

16 December 2021

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	10C-12 Kookaburra Avenue METUNG Lot 930 LP 56280, Lot 931 LP 56280, Lot 932 LP 56280
The application is for a permit to:	Buildings and works for a Dwelling and Outbuilding
The applicant for the permit is:	A L Di Pietro
The application reference number is:	552/2021/P
You may look at the application and any documents that support the application on the website of the responsible authority.	(Intentionally blank)

This can be done anytime by visiting the following website:

<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ be sent to the Responsible Authority in writing,
- ◆ include the reasons for the objection, and
- ◆ state how the objector would be affected.

The Responsible Authority will not decide on the application before:	Subject to applicant carrying out notice
--	--

If you object, the Responsible Authority will tell you its decision.

Please note submissions received will be made available for inspection and may be made available to other parties in accordance with the Planning & Environment Act 1987. If you have concerns about this, please contact the East Gippsland Shire Council's Planning Office.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 1

VOLUME 12341 FOLIO 356

Security no : 124093758995B
Produced 16/11/2021 11:27 AM

LAND DESCRIPTION

Land in Plan of Consolidation 379906W.
PARENT TITLES :
Volume 08374 Folio 707 to Volume 08374 Folio 709
Created by instrument PC379906W 11/11/2021

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
AMY LOUISE DI PIETRO
WILLIAM JAMES MANGLE both of 53 NAUTILUS WAY LAKES ENTRANCE VIC 3909
PC379906W 11/11/2021

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PC379906W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
PC379906W (B)	PLAN OF CONSOLIDATION	Registered	11/11/2021

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 KOOKABURRA AVENUE METUNG VIC 3904

ADMINISTRATIVE NOTICES

NIL

eCT Control 22727X EAST GIPPSLAND CONVEYANCING
Effective from 11/11/2021

DOCUMENT END

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<h1>PLAN OF CONSOLIDATION</h1>	
<p>LOCATION OF LAND</p> <p>PARISH: BUMBERRAH</p> <p>TOWNSHIP: _____</p> <p>SECTION: _____</p> <p>CROWN ALLOTMENT: 83A (PART)</p> <p>CROWN PORTION: _____</p> <p>TITLE REFERENCE: VOL 8374 FOL 707 VOL 8374 FOL 708 VOL 8374 FOL 709</p> <p>LAST PLAN REFERENCE: LOTS 930, 931 & 932 - LP56280</p> <p>POSTAL ADDRESS: (at time of subdivision) 10C - 12 KOOKABURRA AVENUE, METUNG, 3904</p> <p>MGA2020 CO-ORDINATES: (of approx centre of land in plan) E: 572 920 ZONE: 55 N: 5807 710</p>	<p>Council Name: East Gippsland Shire Council Council Reference Number: PC379906W Planning Permit Reference: Planning permit not required SPEAR Reference Number: S173015A</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Statement of Compliance</p> <p>This is a statement of compliance issued under section 21 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made</p> <p>Digitally signed by: Robert Pringle for East Gippsland Shire Council on 12/05/2021</p>

VESTING OF ROADS AND/OR RESERVES	NOTATIONS				
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:20%;">IDENTIFIER</th> <th>COUNCIL/BODY/PERSON</th> </tr> <tr> <td style="text-align: center;">NIL</td> <td style="text-align: center;">NIL</td> </tr> </table>	IDENTIFIER	COUNCIL/BODY/PERSON	NIL	NIL	
IDENTIFIER	COUNCIL/BODY/PERSON				
NIL	NIL				
NOTATIONS					
DEPTH LIMITATION DOES NOT APPLY					
<p>SURVEY: This plan is not based on survey.</p> <p>STAGING: This is not a staged subdivision. Planning Permit No. _____</p> <p>This survey has been connected to permanent marks No(s). _____</p> <p>In Proclaimed Survey Area No. NIL</p>					

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

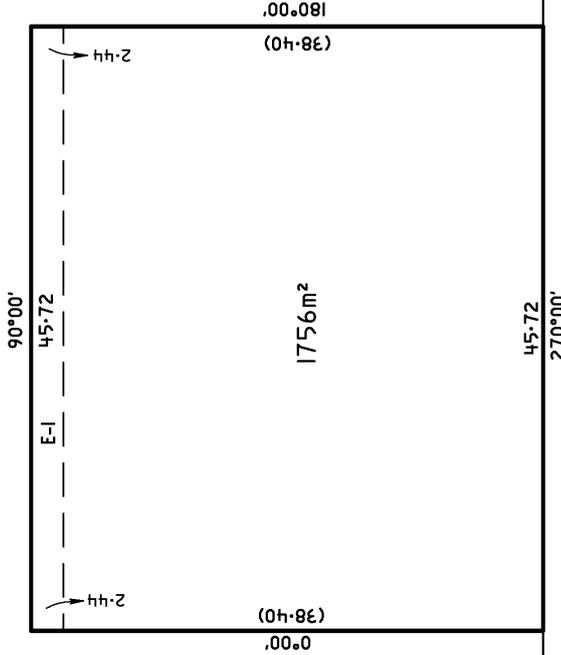
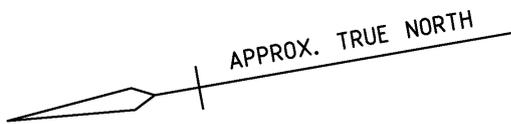
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-I	DRAINAGE & SEWERAGE	2.44	LP56280	LOTS ON LP56280

<p>Crowthier & Sadler Pty. Ltd. LICENSED SURVEYORS & TOWN PLANNERS 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875 P. (03) 6162 6011 E. contact@crowthiersadler.com.au</p>	<p>SURVEYORS FILE REF: 19183</p>	<p>ORIGINAL SHEET SIZE: A3</p>	<p>SHEET 1 OF 2 SHEETS</p>
	<p>Digitally signed by: Michael J Sadler, Licensed Surveyor, Surveyor's Plan Version (1), 31/03/2021, SPEAR Ref: S173015A</p>		<p>PLAN REGISTERED TIME: 2:40 PM DATE: 11/11/2021 D.L. Assistant Registrar of Titles</p>

Printed 16/12/2021

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PC 379906W



KOOKABURRA AVENUE

TAMBO DRIVE

Crowthier & Sadler Pty. Ltd.
 LICENSED SURVEYORS & TOWN PLANNERS
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
 P. (03) 5162 6011 E. contact@crowthersadler.com.au

SURVEYORS REF
 19183

SCALE
 1:400

LENGTHS ARE IN METRES

0 4 8 12 16

Digitally signed by: Michael J Sadler, Licensed Surveyor,
 Surveyor's Plan Version (1),
 31/03/2021, SPEAR Ref: S173015A

ORIGINAL SHEET
 SIZE: A3

SHEET 2

Digitally signed by:
 East Gippsland Shire Council,
 12/05/2021,
 SPEAR Ref: S173015A

Our Reference: 2102281

9 November 2021

Planning Co-ordinator
East Gippsland Shire Council
PO Box 1618
BAIRNSDALE VIC 3875

Dear Sir/Madam,

RE: APPLICATION FOR A PLANNING PERMIT
CONSTRUCTION OF A DWELLING & OUTBUILDING (SHED)
10c-12 KOOKABURRA AVENUE, METUNG
LOTS 930-932 ON LODGED PLAN NO. 56280 (VOLUME: 08374, FOLIO: 707-709)

I refer to the above matter and advise that Beveridge Williams & Co. Pty. Ltd. acts on behalf of Bill Mangle and Amy Di Pietro, who are the joint owners of the above property.

Bill and Amy purchased the property in October 2020 with the intention of developing it for residential purposes and have plans to construct a dwelling and shed on the land. The proposed dwelling is to:

- Be constructed on stumps across an elevated single storey level with a maximum height of 5.6 metres above natural ground level;
- Have an overall floor area of 250.67m² that will include a 45.75m² covered outdoor area along the entire west elevation and a 32.08m² uncovered deck along the north elevation for a distance of 16.04 metres;
- Require earthworks that will include a site cut of approximately 2.2 metres in depth at the northeast area of the build site and a site cut of approximately 1 metre in depth at the southeast portion of the build site; and
- Include an excavated 42m² carparking area below the elevated eastern portion of the dwelling that will comprise a L-shaped double brick core filled retaining wall under the east elevation for a distance of 7 metres;

The proposed dwelling is to comprise three bedrooms with the main bedroom to include a walk-in-robe and ensuite bathroom. A walk-in pantry will service the open plan kitchen and meals area, which, along with the open living room, will open onto the covered outdoor area. The living room will also open directly onto the timber deck area to be constructed along the north elevation. The proposed dwelling will also accommodate a laundry and main bathroom.

The proposed dwelling is to be constructed with the following setbacks:

- More than 18 metres from the 3 metre wide drainage and sewerage easement that runs along the site's entire 45.72 metre long north boundary;
- 3.5 metres from its east boundary;
- 4 metres from its south boundary road frontage; and
- More than 16 metres from its west boundary.

As previously discussed, earthworks exceeding one metre in depth will be required within the northeast and southeast portions of the build site of the proposed dwelling.

The proposed 99m² Colorbond shed is to be located in the northeast portion of the site. It is to be erected on a concrete slab and will be setback:

- 3 metres from the rear (north) boundary to avoid the 3 metre wide drainage and sewerage easement that runs along the site's entire 45.72 metre long north boundary; and
- 2.5 metres from its east boundary.

No vegetation removal will be required to facilitate the proposed construction. To facilitate this outcome, Bill and Amy have instructed Beveridge Williams & Co Pty. Ltd. to seek a planning permit that will allow the construction of a dwelling and outbuilding (shed) on the land in accordance with the Site Plan, Floor Plan and Elevations associated with the dwelling provided at Figures 1, 2, 3 & 4 and the Floor Plan and Elevations associated with the outbuilding (shed) provided at Figures 5 & 6.

