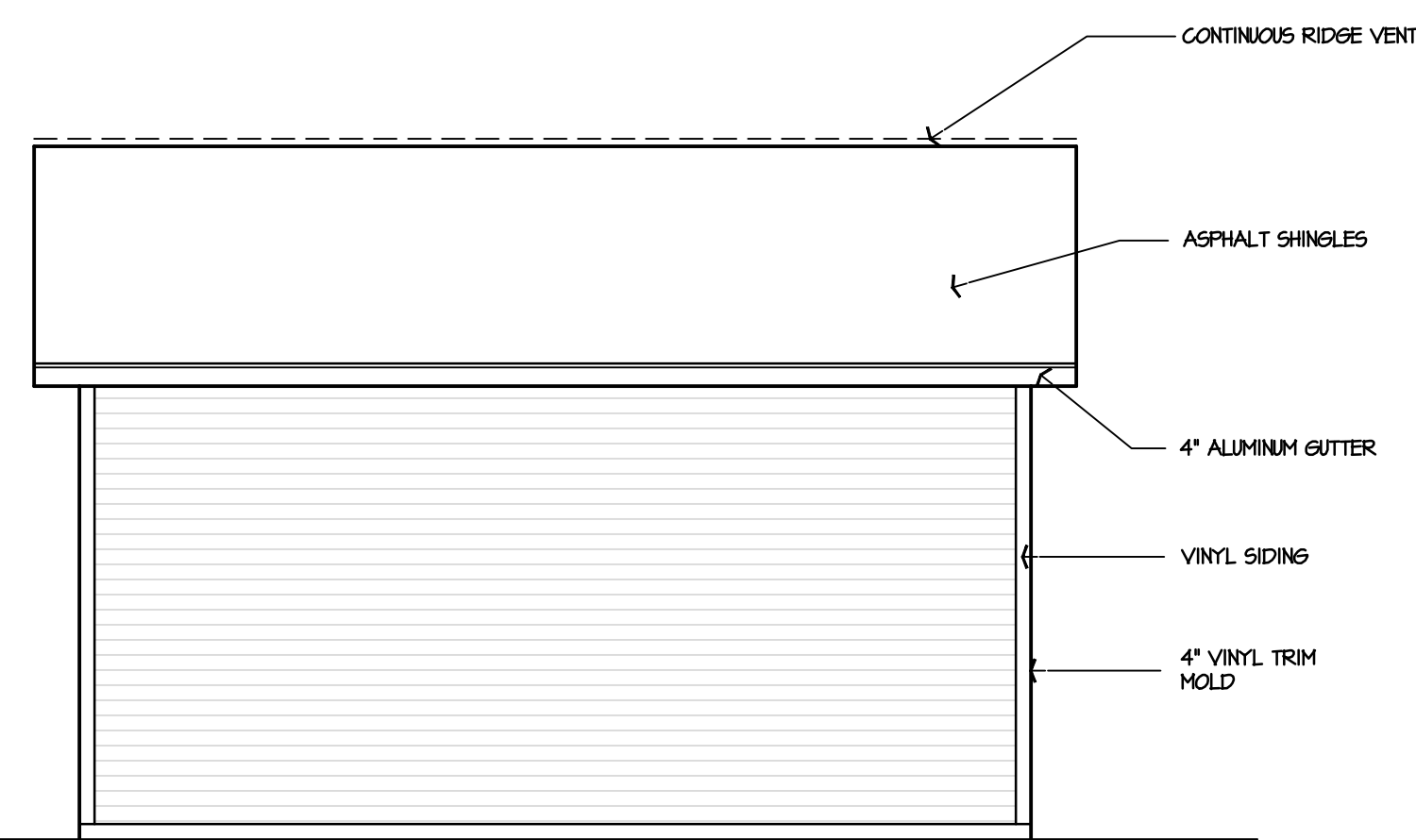
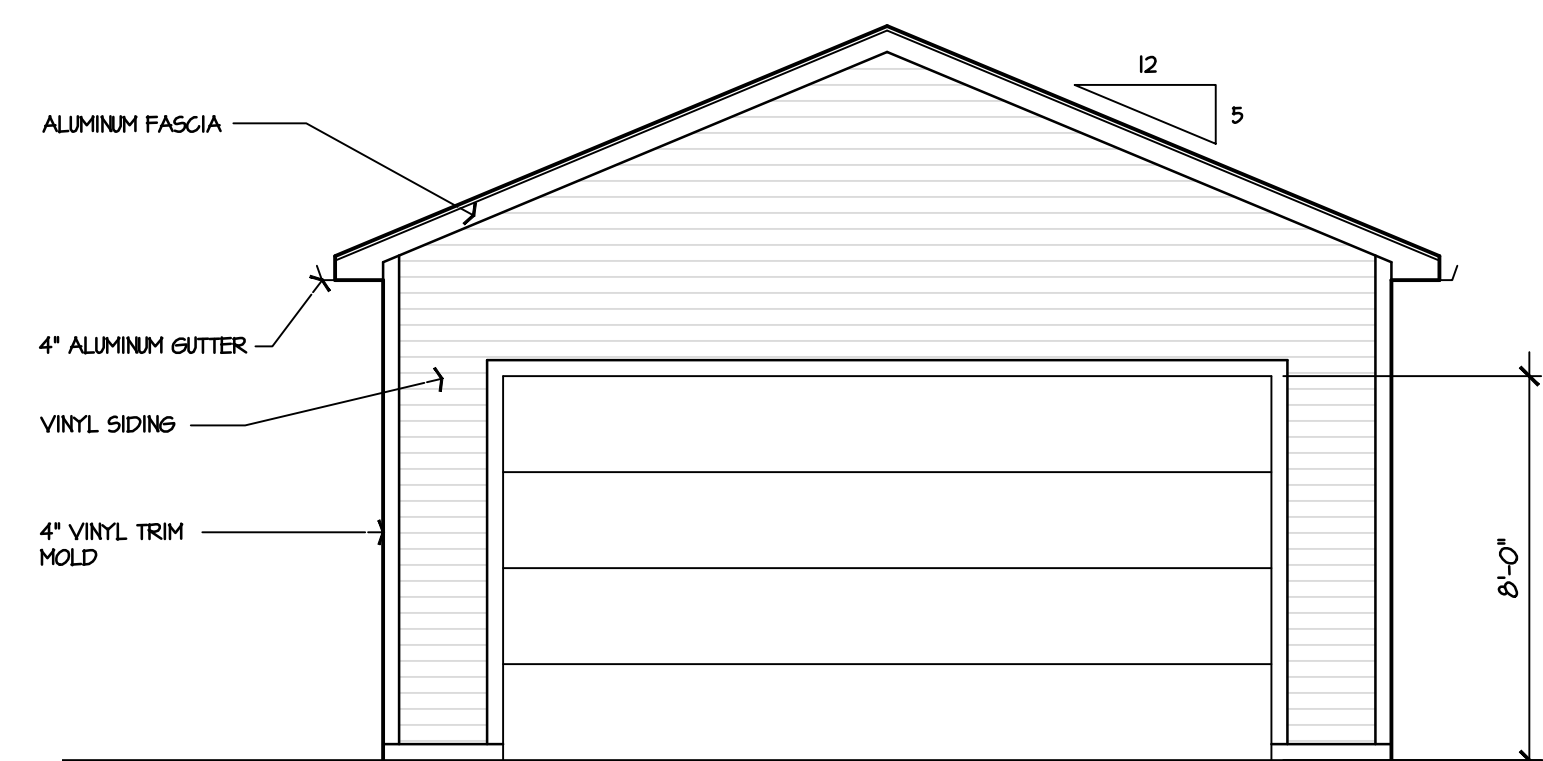
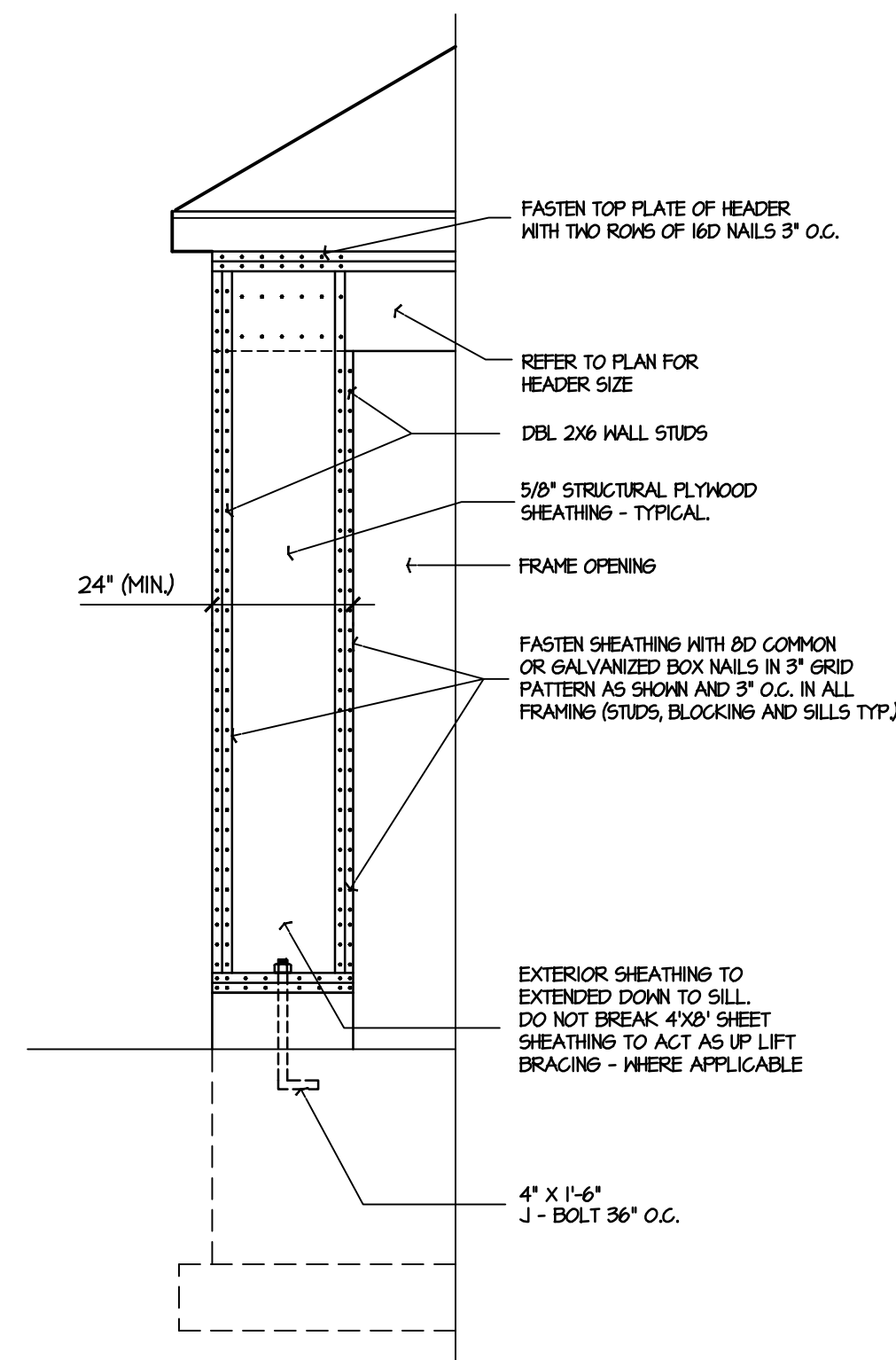