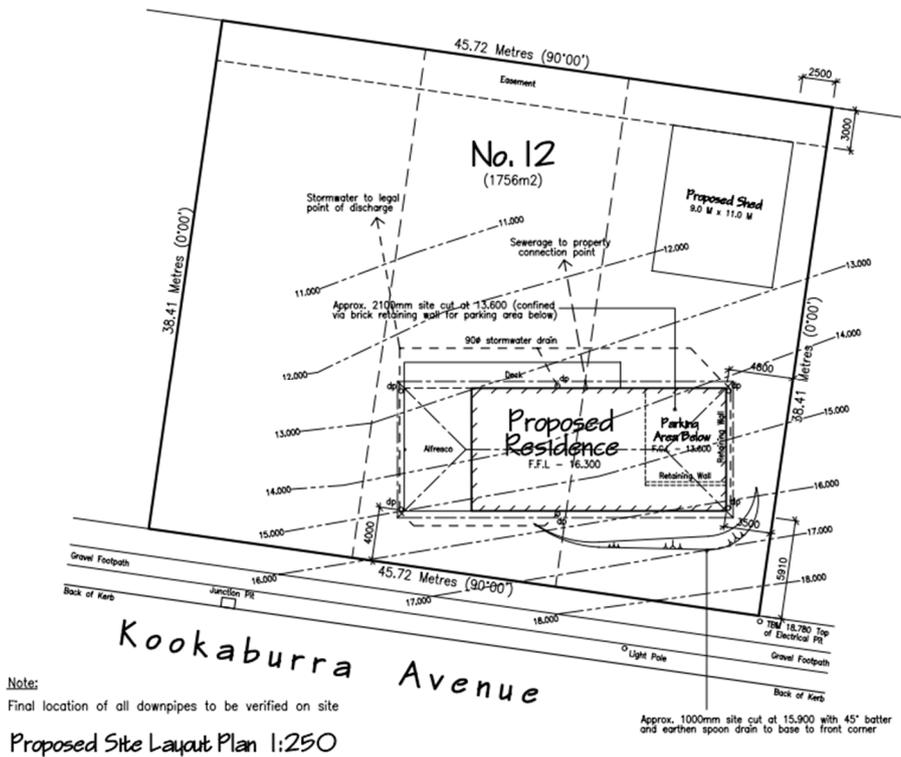


Figure 1: Site Plan

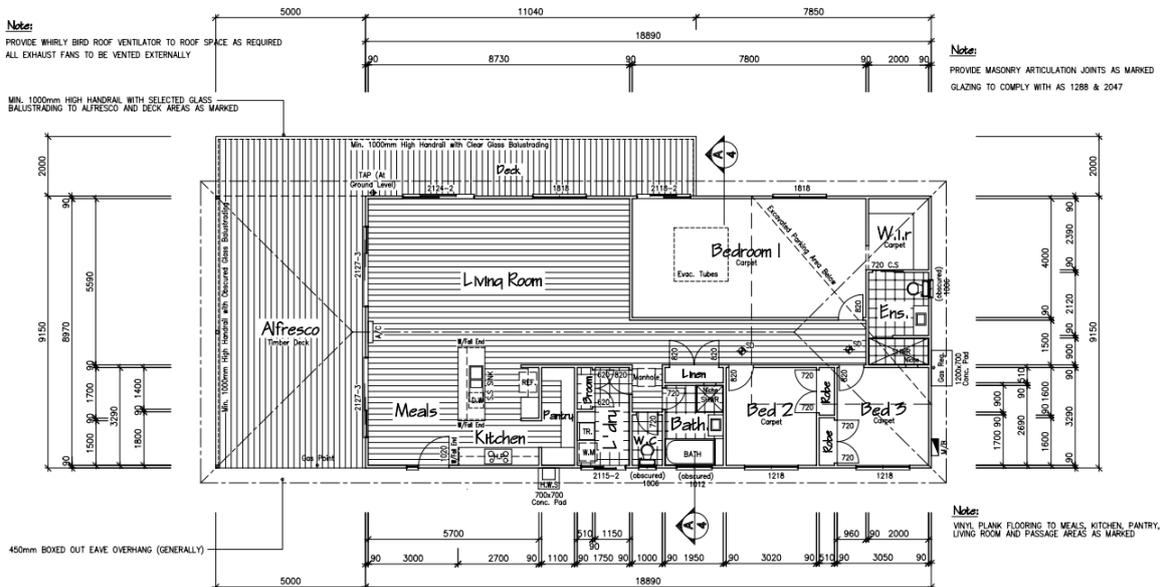


Figure 2: Floor Plan

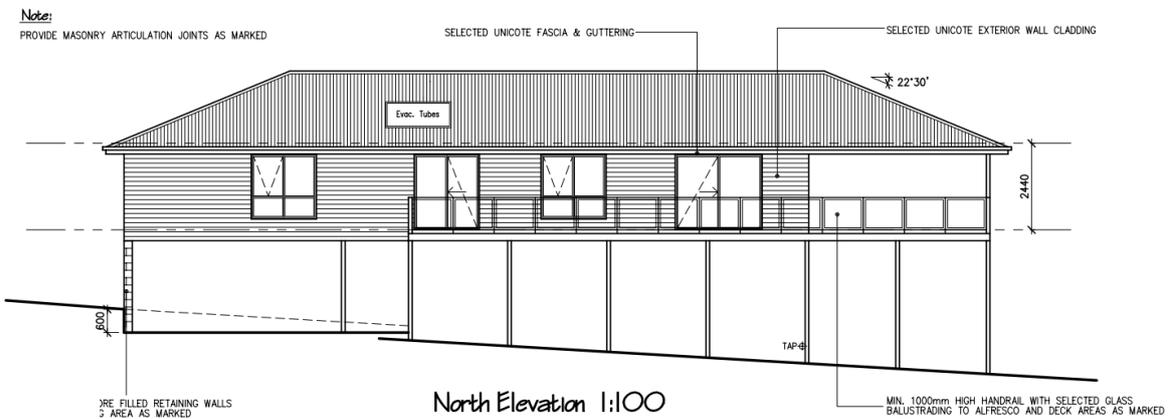
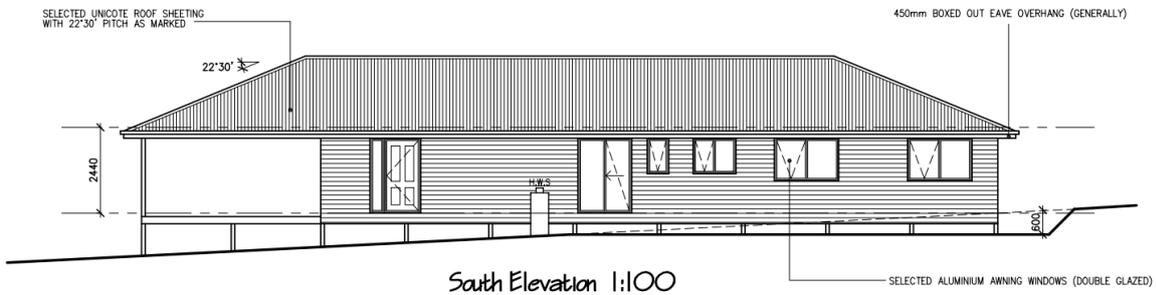
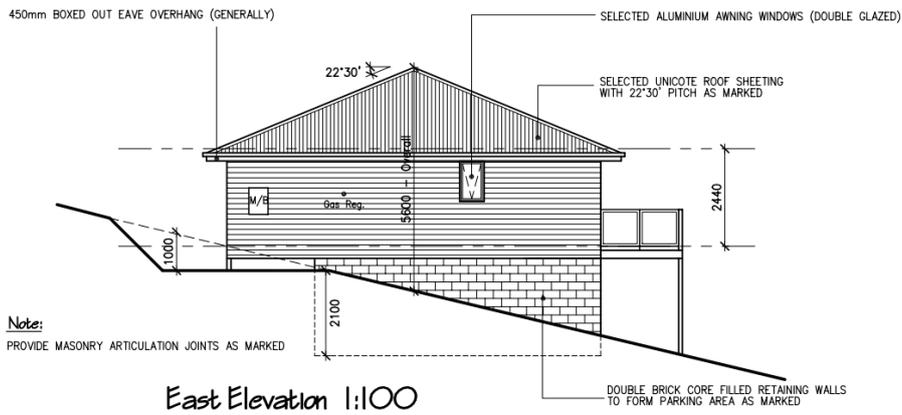
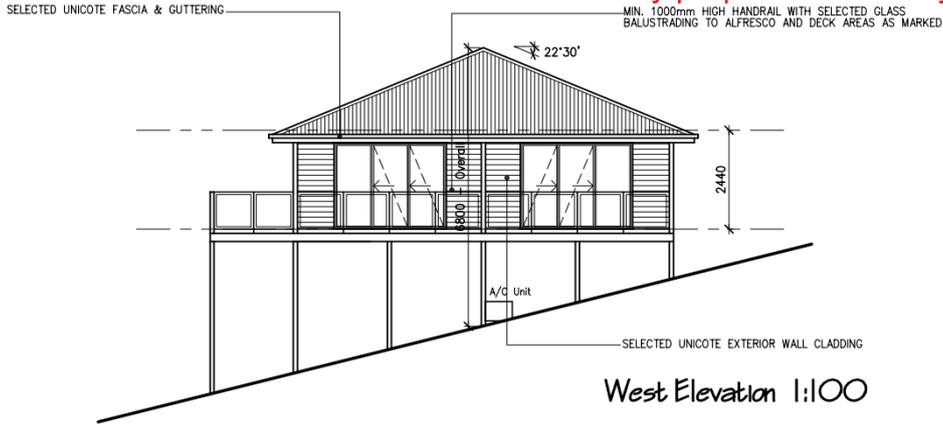


Figure 3: Elevations

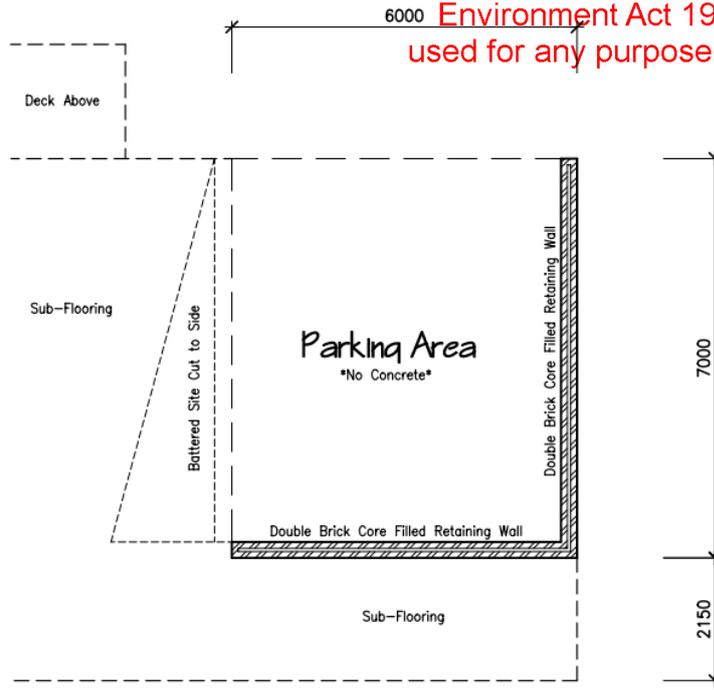


Figure 4: Parking Area to be located under elevated eastern portion of the dwelling

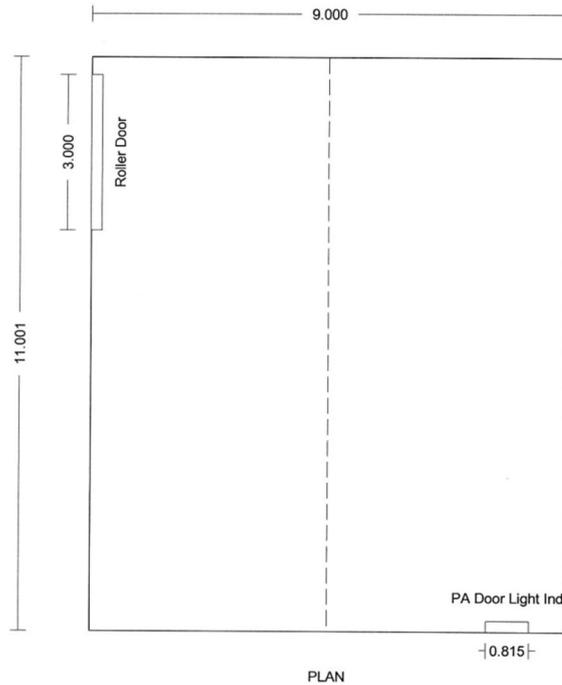


Figure 5: Floorplan of Proposed Shed

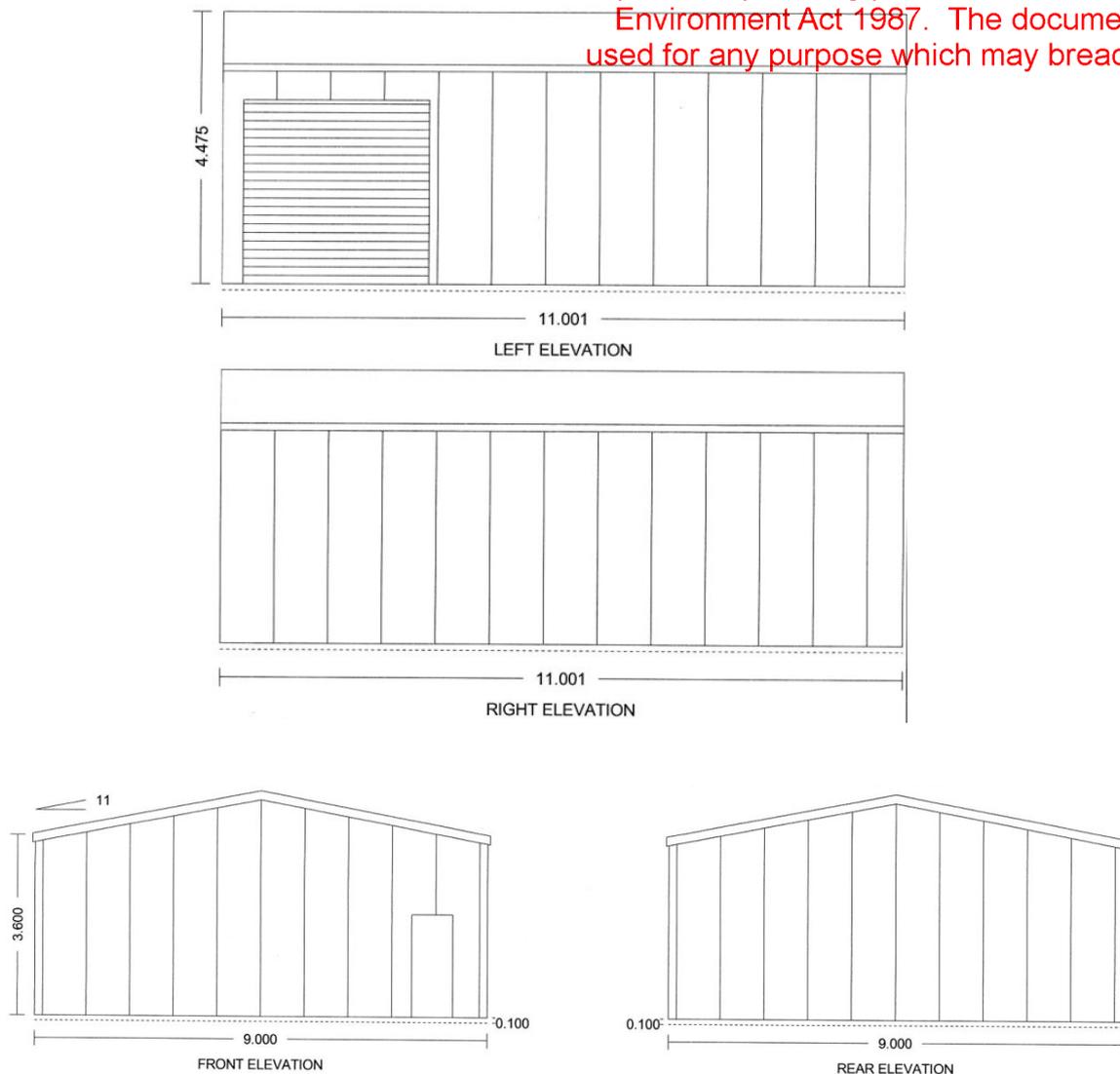


Figure 6: Elevations of Proposed Shed

It is noted that the subject sites are presently being consolidated into a single title through Plan of Consolidation No. 379906. This will bring the development into compliance with the Tambo Bluff Restructure Plan. We would anticipate that Council will impose a condition on any permit granted whereby evidence that the plan of consolidation has been registered prior to commencement of works on the proposed dwelling.

A review of the East Gippsland Planning Scheme reveals that the following Clauses are relevant to this proposal:

- Clause 12.01-2S (Native Vegetation Management);
- Clause 13.04-2S (Erosion and Landslip);
- Clause 15.01-2S (Building Design);
- Clause 21.04-2 (Landscape);
- Clause 21.05-2 (Erosion);
- Clause 21.07 (Built Environment and Heritage);
- Clause 21.12-2 (Lakes and Coastal – Tambo Bluff);
- Clause 32.03 (Low Density Residential Zone), noting that a permit is not triggered as the proposed dwelling is a Section 1 Use;
- Clause 42.02 (Vegetation Protection Overlay), noting that a permit is not triggered by the proposal as no vegetation removal is required to facilitate the proposed construction;

- Clause 43.02 (Design & Development Overlay), noting that a permit is triggered under the provisions of Point 2.0 of Schedule 11 to this clause as the total building footprint of the proposed dwelling and shed will exceed the maximum 300m²;
- Clause 44.01 (Erosion Management Overlay), noting that a permit is triggered by the proposal under the provisions of Clause 44.01-2. It is noted that the construction of the proposed dwelling will require earthworks exceeding 1 metre in height/depth within the northeast and southeast portions of the build site;
- Clause 45.05 (Restructure Overlay), noting that a permit is triggered by the proposal under the provisions of Clause 45.05-2; and
- Clause 65 (Decision Guidelines).

The following documents have been enclosed with this letter to allow Council to both record the permit application in its register and make a decision under the provisions of the Planning and Environment Act 1987:

- A Title search statement and the title plan for the subject site confirming that the ownership and title particular details provided above are correct;
- A Planning Property report for the subject site generated using the State Government's VicPlan website to confirm that the zoning and overlay controls listed above are correct;
- A Geotechnical Erosion Risk Assessment prepared by Simon Anderson Consulting;
- A Site Context Analysis that discusses the nature of land use and development across the subject site and surrounding land;
- A Planning Assessment that discusses the proposal in light of the abovementioned clauses;
- A Proposed Site Plan, Floor Plan and Elevations for the dwelling and Floor Plan and Elevations for the Shed for endorsement as part of any planning permit Council may choose to grant under the provisions of Section 61 of the Act.

Payment of Council's fees in the amount of \$1,307.60 to cover the applicable fee for an application made under Class 4 will be made via credit card payment over the phone.

If you require any further information prior to making a decision on this application, please do not hesitate to call me on 03 5144 3877.

Yours Sincerely,



Chris Curnow
Principal Planner
BEVERIDGE WILLIAMS

SUBJECT LAND

Address:	10c-12 Kookaburra Avenue, Metung
Lot Details:	Lot 930 on PS056280
Title Particulars:	Volume: 08374, Folio: 707
Title Restrictions:	3 metre wide drainage and sewerage easement along the entire 45.72 metre long north boundary
Area & Shape:	1,756m ² formed in a rectangular shape
Topography:	The site slopes towards the northwest corner of the property.
Strategy Plan:	Tambo Bluff Strategy Plan: Residential Development Area See opposite
Restructure Plan:	RO53 – Tambo Bluff Restructure Plan (2018) See opposite. It is noted that the property does not require any restructuring under this plan.
Zoning:	Low Density Residential
Overlay:	Design and Development (Schedule 11), Erosion Management & Vegetation Protection (Schedule 3)
Improvements:	The site is not improved with any built structures, boundary fencing or crossover access. The land is covered in established grass with established vegetation adjacent to its (rear) north boundary.

ADJOINING PROPERTIES:

The subject site abuts:

- Lot Res1 on LP 56280 along its entire 45.72 metre long north boundary. This Public Park and Recreation zoned land has area of 2.2 hectares formed in an irregular shape. It forms part of the land known as 8 Broadlands Road. It is established with extensive vegetation and is traversed by a declared watercourse. It is accessed along its south boundary road frontage with Kookaburra Avenue and along its north boundary road frontage with Outlook Drive;
- Lot 933 on LP56280 along its entire 38.41 metre long east boundary. This land has area of 576m² formed in a rectangular shape. It forms part of the land known as 8 Broadlands Road. This land is vacant and cleared of all vegetation, apart from established grass. It is accessible via its south boundary road frontage with Kookaburra Avenue;
- Kookaburra Avenue along its entire 45.72 metre long south boundary. This road reserve measures approximately 15 metres in width and comprises an unmarked, two-way bitumen sealed road with grassed verges and concrete kerb and channel drainage along both sides. A concrete footpath is also located along its northern edge. It intersects with Broadlands Road approximately 160 metres to the east and terminates as a cul-de-sac approximately 75 metres to the west of the subject site;
- 14 Kookaburra Avenue along its entire 38.41 metre long west boundary. This land has area of 1,725m² formed in an irregular shape. It is not improved with any built structures, boundary fencing or crossover access. The land is covered in grass with some established vegetation growing in its northwest corner. It is accessible via its south boundary road frontage. However, there is no constructed crossover access.

STREETSCAPE VIEW OF SUBJECT SITE



STREETSCAPE VIEW OF 14 KOOKABURRA AVENUE



VIEW LOOKING NORTH ACROSS LOT 933 AND LOT RES 1 ON LP 56280 (8 BROADLANDS ROAD, METUNG)



VIEW LOOKING EAST ALONG KOOKABURRA AVENUE



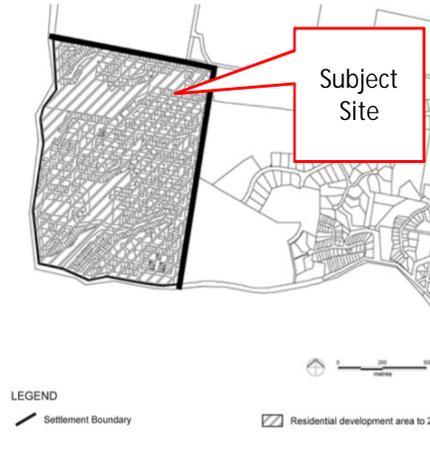
VIEW LOOKING WEST ALONG KOOKABURRA AVENUE



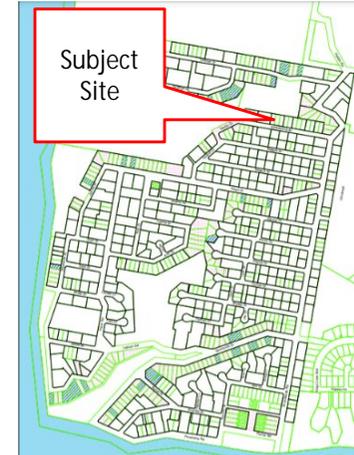
AERIAL PHOTOGRAPH OF THE SUBJECT SITE (OUTLINED YELLOW) & ISURROUNDING LAND



TAMBO BLUFF STRATEGY PLAN



TAMBO BLUFF RESTRUCTURE PLAN

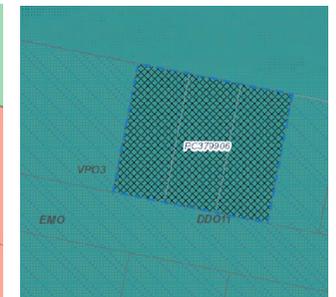


LEGEND

Settlement Boundary

Residential development area to 2020

ZONING & OVERLAY MAPPING



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State & Local Planning Policies

The proposed development involves the construction of a single storey dwelling and shed within Metung's strategically identified residential precinct of 'Tambo Bluff'. The single storey dwelling is to be constructed upon concrete stumps, but it will be unobtrusive in the landscape given the natural gradient of the site away from the road. Earthworks exceeding one metre in depth will be required to facilitate the construction of the dwelling. The proposed outbuilding/shed is to be constructed on a concrete slab and will utilise the more level portion of the site. No vegetation removal is required, and a geotechnical risk assessment provided with this application has identified that the proposed construction poses a low risk of erosion. This outcome will satisfy the State and Local Planning Policies of the East Gippsland Planning Scheme by:

- Ensuring that the integrity, character and natural environment of Tambo Bluff and its surrounds are respected and protected, as required through the policy objectives of Clauses 12.01-2S and 21.04-2;
- Minimising the risk of erosion by constructing a dwelling in a manner that has been identified as posing a low risk of erosion as required through the policy objectives of Clauses 13.04-2S and 21.05-2;
- Providing accommodation that achieves building design outcomes that contribute to the existing low-density residential settlement of Tambo Bluff and respectfully respond to the coastal bush character of the surrounding landscape, as required through the policy objectives of Clauses 15.01-2S, 21.07-1 & 21.12-2;
- Avoiding the removal of any vegetation to ensure the existing natural environment is protected, as required through the policy objectives of Clauses 12.012-S, 21.04-1 & 52.17.

The purpose of the Overlays

The proposed development has been designed to satisfy the purpose of the:

- Erosion Management Overlay by constructing the dwelling on concrete stumps and constructing the shed on the most level portion of the site to minimise land disturbance to the greatest extent possible;
- Design and Development Overlay through its appropriate contribution to the low density, coastal bush character of Tambo Bluff;
- Restructure Overlay by enhancing Tambo Bluff's low density residential precinct in a manner that poses minimal disturbance to the surrounding natural environment.

Any matter required to be considered in the zone, overlay or other provision

The proposal is designed to respond to the decision guidelines at Clause 44.01-8 as:

- No vegetation removal is required to facilitate the proposed construction;
- The risk of erosion has been determined as low given there is excellent grass coverage that will preserve existing topsoils and no evidence of soil erosion or landslip on the site or adjoining properties;
- The dense sands soil type will have adequate strength and stability for residential slabs and footings; and

The Geotechnical Risk Assessment has set out the appropriate erosion mitigation measures during and post construction.

The proposal is designed to respond to the decision guidelines at Clause 43.02-6 by:

- Contributing to Tambo Bluff's low density residential precinct in a manner that is respectful to its coastal bush landscape through its use of 'light weight' design and materials including timber cladding and decking, non-reflective roof sheeting and screened car parking area;
- Not requiring the removal of any existing vegetation to facilitate the construction works;
- Constructing the dwelling upon stumps and incorporating timber decking to minimise land disturbance and retain the site's natural contours. This will ensure that the development is not visually obtrusive in the landscape.

The proposal is designed to respond to the decision guidelines at Clause 45.05-4 through:

- Facilitation of construction on an appropriately consolidated block to preserve Tambo Bluff's low density character;
- Avoiding the need to remove any existing vegetation;
- Constructing the dwelling on concrete stumps to minimise land disturbance and predominantly follow the natural gradient of the land;
- Incorporating a contemporary design and light weight materials to ensure that the development is not visually obtrusive in the landscape;
- Ensuring that all wastewater is directed to the existing easement located along the site's north boundary and the reticulated drainage & sewer within Kookaburra Avenue.

Orderly Planning

The proposal is for the construction of a new dwelling on a site located within the strategically identified residential precinct of Tambo Bluff. Hence, approval of the proposal will represent a consistent/orderly, approach to planning.

The effect on the amenity of the area

The proposed dwelling has been designed and sited to ensure that it is not visually obtrusive when viewed from Kookaburra Avenue. It will also be connected to all available reticulated services. Hence, the proposal will not detrimentally impact upon the amenity of adjoining owners in any way.

Factors likely to cause or contribute to land degradation, salinity or reduce water quality;

The proposed dwelling is to be connected to Council's reticulated drainage and sewer infrastructure located within the easement at the rear of the land and within Kookaburra Avenue. Accordingly, there will be no adverse impact as a result of land degradation, salinity or water quality reduction.

Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site

Runoff from the roof of the dwelling will be directed to Council's legal point of discharge, located in the easement at the northwest corner of the site. Reticulated

drainage is also located along Kookaburra Avenue so, the stormwater quality within and exiting the site will be maintained and will not lead to water quality issues.

The extent and character of native vegetation and the likelihood of its destruction

The proposal does not require the removal of any native vegetation. Whether native vegetation is to be or can be protected, planted or allowed to regenerate.

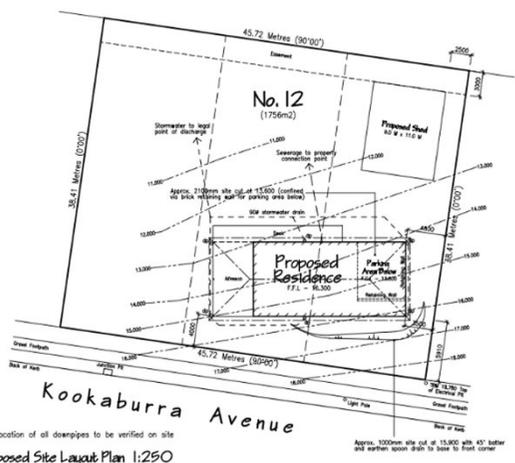
The proposal does not require the removal of any native vegetation. Flood, erosion or bushfire risk.

The site is not recognised as being susceptible to flood or bushfire risk. The risk of erosion has been addressed elsewhere in this report and within the Geotechnical Risk Assessment provided with this application.

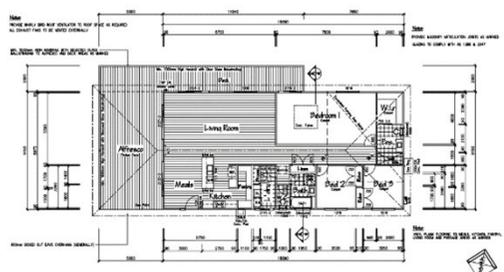
The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

The site of the proposed dwelling will allow ample space for vehicle parking as well as the loading and unloading of vehicles in association with the site's proposed residential use.