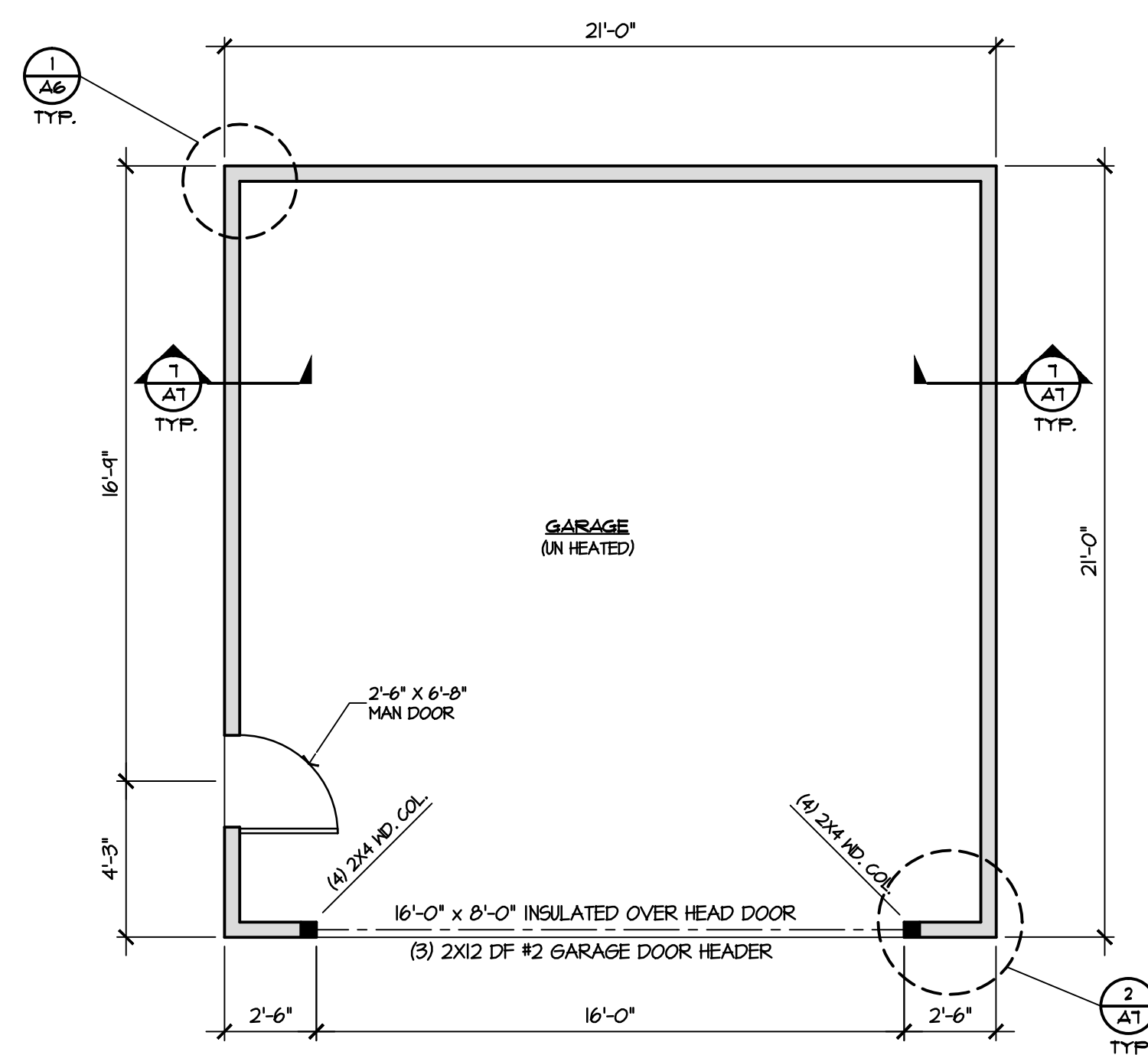
PROJECT NAME  
DRAWING