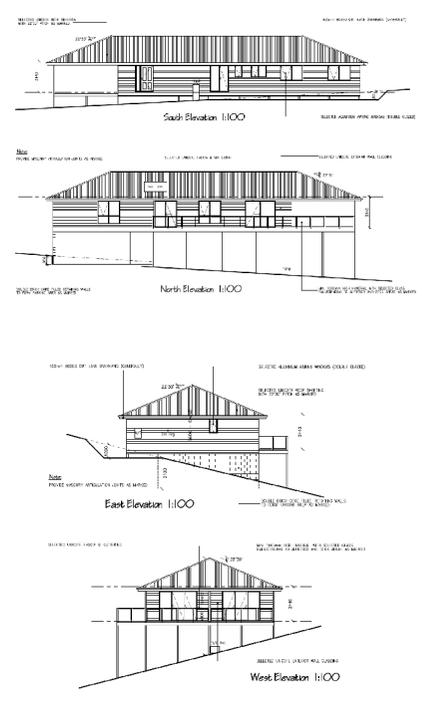
PROPOSED SITE PLAN



PROPOSED FLOORPLAN - DWELLING



PROPOSED ELEVATIONS - DWELLING



PROPOSED FLOORPLAN & ELEVATIONS - SHED



PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 09 November 2021 02:46 PM

PROPERTY DETAILS

Address: **10C-12 KOOKABURRA AVENUE METUNG 3904**

Lot and Plan Number: **More than one parcel - see link below**

Standard Parcel Identifier (SPI): **More than one parcel - see link below**

Local Government Area (Council): **EAST GIPPSLAND** www.eastgippsland.vic.gov.au

Council Property Number: **44788**

Planning Scheme: **East Gippsland** [Planning Scheme - East Gippsland](#)

Directory Reference: **Vicroads 84 F8**

This property has 3 parcels. For full parcel details get the free Property report at [Property Reports](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**

Urban Water Corporation: **East Gippsland Water**

Melbourne Water: **Outside drainage boundary**

Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**

Legislative Assembly: **GIPPSLAND EAST**

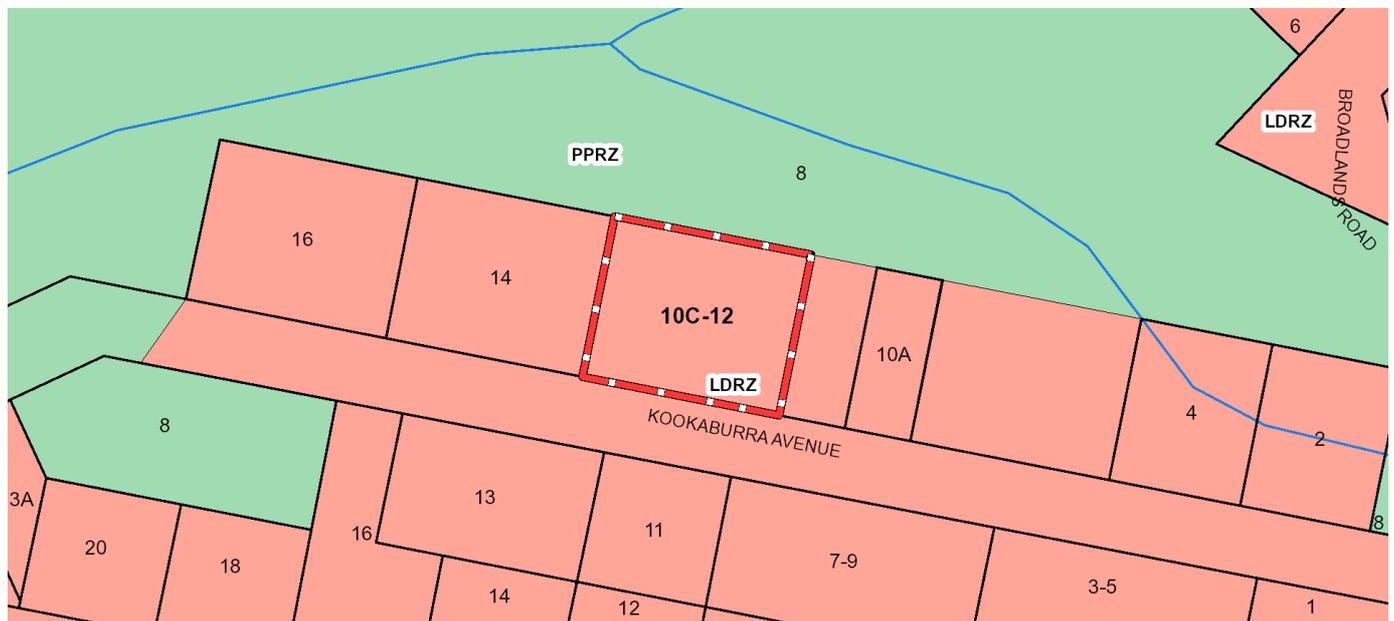
OTHER

Registered Aboriginal Party: **Gunaikurnai Land and Waters Aboriginal Corporation**

[View location in VicPlan](#)

Planning Zones

[LOW DENSITY RESIDENTIAL ZONE \(LDRZ\)](#)
[SCHEDULE TO THE LOW DENSITY RESIDENTIAL ZONE \(LDRZ\)](#)



LDRZ - Low Density Residential **PPRZ - Public Park and Recreation** **Water course**

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

PLANNING PROPERTY REPORT

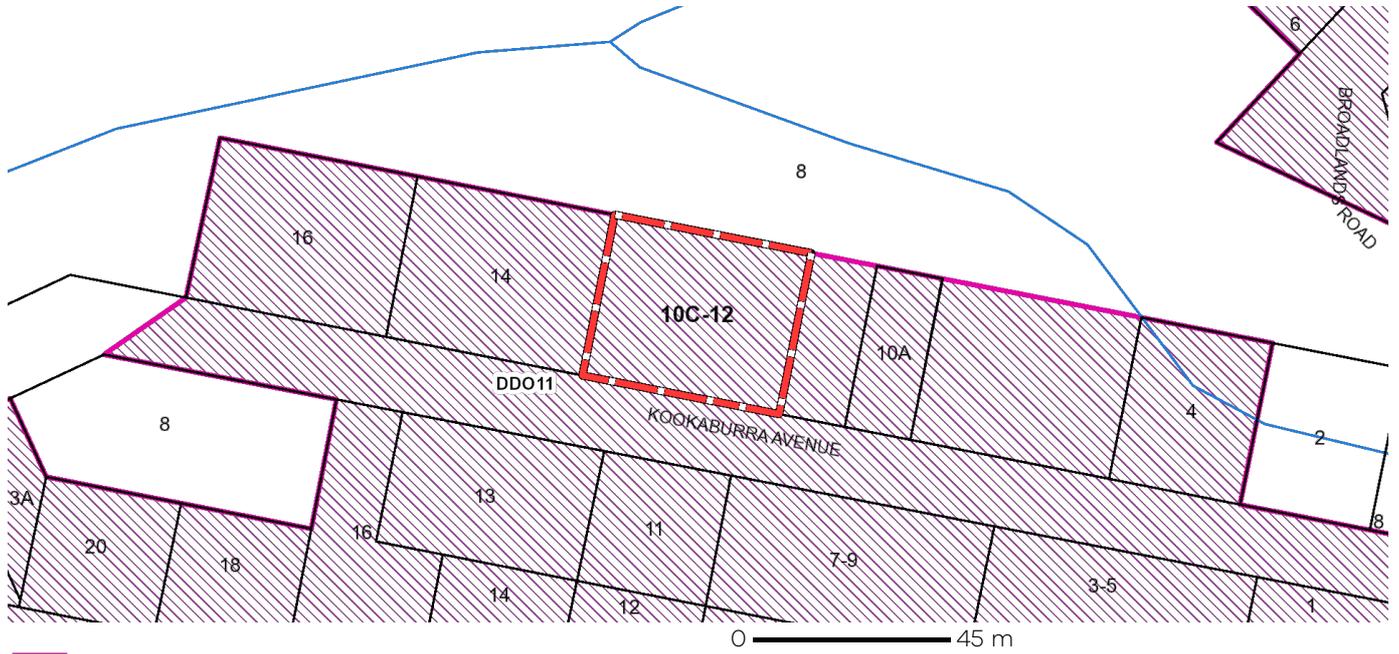
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Planning Overlays

DESIGN AND DEVELOPMENT OVERLAY (DDO)

DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 11 (DDO11)

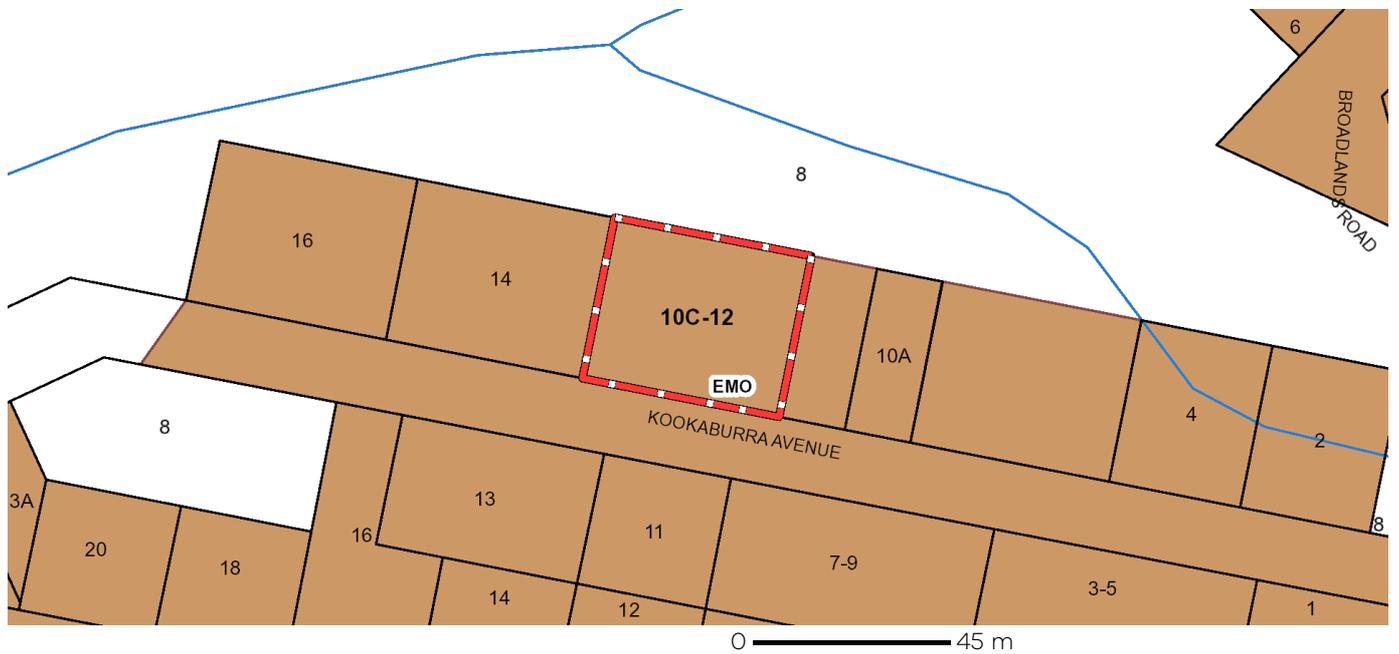


 **DDO - Design and Development**
 **Water course**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

EROSION MANAGEMENT OVERLAY (EMO)

EROSION MANAGEMENT OVERLAY SCHEDULE (EMO)



 **EMO - Erosion Management**
 **Water course**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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PLANNING PROPERTY REPORT

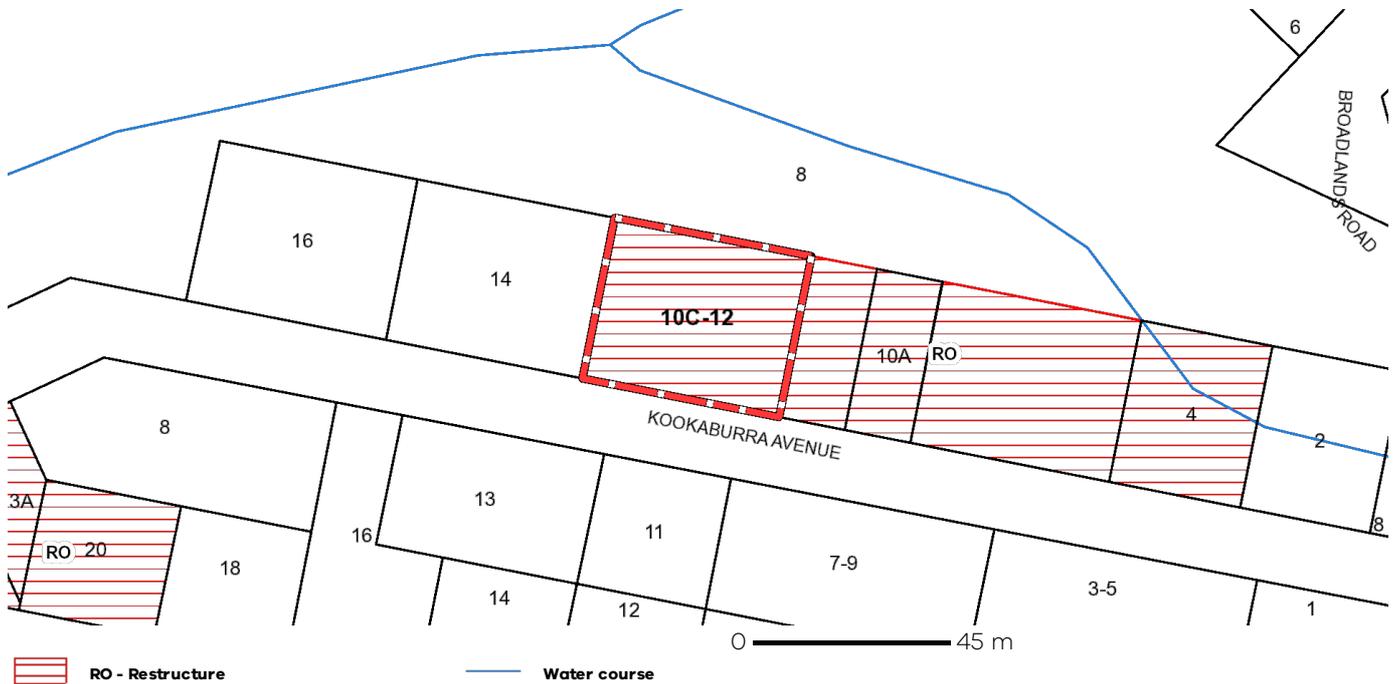
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Planning Overlays