**JDS ASSOCIATES ARCHITECT, P.C.**  
9 RYAN STREET, LANCASTER NY 14086  
(716) 392-5747  
EMAIL: jds\_associatespc@yahoo.com  
WEB SITE: jdsassociatespc.com

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DRAWN BY:	JDS
CHECKED BY:	JDS
DATE:	OCTOBER 2021
SCALE:	NOTED
PROJECT NO.:	2021-200
SHEET NO.	A6





### GENERAL NOTES

- A. THIS DRAWING REPRESENTS THE BEST REPRESENTATION OF A NEW STRUCTURE BASED UPON THE DESIGN INFORMATION AVAILABLE AT THE TIME OF THE CREATION OF THE CONSTRUCTION DOCUMENTS.
- B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSION ON THE CONTRACT DOCUMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN AN REQUEST FOR INFORMATION LETTER BEFORE COMMENCING WITH ANY WORK.
- C. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL ADDITIONAL CONSTRUCTION COST FOR FAILURE OF NOT REPORTING DISCREPANCIES WITHIN THE PROPOSED CONTRACT DOCUMENTS AND SHALL NOT HOLD THE ARCHITECT RESPONSIBLE, FOR ANY LIABILITY.

[illegible]

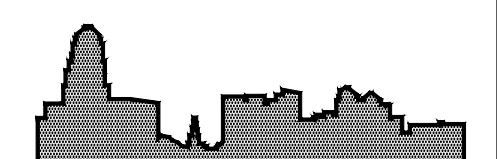
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(716) 864.6785  
[www.mybuffalobungalow.com](http://www.mybuffalobungalow.com)

**RESIDENTIAL HOUSE**  
**BUFFALO BUNGALLOW DEVELOPMENT**  
**KING STREET, EAST AURORA EW YORK**

---

**GARAGE FLOOR, ELEVATIONS AND DETAILS**

PROJECT NAME



**JDS ASSOCIATES  
ARCHITECT, P.C.**  
9 RYAN STREET, LANCASTER NY 14086  
(716) 392-5747  
EMAIL: [jds\\_associatespc@yahoo.com](mailto:jds_associatespc@yahoo.com)  
WEB SITE: [jdsAssociatespc.com](http://jdsAssociatespc.com)

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DATE: OCTOBER 2021

SCALE: NOTED

PROJECT NO.:	2021-200
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SHEET NO.

Paid 11/19/2021  
ch # 2148

**VILLAGE OF EAST AURORA**  
**APPLICATION FOR TEMPORARY USE PERMIT**  
**Not less than 60 days or more than 75 days before date of activity**

\$25.00 Application Fee ☒ \$50.00 Permit Fee ☒  
\$100.00 Mailer Fee (300 feet for road/public parking lot closure and/or outdoor music) ☒

Date Application Filed: 11/19/2021  
Date of V.B. Action: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Conditions of approval will be listed in permit

*Sect. 285-52 Participants of an area activity, such as, but not necessarily limited to, a sidewalk sale, art, antique, craft show and/or sales, farmers market, or community/civic promotion activities and similar*

Please type or print legibly

Name of Organization 42 North Brewing Company

Is Organization a: not-for-profit ☐ Charitable/Service ☐ Business ☒ School ☐ Government ☐

Name & Address of Individual Responsible

Phone Number 716-523-8805 E-mail John@42NorthBrewing.com

Event Name Barrel Jam

Date(s) of Event January 29, 2022 Time(s) of Event 2-6 PM Estimated # of People 200

Please describe activity/purpose of this event CRAFT BEER FESTIVAL

Location (include all areas of the event) 42 North Beer Garden Alley  
(attach map)

Will this event be held entirely in the Village of East Aurora? ☒ Yes ☐ No  
If no, specify: \_\_\_\_\_

Will the event include more than one vendor/organization? ☒ Yes ☐ No  
(if yes, attach list of vendors/participants)

Will the event involve a street or parking lot closure/usage? ☒ Yes ☐ No If yes, please note:

Road/Lot Name(s) Persons Alley  
Date(s) of Closure 1/29/22 Time(s) 11 AM - 6 PM

Will the event include:

Parade or motorcade ☐ Yes ☒ No (Attach Map of route)  
Walk or Run ☐ Yes ☒ No (Attach Map of route)

Will there be outdoor music? ☒ Yes ☐ No  
Time & Location Beer Garden, 2-5 PM Live ☒ DJ ☐ Multiple/Mixed ☐  
Amplification ☒ Yes ☐ No

Will you be providing or selling alcohol? ☒ Yes ☐ No  
Will people be allowed to bring alcohol? ☐ Yes ☒ No

Will there be Security Guards? ☐ Yes ☒ No Volunteers ☐ or Private Paid Entity ☐  
Please List Entity Name staffed by 42 North Personnel

Will there be temporary food stands? ☐ Yes ☒ No  
How many? \_\_\_\_\_  
Food Truck? If yes, name of vendor: \_\_\_\_\_  
(additional permit required)



Will **tent** or other structure be erected for event? ☒ Yes ☐ No Size 1, 10' x 10'  
Date & Time to be installed 11 AM / 1/29/22 Date & Time to be removed 6 PM / 1/29/22

Will any prep work be done on/or before the event? ☒ Yes ☐ No

Please describe tent set up

Set up Date: 1/29 Time: 11 AM

Clean up Date: 1/29 Time: 6 PM

Will additional **garbage cans** be needed? ☐ Yes ☒ No How many \_\_\_\_\_ Drop Off Location \_\_\_\_\_

Will each vendor/organization be responsible for their own garbage? ☒ Yes ☐ No

Will a **dumpster** be used? ☐ Yes ☒ No If yes, location \_\_\_\_\_

Will there be **portable lavatories**? ☐ Yes ☒ No How Many? \_\_\_\_\_

Location(s) \_\_\_\_\_

Will there Bell Jar or Games of Chance? ☐ Yes ☒ No (if yes, separate permit required)

What is the source of **electric**, if applicable? \_\_\_\_\_

Please list any extras eg. Light show, loud speakers, decorations, paints or dyes:

Police Services Requested: NO

(Crossing Guards may be required dependent upon event and is a decision of the Police Department)

DPW Services Requested Road closure BARRIERS

Fire/Other NO

- Attach map or sketch showing the location of the event. Such map shall include:

Location of parking facilities, indicating number of parking spaces being provided; location of toilet facilities including the location of port-a-potties; location of public entrance(s) and exit(s) to the event site; location of vendor facilities (if applicable) including booths, tents and food service facilities; explanation of steps being taken to control traffic and provide security (if applicable) and the number of security personnel that will be present.

✓ **Requesting organization shall attach a completed Certificate of Insurance with minimum limits include public liability coverage of limits of \$1,000,000 each occurrence; property damage insurance with limits of \$1,000,000 each occurrence. Policy shall be endorsed to include Village of East Aurora as an additional named insured.**

✓ **Requesting organization shall attach Indemnification Agreement on organization letterhead, signed by authorized applicant or officer of company and duly notarized (sample included)**

**"Applicant named herein is fully responsible for obtaining any & all licensing with regard to the presentation or playing of music, pursuant to music copyright laws. The Village of East Aurora assumes no liability in this regard".**

☐ Police Department: Conditions/Comments \_\_\_\_\_

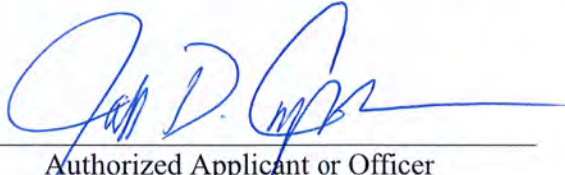
☐ Dept of Public Works: Conditions/Comments \_\_\_\_\_

☐ Fire Dept/Disaster Coordinator: Conditions/Comments \_\_\_\_\_

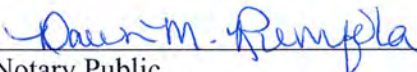
Sign Permits are to be obtained from the Town of Aurora Building Department 575 Oakwood Ave, 716.652.7591

**Indemnification Agreement**

To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, including loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.

  
\_\_\_\_\_  
Authorized Applicant or Officer

Subscribed and sworn to before me this 19 day of November, 2021

  
\_\_\_\_\_  
Notary Public  
DAWN M. PUMFOLA  
Notary Public, State Of New York  
Qualified In Erie County  
My Commission Expires March 8, 2023



November 18, 2021

East Aurora Village Board,

On Saturday, January 29th<sup>1</sup>, 42 North will be hosting its second "Barrel Fest". (This event was cancelled in 2020 due to Covid).

This ticketed event will feature breweries from across the country to feature their barrel aged beers. 200 attendees are expected.

The event includes beer tastings and live music in the beer garden, as well as winter sports vendors and demonstrations. We are requesting permission to close Person's Alley to vehicular traffic during the event. The space will have tables for ancillary seating, as well as a maximum of four (4) vendor tents.

All beer tastings, food preparation, and music will be consistent with our current special use permit.

Thank you.

Sincerely,

A handwritten signature in black ink, which appears to read 'John Cimperman'. The signature is fluid and cursive, with a large, sweeping 'J' and 'C'.