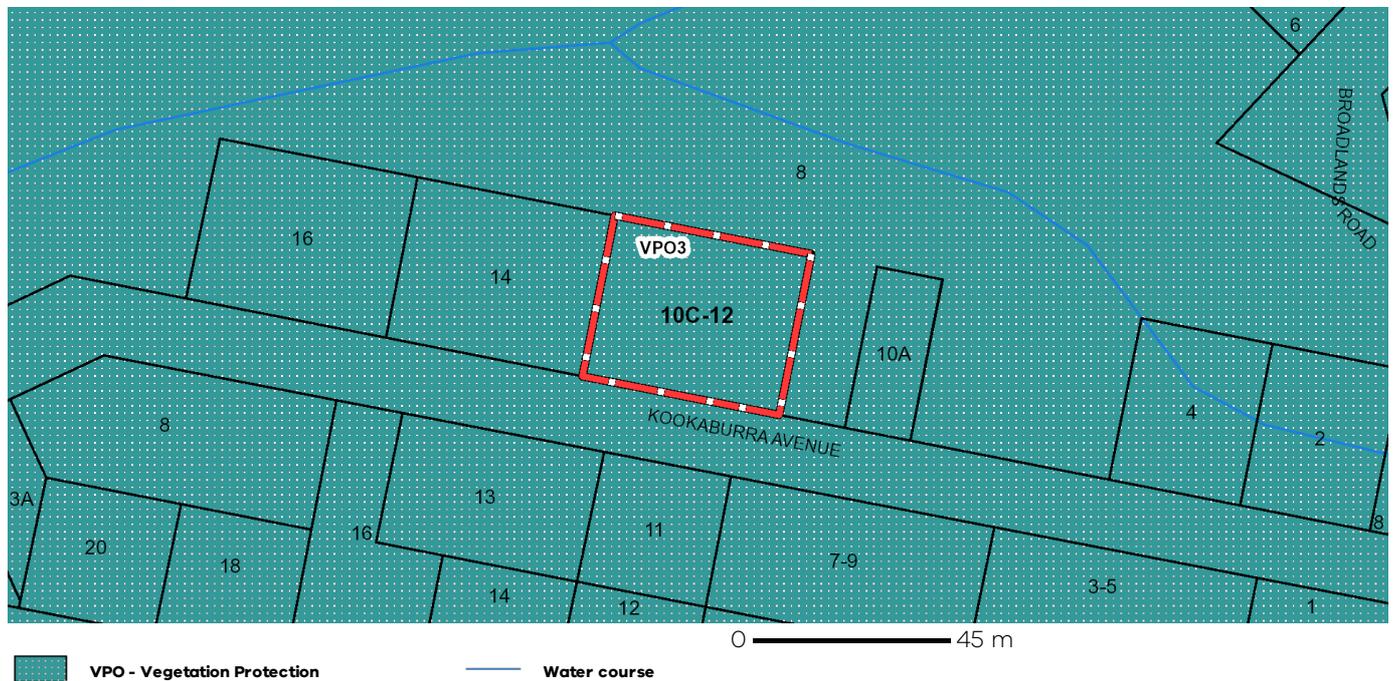
[RESTRUCTURE OVERLAY \(RO\)](#)

[RESTRUCTURE OVERLAY SCHEDULE \(RO\)](#)



[VEGETATION PROTECTION OVERLAY \(VPO\)](#)

[VEGETATION PROTECTION OVERLAY - SCHEDULE 3 \(VPO3\)](#)



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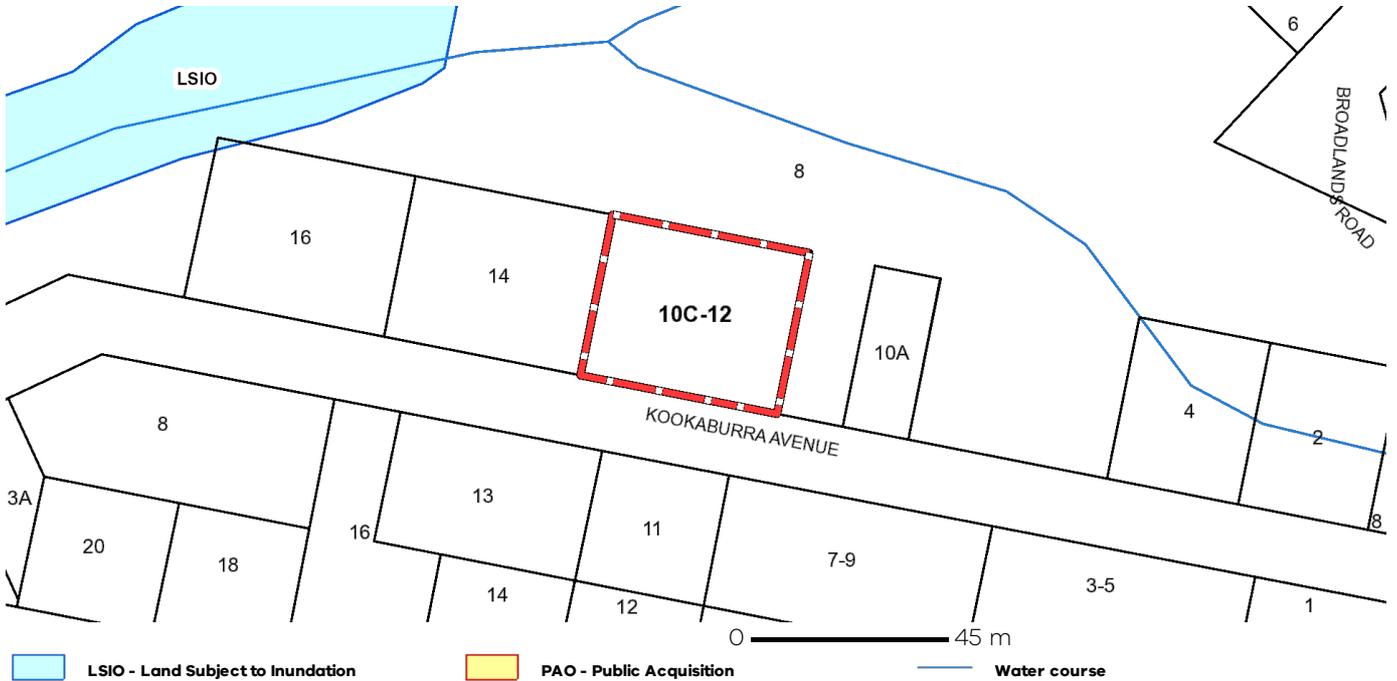
Planning Overlays

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)

PUBLIC ACQUISITION OVERLAY (PAO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Further Planning Information

Planning scheme data last updated on 28 October 2021.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

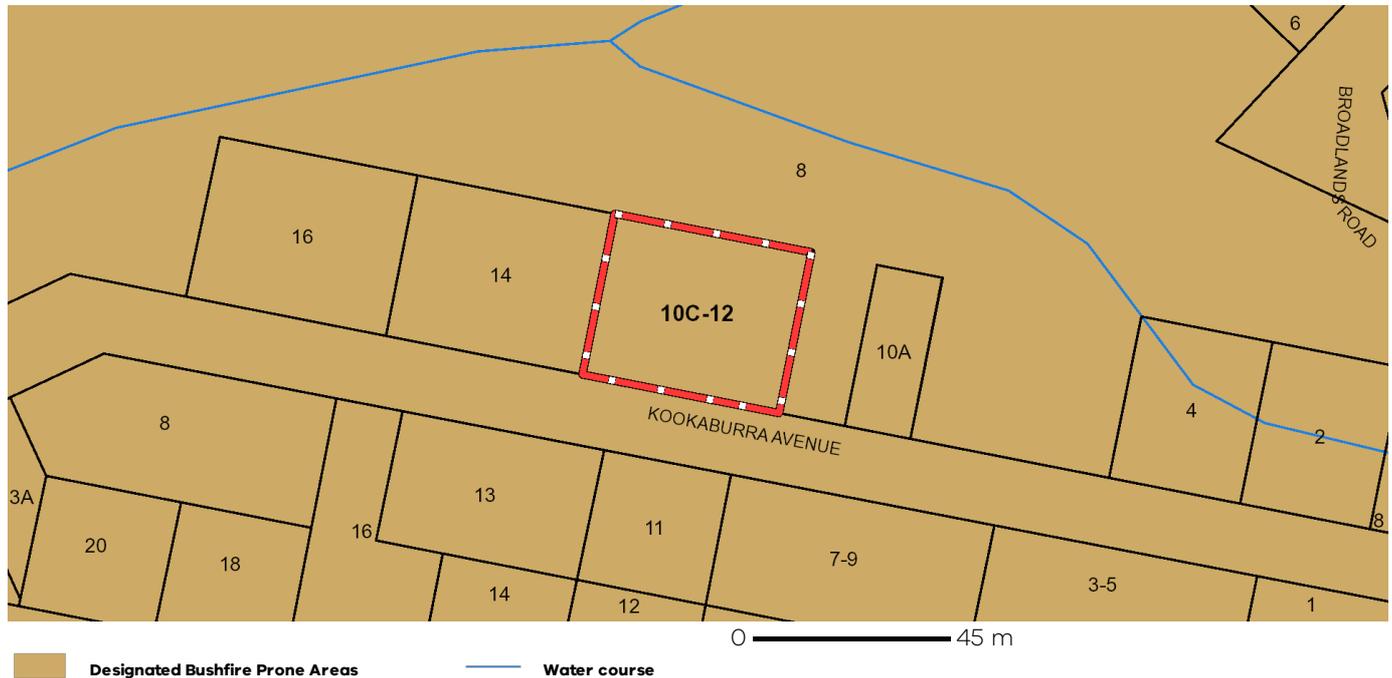
For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

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Designated Bushfire Prone Areas

This property is in a designated bushfire prone area.
Special bushfire construction requirements apply. Planning provisions may apply.



Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time.

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas.

Designated bushfire prone areas maps can be viewed on VicPlan at <https://mapshare.maps.vic.gov.au/vicplan> or at the relevant local council.

Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>

Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on his property and the application of Clause 52.17 please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](https://www.environment.vic.gov.au/) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](https://www.environment.vic.gov.au/)

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 Simon Anderson Consultants <small>CIVIL STRUCTURAL PROJECT ENGINEERS</small> P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266 P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065	Job: Proposed Residence 12 Kookaburra Ave Metung	Date: 20 Oct 2021 Designed: SJA
	Client: Beveridge Williams & Co.	Job No.: 417494
Checked:		Page No.: 1 of 4

GEOTECHNICAL RISK ASSESSMENT



12 Kookaburra Ave, Metung

INTRODUCTION

This report is designed to demonstrate the level of geotechnical risk involved in relation to the proposed dwelling at 12 Kookaburra Avenue, Metung, during and after construction of associated works.

Note that in accordance with “Guidelines for Landslide Susceptibility” Section 5: Landslide Zoning; the subject site would not be considered in a landslide hazard zone.

SITE DESCRIPTION

This Low Density Residential Zoned allotment (1756m²) is located on the north side of Kookaburra Avenue (bitumen sealed with concrete kerb & channel drainage). The subject site is currently vacant land with excellent grass cover and moderate falls north, towards the rear of the property. A low lying wetlands marsh area is situated adjacent to the sites north boundary.

The properties to both the east and west of the subject site are currently vacant land. A large tree is situated within close proximity of the proposed shed location.

PROJECT DETAILS

A single storey residential dwelling and detached shed is proposed for the site. The construction details are as follows;

- Due to the sloping nature of the site the house will be timber floor with concrete stumps and footings. This will result in the least amount of disturbance to the sites topsoils.
- The construction of the dwelling and shed will result in the diversion of a large amount of rainfall from the site. Roof catchment water will be collected by a system of gutters/downpipes and directed to LPOD.
- The construction of Engineer designed retaining walls with appropriate surface and sub-surface drainage to the east end of the dwelling will provide a level, underfloor parking area.
- A stabilised vehicle access point is to be provided during and after construction.
- It is anticipated that all building and drainage works will be completed within 12 months from their commencement. A further 12 months may be required for completion of landscaping works.