John Cimperman  
42 North Brewing Company

**42 North**  
**Barrel Jam**  
**Vendors**

Holiday Valley  
Chiba Chiba  
Blackbird Ciderworks



Y = Vendor



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
11/22/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> <b>BADGER &amp; GUNNER, INC.</b> <b>24 PINE STREET</b> <b>E. AURORA, NY 14052</b>	<b>CONTACT NAME</b> <b>PHONE (A/C No. Ext.) (716) 652-6350</b> <b>FAX (A/C No.) 652-2512</b> <b>E-MAIL ADDRESS</b>  <b>INSURER(S) AFFORDING COVERAGE</b> <b>INSURER A UTICA MUTUAL INSURANCE CO</b> <b>INSURER B PREFERRED MUTUAL INSURANCE CO</b> <b>INSURER C</b> <b>INSURER D</b> <b>INSURER E</b> <b>INSURER F</b>
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COVERAGES	CERTIFICATE NUMBER:	REVISION NUMBER:
<p>THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.</p>		
INSR LTR	TYPE OF INSURANCE	LIMITS
A	<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COM/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS	PCA 0100715623 5-16-215-16-22 COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$	CULP5491415 11-1-2111-1-22 EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	4851491 5-3-21 5-3-22 WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
A	LIQUOR LIABILITY	CPP5483130 11-1-2111-1-22 1,000,000 EACH 2,000,000 AGGREGATE

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101. Additional Remarks Schedule, if more space is required)

**BREWERY**

<b>CERTIFICATE HOLDER</b> <b>VILLAGE OF EAST AURORA</b> <b>585 OAKWOOD AVE</b> <b>EAST AURORA, NY 14052</b>	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  <b>AUTHORIZED REPRESENTATIVE</b> 
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L-1 wsl

**VILLAGE OF EAST AURORA**  
**APPLICATION FOR TEMPORARY USE PERMIT**  
**Not less than 60 days or more than 75 days before date of activity**

\$25.00 Application Fee 25 \$50.00 Permit Fee 80  
\$100.00 Mailer Fee (300 feet for road/public parking lot closure and/or outdoor music) \_\_\_\_\_

Date Application Filed: 9-30-21

Date of V.B. Action: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Conditions of approval will be listed in permit

**Sect. 285-52** Participants of an area activity, such as, but not necessarily limited to, a sidewalk sale, art, antique, craft show and/or sales, farmers market, or community/civic promotion activities and similar

Please type or print legibly

Name of Organization Eclipse Multi-Sport

Is Organization a: not-for-profit ☐ Charitable/Service ☐ Business ☒ School ☐ Government ☐

Name & Address of Individual Responsible Anne Horan

Phone Number 830-6713 E-mail eclipsemulti sport@gmail.com

Event Name Carroll 5K

Date(s) of Event Dec 18th Time(s) of Event 10 AM Estimated # of People 250

Please describe activity/purpose of this event Race / run

Location (include all areas of the event) \_\_\_\_\_

(attach map)

Will this event be held entirely in the Village of East Aurora? ☒ Yes ☐ No

If no, specify: \_\_\_\_\_

Will the event include more than one vendor/organization? ☐ Yes ☒ No

(if yes, attach list of vendors/participants)

Will the event involve a street or parking lot closure/usage? ☐ Yes ☒ No If yes, please note:

Road/Lot Name(s) \_\_\_\_\_

Date(s) of Closure \_\_\_\_\_ Time(s) \_\_\_\_\_

Will the event include:

Parade or motorcade ☒ Yes ☐ No

(Attach Map of route)

Walk or Run ☒ Yes ☐ No

(Attach Map of route)

Will there be outdoor music? ☐ Yes ☒ No

Time & Location 10 AM

Live ☐

DJ ☐

Multiple/Mixed ☐

Amplification ☐ Yes ☐ No

Will you be providing or selling alcohol? ☐ Yes ☒ No

Will people be allowed to bring alcohol? ☐ Yes ☒ No

Will there be Security Guards? ☐ Yes ☒ No Volunteers ☐ or Private Paid Entity ☐

Please List Entity Name \_\_\_\_\_

Will there be temporary food stands? ☐ Yes ☒ No

How many? \_\_\_\_\_

Food Truck? If yes, name of vendor: \_\_\_\_\_

(additional permit required)

Will tent or other structure be erected for event? ☐ Yes ☒ No Size \_\_\_\_\_  
Date & Time to be installed \_\_\_\_\_ Date & Time to be removed \_\_\_\_\_

Will any prep work be done on/or before the event? ☐ Yes ☒ No

Please describe \_\_\_\_\_

Set up Date: \_\_\_\_\_ Time: \_\_\_\_\_

Clean up Date: \_\_\_\_\_ Time: \_\_\_\_\_

Will additional **garbage cans** be needed? ☐ Yes ☒ No How many \_\_\_\_\_ Drop Off Location \_\_\_\_\_

Will each vendor/organization be responsible for their own garbage? ☒ Yes ☐ No

Will a **dumpster** be used? ☐ Yes ☒ No If yes, location \_\_\_\_\_

Will there be **portable lavatories**? ☐ Yes ☒ No How Many? \_\_\_\_\_

Location(s) \_\_\_\_\_

Will there Bell Jar or Games of Chance? ☐ Yes ☒ No (if yes, separate permit required)

What is the source of **electric**, if applicable? \_\_\_\_\_

Please list any extras eg. Light show, loud speakers, decorations, paints or dyes:

N/A

Police Services Requested: Traffic control @ Main

(Crossing Guards may be required dependent upon event and is a decision of the Police Department)

DPW Services Requested \_\_\_\_\_

Fire/Other \_\_\_\_\_

- Attach map or sketch showing the location of the event. Such map shall include:

Location of parking facilities, indicating number of parking spaces being provided; location of toilet facilities including the location of port-a-potties; location of public entrance(s) and exit(s) to the event site; location of vendor facilities (if applicable) including booths, tents and food service facilities; explanation of steps being taken to control traffic and provide security (if applicable) and the number of security personnel that will be present.

☒ *Requesting organization shall attach a completed Certificate of Insurance with minimum limits include public liability coverage of limits of \$1,000,000 each occurrence; property damage insurance with limits of \$1,000,000 each occurrence. Policy shall be endorsed to include Village of East Aurora as an additional named insured.*

☒ *Requesting organization shall attach Indemnification Agreement on organization letterhead, signed by authorized applicant or officer of company and duly notarized (sample included)*

*"Applicant named herein is fully responsible for obtaining any & all licensing with regard to the presentation or playing of music, pursuant to music copyright laws. The Village of East Aurora assumes no liability in this regard".*

☐ Police Department: Conditions/Comments \_\_\_\_\_

☐ Dept of Public Works: Conditions/Comments \_\_\_\_\_

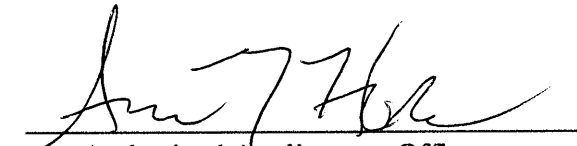
☐ Fire Dept/Disaster Coordinator: Conditions/Comments \_\_\_\_\_

Sign Permits are to be obtained from the Town of Aurora Building Department 575 Oakwood Ave, 716.652.7591



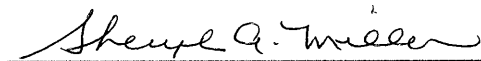
### Indemnification Agreement

To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, including loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.

  
Anne Horan  
Authorized Applicant or Officer

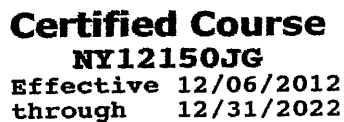
State of New York  
County of Erie

Subscribed and sworn to before me this 18<sup>th</sup> day of October, 2021



Notary Public

SHERYL A. MILLER  
Reg. #01MI6128663  
Notary Public, State of New York  
Qualified In Erie County  
Commission Expires June 13, 2025