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	<p>Client: Beveridge Williams & Co.</p>	<p>Designed: SJA</p>
<p>Checked:</p>	<p>Job No.: 417494</p>	
<p>Page No.: 2 of 4</p>		

METHODOLOGY

1. DESKTOP INVESTIGATION

Soils of the site have been mapped and described in Sustainable Soil Management “A reference manual to the major agricultural soils of the Bairnsdale and Dargo regions” and are described as belonging to the Stockdale (Sd) map unit. This unit occurs on rolling low hills and is comprised of Tertiary sediments and sands. Most of the land is cleared and used for grazing. East of Swan Reach most of the land is covered by lowland forest.

The soils of the Stockdale map unit are texture contrast soils, with a variable depth of sand or sandy loam overlying a medium to heavy clay subsoil at about 30 to 50cm. Deep sands occur over about 30% of the area, as was encountered on the subject site.

Soil Profile Morphology – Stockdale (Sd) Map unit

Surface soil

- A1** 0 – 300 Dark greyish brown (10YR4/2); *sandy loam*; weak medium (10 – 20 mm) polyhedral structure; firm moist; clear wavy change to:
- A2** 300 – 500 Pale brown (10YR6/3) conspicuously bleached (10YR/8/1d); *sandy loam or loamy sand*; apedal, single grain; firm consistence dry; sharp change to:

Subsoil

- B21** 500 – 800 Yellowish brown (10YR5/6); *heavy clay*; moderate coarse (20 – 50 mm) polyhedral structure; strong consistence, moist; diffuse change to:
- B22** 800 – 1m Yellowish brown (10YR5/6) with greyish brown (10YR5/2) and increasing yellowish red (5YR5/6) mottles; *heavy clay*; moderate coarse (20 – 50 mm) lenticular structure; strong consistence moist.



Key profile features

- Strong texture contrast between the surface (A) horizons and subsoil (B) horizons.
- Conspicuously bleached subsurface (A2) horizon.

2. FIELD INVESTIGATION

A site visit was carried out with an inspection of the area of the proposed dwelling and of nearby landforms, features and developments. Soil investigation bores were taken on the site (B1-B2) as shown on site plan, page 4.

Typical Soil profiles of the site are detailed below.

SITE SOIL PROFILE	00	Dk Grey/Brown, Dry, Sandy	TOPSOIL	
	100			
	200	Grey/Brown, Dry, Dense, Silty	SAND	
	300	Paler with depth		
	400			
	500			
	600	Yellow, Dry, Very Dense, Gravelly	SAND	
	700			
	800			
	900			
	1000			
	1100			
1200				

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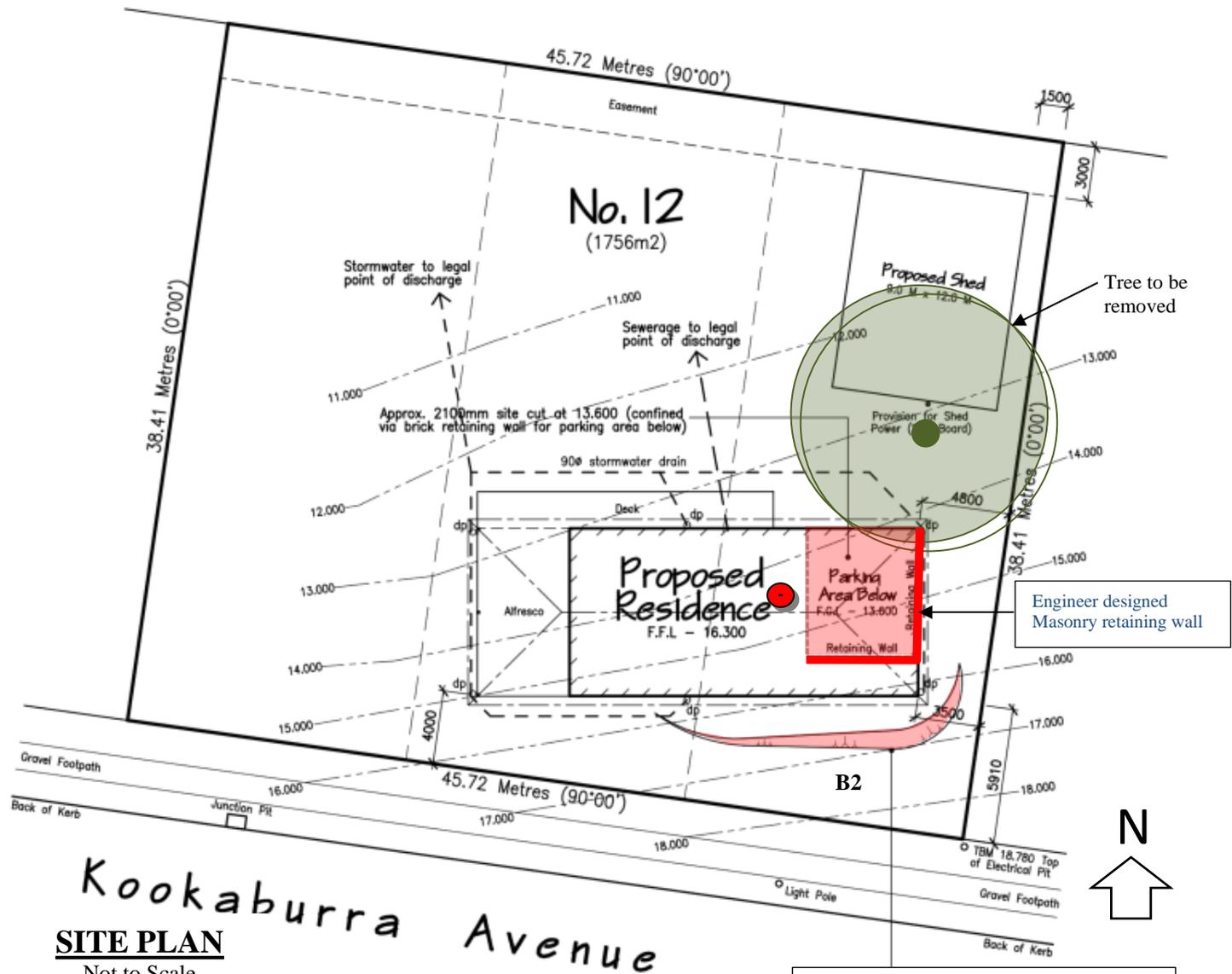
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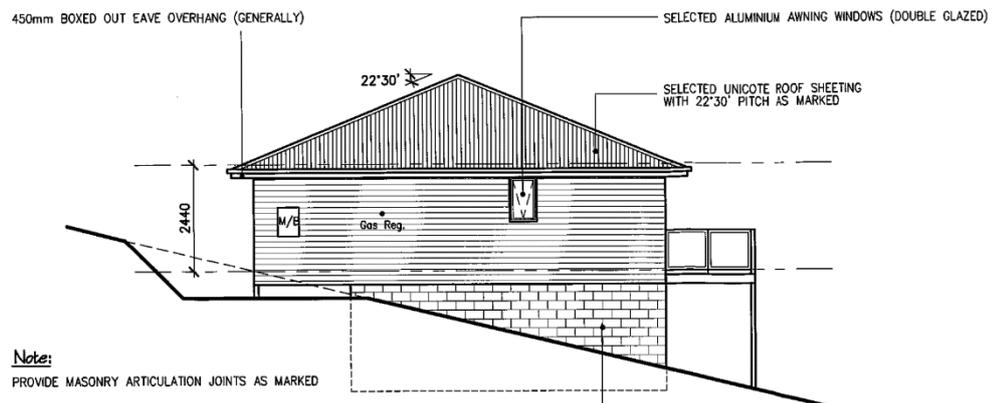


SITE PLAN
Not to Scale

Note: Contour Interval is 1.0m

● Denotes approximate test bore location

All cut batters (1 in 2 max) to be re-sod and sown with local grasses



East Elevation 1:100

Engineer designed masonry retaining wall with appropriate surface and sub-surface drainage



BAL-12.5 - Bushfire Attack Level Requirements
Must comply with AS 3959-2018 - Sections 3 & 5

Sub-Floor Supports:

No special construction requirements.

Floors:

No special construction requirements.

External Walls:

External Walls - Parts less than 400mm above ground or decks etc to be of non-combustible material, 6mm fibre cement clad or bushfire resistant/naturally fire resistant timber.

External Windows:

Protected by bushfire shutters or completely screened with steel, bronze or aluminium mesh, or 4mm Grade A safety glass or glass blocks within 400mm of ground, deck etc. Openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber. Fitted tight and provided with a seal at the head and stiles and draught excluders at the sill.

External Doors:

Protected by bushfire shutters or screened with steel, bronze or aluminium mesh or glazed with 5mm toughened glass, non-combustible or 35mm solid timber for 400mm above threshold, metal or bushfire resisting timber framed for 400mm above ground, decking etc, tight-fitting with weather strips at base. Door framing can be naturally fire resistant (high density) timber.

Water & Gas Pipes

Water and gas pipes are required to be metal above ground and the metal pipe must extend 400mm into the wall and 100mm underground.

Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Alternatively, sarking-type material can be applied over the frame prior to fixing any external cladding.

Vents & Weepholes

All vents, weepholes & gaps in the external walls shall be screened except for weepholes in the sills of windows and doors.

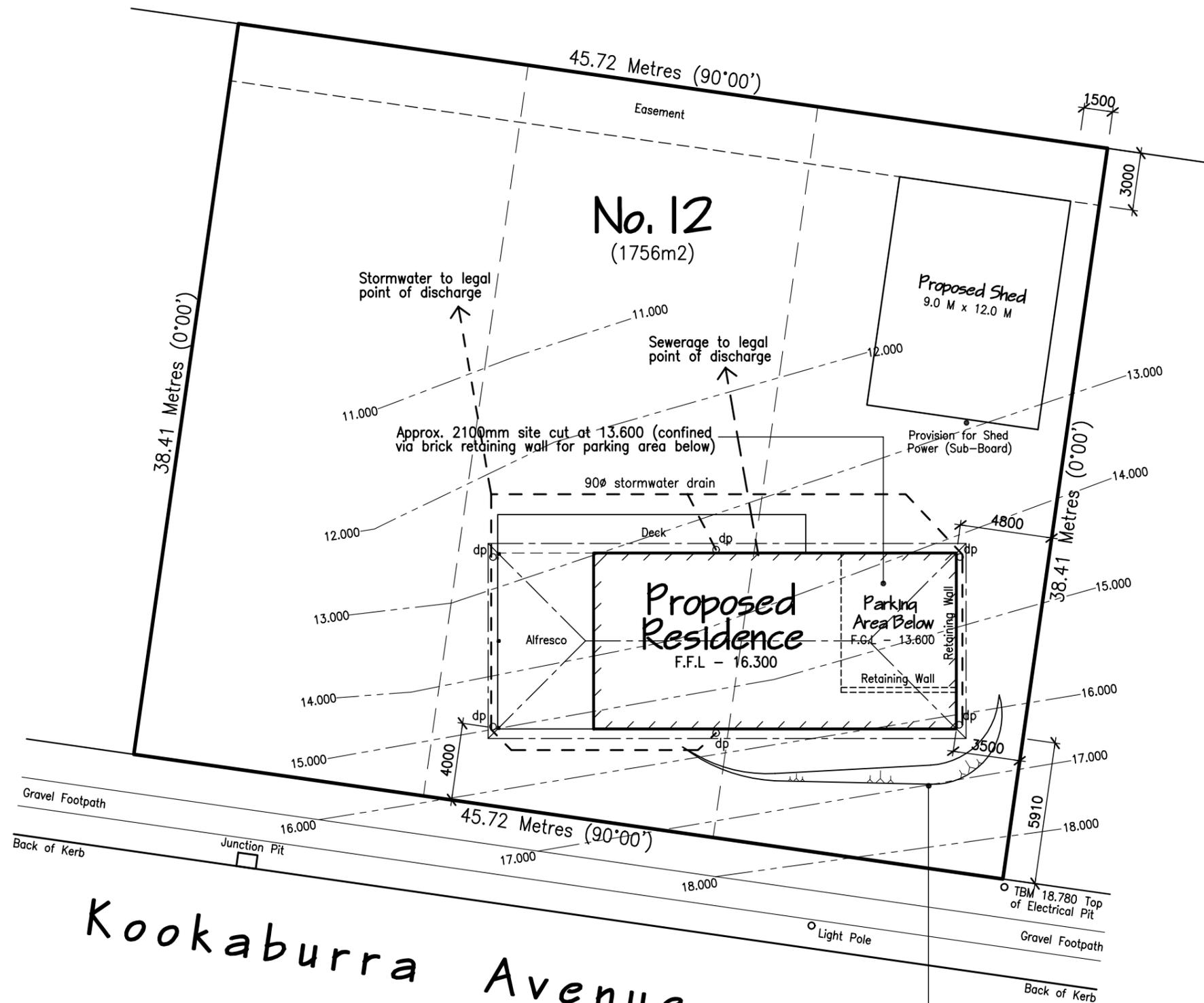
Roofing:

Non-combustible covering. Roof/wall junction to be sealed. Roofs to be fully sarked. Roof penetrations, including roof lights, roof ventilators, roof mounted evaporative cooling units, aerials, vent pipes & supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used to seal the penetration shall be non-combustible.

Verandahs/ Decks:

Enclosed sub-floor space - no special requirements for materials except within 400mm of ground. No special requirements for supports or framing. Decking to be non-combustible or bushfire resistant within 300mm horizontally and 400mm vertically from glazed element.