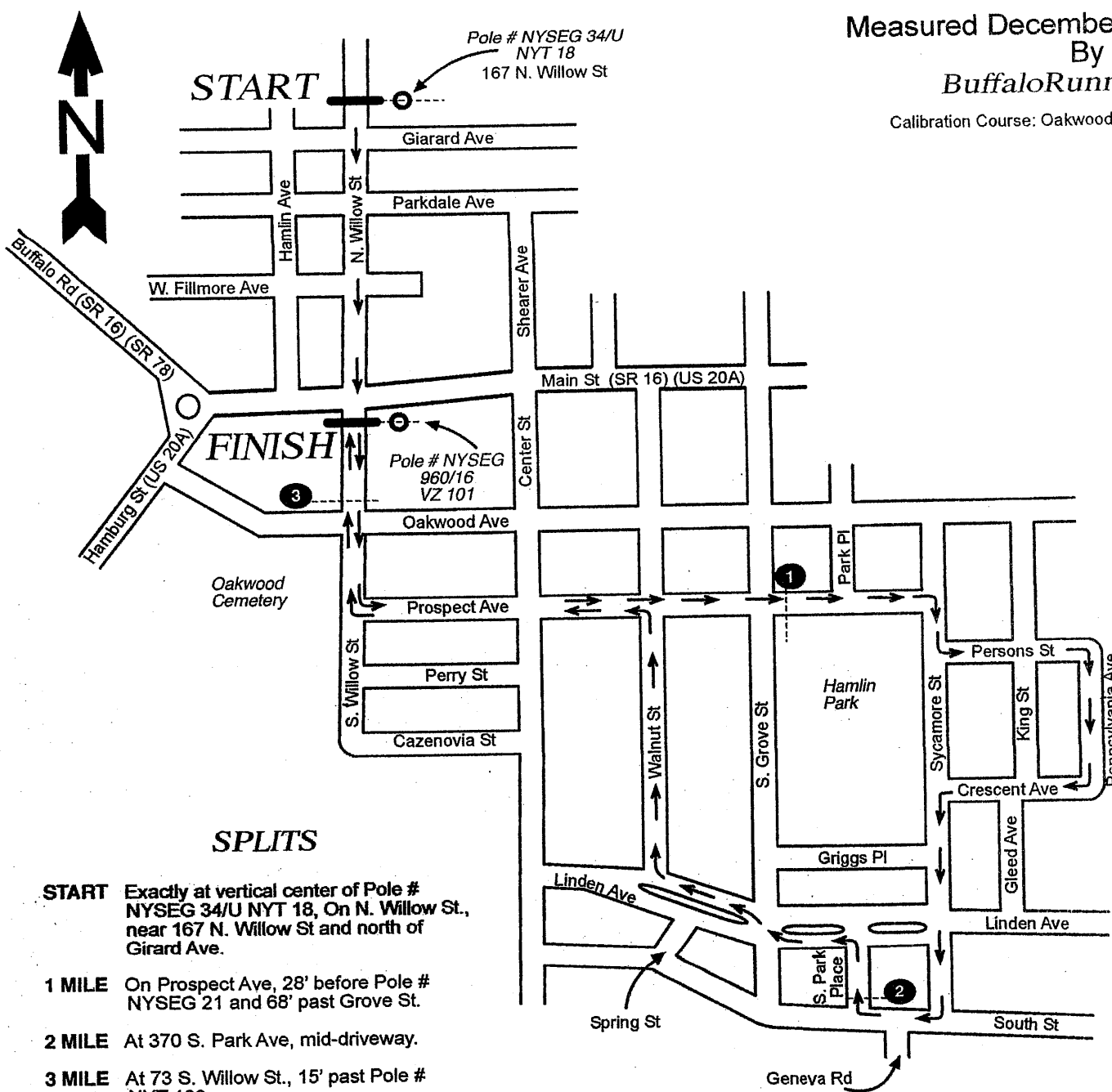
# Caroler 5K

## East Aurora, NY

Measured December 4, 2012  
By Jeff John

BuffaloRunners.com

Calibration Course: Oakwood Cemetery 1000



## SPLITS

- START** Exactly at vertical center of Pole # NYSEG 34/U NYT 18, On N. Willow St., near 167 N. Willow St and north of Girard Ave.
- 1 MILE** On Prospect Ave, 28' before Pole # NYSEG 21 and 68' past Grove St.
- 2 MILE** At 370 S. Park Ave, mid-driveway.
- 3 MILE** At 73 S. Willow St., 15' past Pole # NYT 106.
- FINISH** 29 Willow St, exactly at vertical center of Pole # 960/16 VZ 101, and 79' before STOP sign, and 92' before (south of) Main St.

# CERTIFICATE OF INSURANCE

CERTIFICATE NUMBER: 20211101870788

**AGENCY:**

Edgewood Partners Insurance Center  
2727 Paces Ferry Road, Building Two, Suite 1500  
Atlanta, GA 30339  
678-324-3300 (Phone), 678-324-3303 (Fax)

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**NAMED INSURED:**

USA Track & Field, Inc. Eclipse Multi-Sport  
130 East Washington Street, Suite 800  
Indianapolis IN 46204

**INSURERS AFFORDING COVERAGE:**

INSURER A: Accredited Surety and Casualty Company, Inc.  
INSURER B: Allied World National Assurance Company

**EVENT INFORMATION:**

Caroler 5K (12/18/2021 - 12/19/2021)

**POLICY/COVERAGE INFORMATION:**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INS	TYPE OF INSURANCE:	POLICY NUMBER(S):	EFFECTIVE:	EXPIRES:	LIMITS:
A	GENERAL LIABILITY				
	X Occurrence	1-TPM-IN-17-01268997	11/1/2021 12:01 AM	11/1/2022 12:01 AM	GENERAL AGGREGATE (Applies Per Event) \$4,000,000
	X Participant Legal Liability				EACH OCCURRENCE \$2,000,000
					DAMAGE TO RENTED PREMISES (Each Occ.) \$2,000,000
					MEDICAL EXPENSE (Any one person) EXCLUDED
					PERSONAL & ADV INJURY \$2,000,000
					PRODUCTS-COMP/OP AGG \$2,000,000
A	UMBRELLA/EXCESS LIABILITY				
	X Occurrence	1-TPM-IN-17-01268998	11/1/2021 12:01 AM	11/1/2022 12:01 AM	EACH OCCURRENCE \$3,000,000
					AGGREGATE \$3,000,000
B	OTHER				
	X EXCESS LIABILITY	0313-1301	11/1/2021 12:01 AM	11/1/2022 12:01 AM	EACH OCCURRENCE \$7,000,000
					AGGREGATE \$7,000,000

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS:**

Coverage applies to USA Track & Field sanctioned events and registered practices, including any directly related activities, such as event set-up and tear-down, participant check-in and award ceremonies.

The certificate holder is an additional insured per the following endorsement: Blanket Additional Insured (RSCG 03 03)

The General Liability policy is primary and non-contributory with respect to the negligence of the Named Insureds (Form CG 00 01)

The General Liability policy contains a blanket Waiver of Subrogation as required by contract per Waiver of Transfer of Rights of Recovery Against Others (Form CG 24 04).

Excess policy follows form of underlying General Liability.

**CERTIFICATE HOLDER:**

Village of East Aurora  
575 Oakwood Ave  
E. Aurora NY 14052

**NOTICE OF CANCELLATION:**

Should any of the above described policies be cancelled before the expiration date thereof, notice will be delivered in accordance with the policy provisions.

**AUTHORIZED REPRESENTATIVE:**