Verandah posts must be either timber fixed on a galvanised shoe or stirrup 75mm above the adjacent finished surface or where less than 400mm from the surface of the deck be non-combustible or bushfire resistant timber.



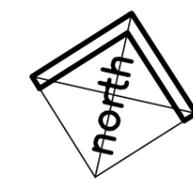
Approx. 1000mm site cut at 15.900 with 45° batter and earthen spoon drain to base to front corner

Proposed Site Layout Plan 1:250

Note:
Stormwater to be connected to legal point of discharge to local authority approval
Sewerage to be connected to legal point of discharge to local authority approval

Site Area Calculations:

Total Site:	1756m ²	Paving:	0m ² (0%)
Proposed Buildings:	251m ² (14%)	Garden Area:	1505m ² (86%)



WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

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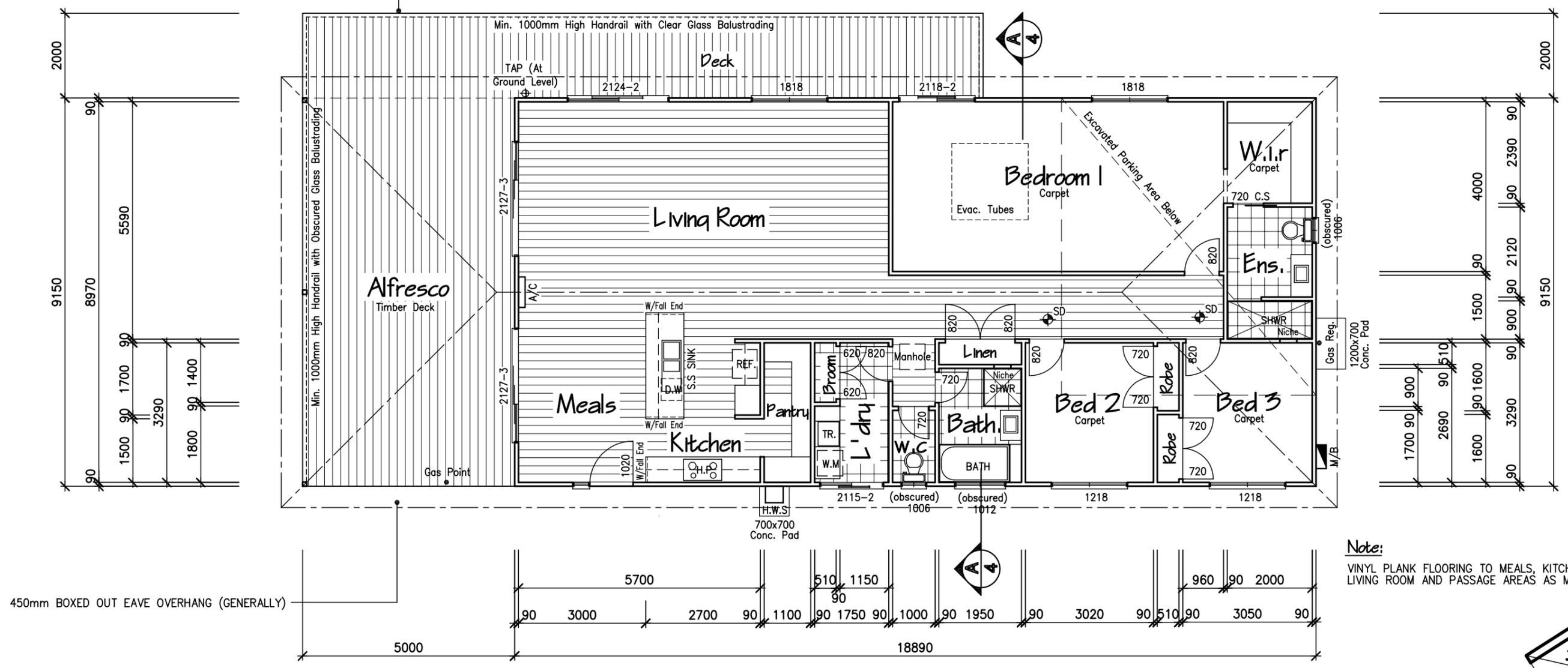
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			W Mangle	No. 10-12 Kookaburra Avenue, Metung	8 OF 8	A3		A	PRELIMINARY DRAWINGS	8/8/21
			DRAWING TITLE:		JOB NO: 210408			B	WORKING DRAWINGS	20/8/21
			SITE PLAN - SCALE 1:250		DRAWN: CRAIG WIGHT					

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Note:
 PROVIDE WHIRLY BIRD ROOF VENTILATOR TO ROOF SPACE AS REQUIRED
 ALL EXHAUST FANS TO BE VENTED EXTERNALLY

Note:
 PROVIDE MASONRY ARTICULATION JOINTS AS MARKED
 GLAZING TO COMPLY WITH AS 1288 & 2047

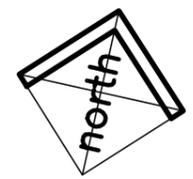
MIN. 1000mm HIGH HANDRAIL WITH SELECTED GLASS
 BALUSTRADING TO ALFRESCO AND DECK AREAS AS MARKED



Proposed Floor Plan 1:100

Note:
 PROVIDE TOILET DOORS WITH REMOVABLE HINGES
 WHERE INTENAL LENGTH IS 1900mm OR LESS

Note:
 VINYL PLANK FLOORING TO MEALS, KITCHEN, PANTRY,
 LIVING ROOM AND PASSAGE AREAS AS MARKED



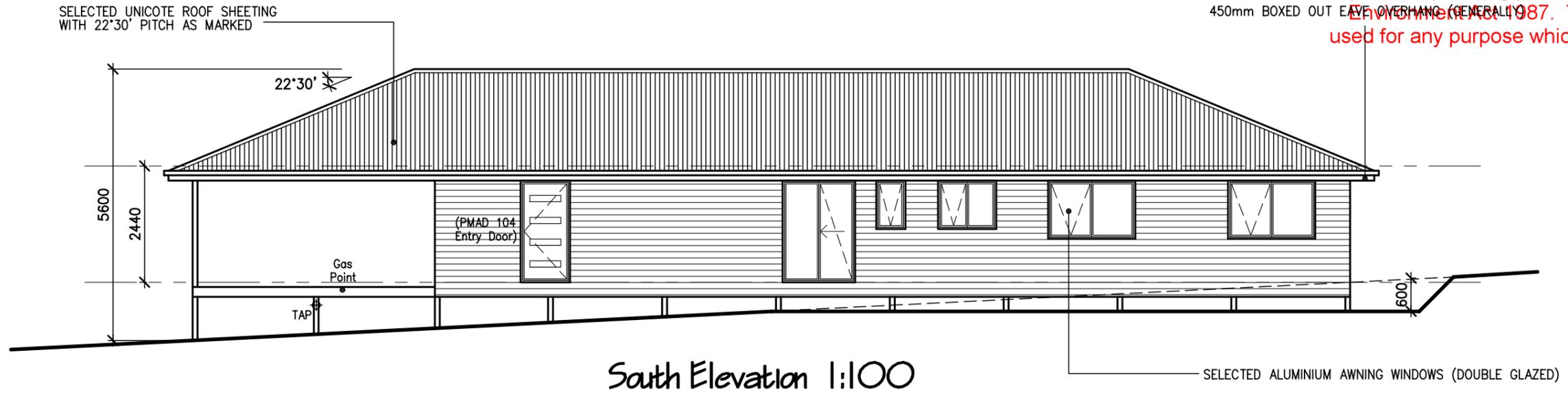
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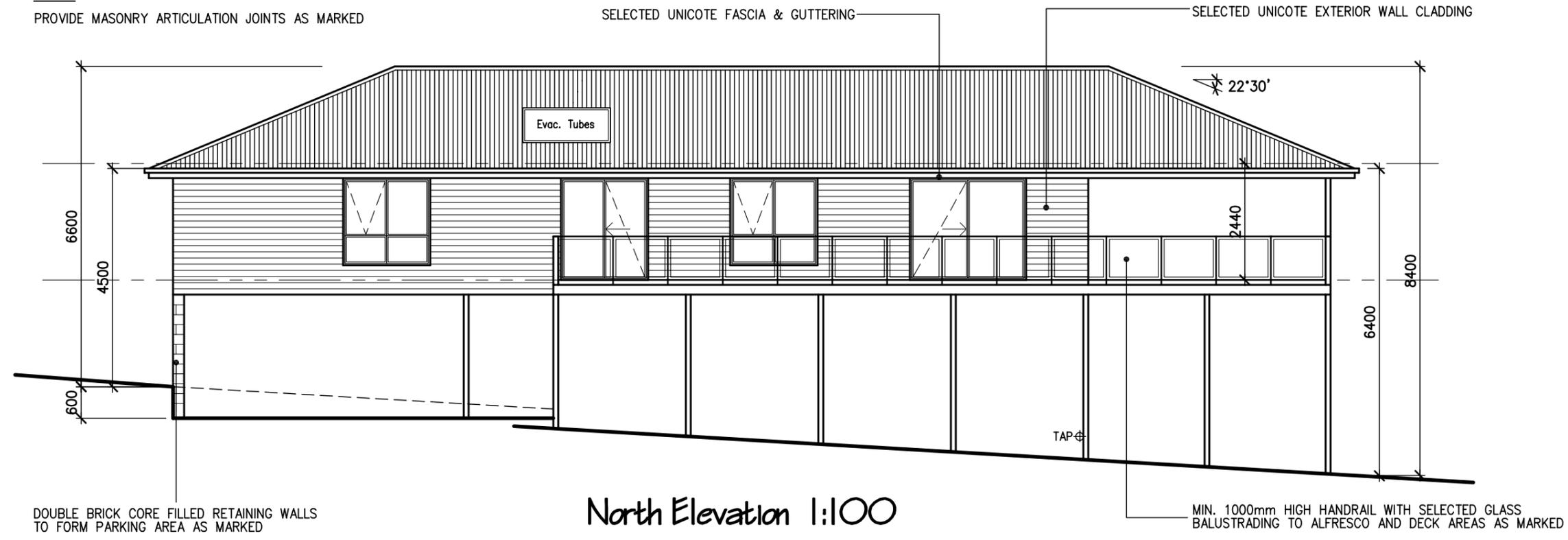
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			DRAWING TITLE:		JOB NO: 210408		TOTAL: 250.67m ²	B	WORKING DRAWINGS	20/8/21
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Note:

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CLIENT: **W Mangle**
 DRAWING TITLE:
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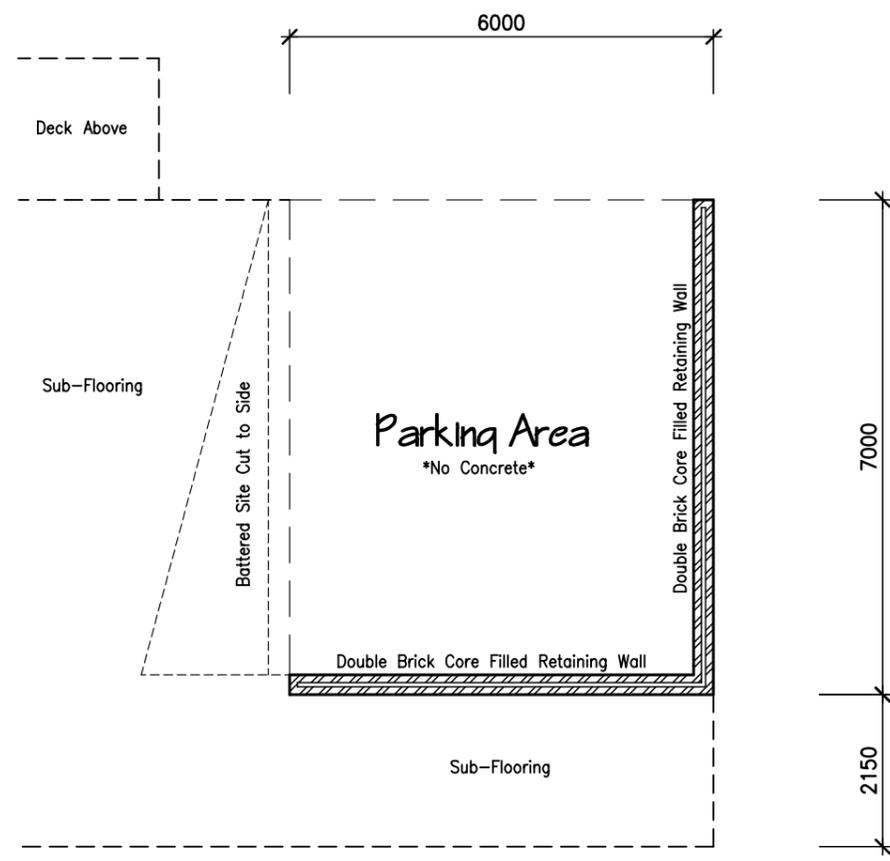
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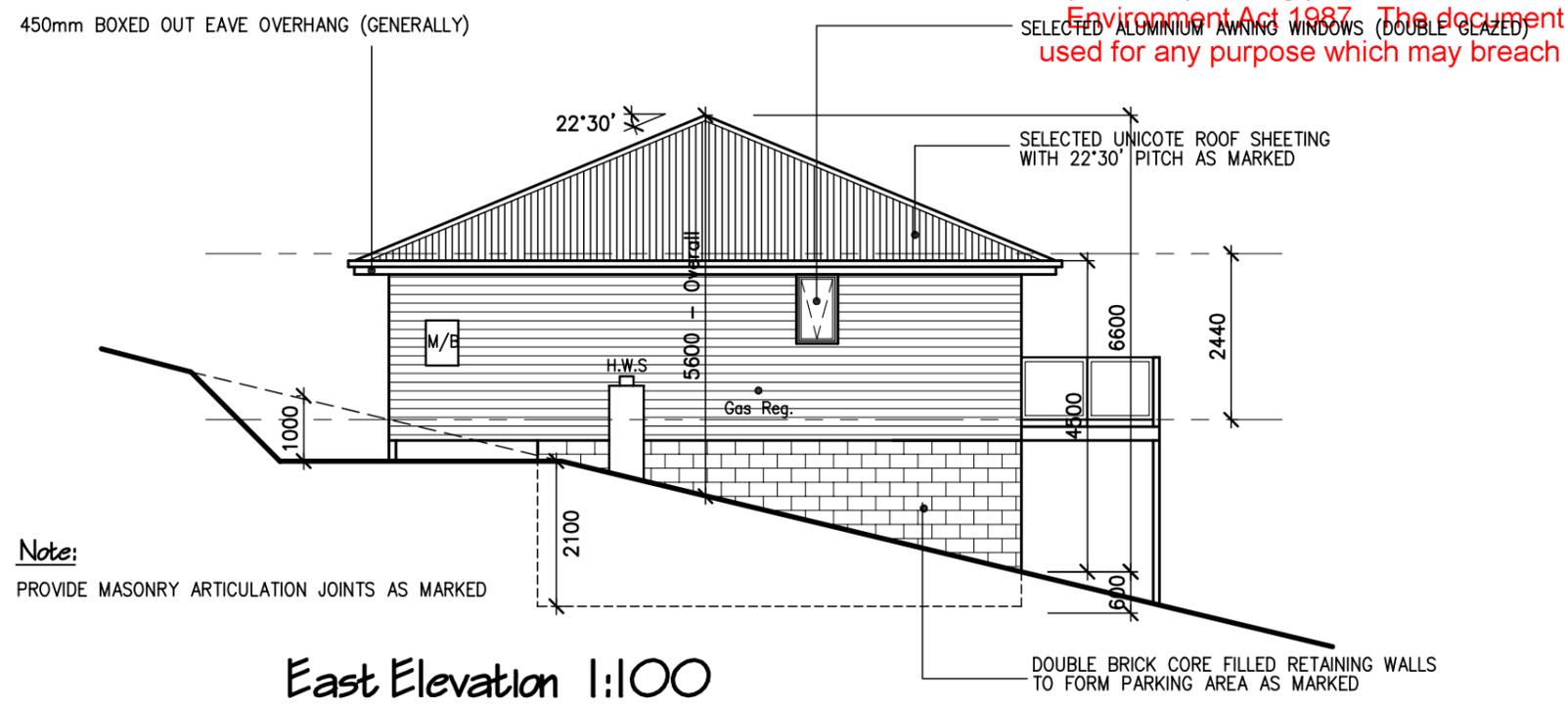
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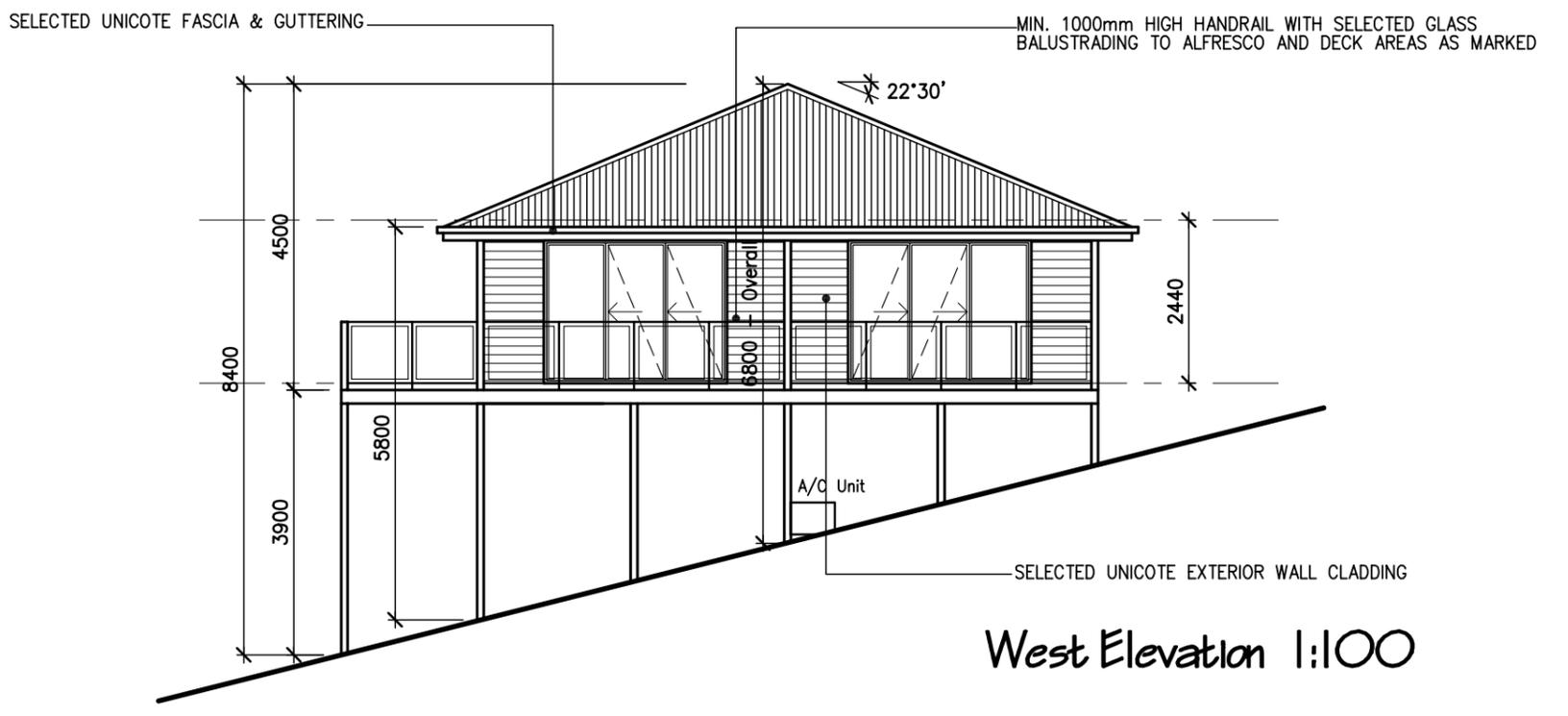
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Sub-Floor Plan 1:100



East Elevation 1:100



West Elevation 1:100

Note:
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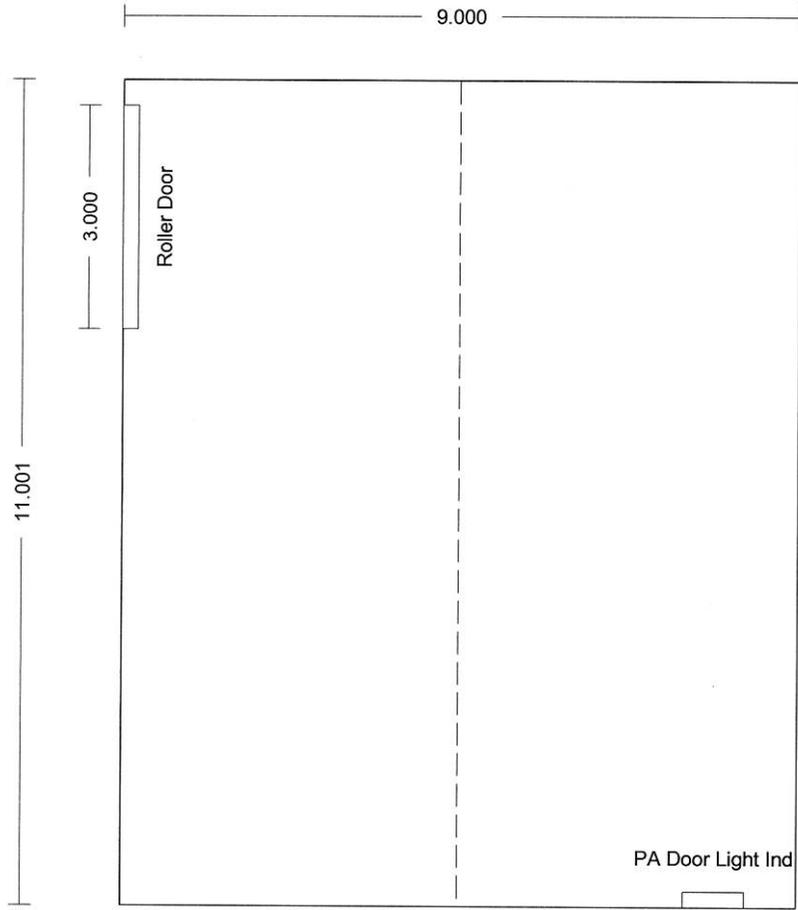
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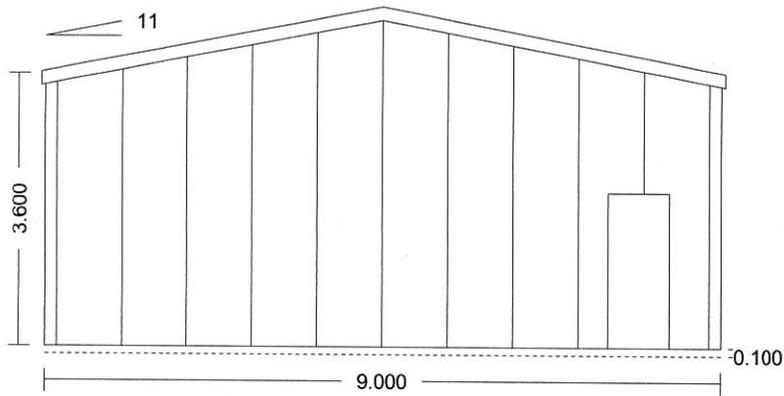
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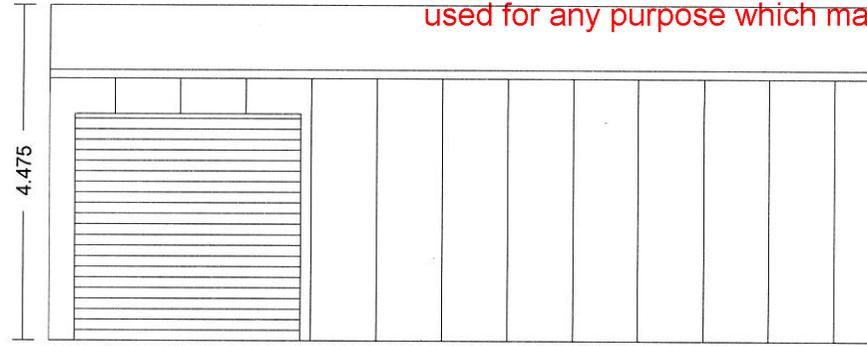
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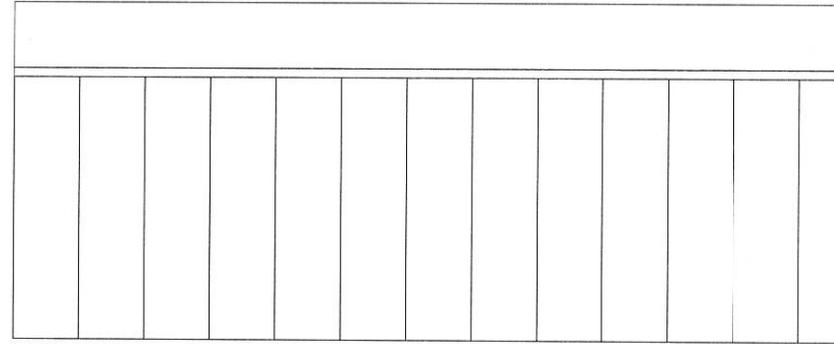
PLAN



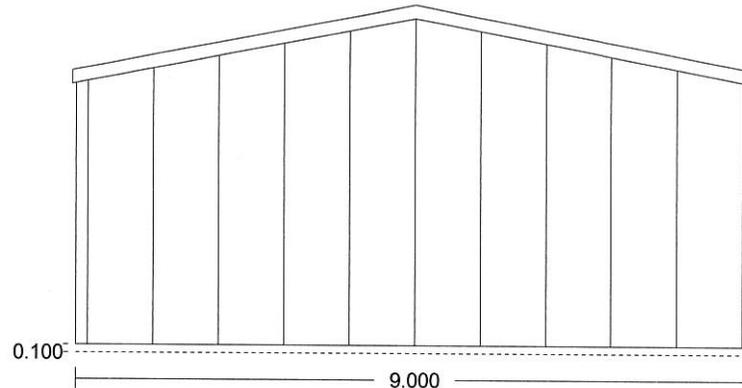
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

JBT CONSTRUCTIONS

41 McCulloch Street Bairnsdale Vic 3875

NOT FOR CONSTRUCTION

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PROPOSED Shed 9.000x11.001x3.600

At 10C-12 Kookaburra Drv Metung

For Bill Mangle

Wall Colour - TBA

Roof colour - TBA

Barge Colour - TBA

Roller Door Colour - TBA

Job No

Quote No

Scale 1:100

All Work To Be In Accordance With Accompanying Engineers Details