

**RE-IMAGINE**  
Transform and realise  
opportunities

**CONNECT**  
People and places

## ENJOY

Diverse community  
and commerce

# RE-IMAGINING BAIRNSDALE MASTERPLAN

# PUBLIC REALM WORKS, PRIORITIES AND COSTS

## VOLUME 2





# ACKNOWLEDGEMENTS

This document has been prepared under the guidance of key stakeholders representing the East Gippsland Shire Council, the Bairnsdale CBD reference group, community representatives, local traders and business representatives. It has been written by Message Consultants Pty Ltd in collaboration with MDG Landscape Architects, Crossco Consulting and Traffic Works.

The detailed precinct plans for the Nicholson Street Mall and Main Street Gardens have been prepared and documented by MDG Landscape Architects and Crossco Consulting.

*“...After the assistant Surveyor’s provision of ample tempting space [in Main St], one can wrongly suspect the town of perpetual poverty, and uneasily of poverty of imagination.*

*Generations of citizens seem to have missed a point and misused a heritage and an opportunity.”*

Hal Porter, *Bairnsdale: Portrait of an Australian Country Town*, 1976.

The aim of this Masterplan is to turn Porter’s sentiment on its head.



# CONTENTS

**PART 1**  
**THE MASTERPLAN**

The Aims of the Masterplan

The Structure of the Masterplan, Volume 2

Masterplan Vision

Pedestrian connection principles

Greening Bairnsdale

Paving Bairnsdale

Typical intersection treatments

Wayfinding signage

3

3

3

4

6

11

14

15

**PART 2**  
**KEY PROJECTS**

Nicholson Street Mall

Main Street Gardens

Connection to Mitchell River

Laneways

17

20

24

26

**PART 3**  
**PUBLIC REALM GUIDLINES**

Pavement materials and streetscape elements

Surfaces and finishes themes

Streetscape furniture themes

Example of streetscape elements

28

28

29

30

**PART 4**  
**IMPLEMENTATION PLAN**

Masterplan: proposed staging and priority works

Priority works and costings

32

33

RE-IMAGINING BAIRNSDALE: MASTERPLAN — PUBLIC REALM WORKS, PRIORITIES AND COSTS — VOLUME 2 2



# PART 1

## THE MASTERPLAN

The key objectives of Council's *Bairnsdale CBD Improvement Project Brief* are to:

- Create visually cohesive and functional spaces through the development of unified urban design themes that reflect the history and varied functions of the CBD;
- Improve vehicle, pedestrian and cycle circulation and movement patterns around the CBD;
- Enhance the linkages and the relationship between the CBD and the Mitchell River environs;
- Enhance the functionality, operation and amenity of the environs of Nicholson Street, Service Street and Bailey Street, north of Main Street as part of the retail core;
- Progress the relevant recommendations, strategies and objectives of the Bairnsdale Growth Strategy, Bairnsdale CBD Walking and Wayfinding Study, Bairnsdale CBD Car Parking Strategy and the Bairnsdale CBD Business Plan;
- Involve the local community and key stakeholders in the design process to engender community support and ownership of the CBD's public spaces.

In summary, the overall objective of the Bairnsdale CBD Improvement Masterplan is to:

- “Prepare an overall plan that identifies key improvements to pedestrian movements; road networks and traffic circulation; linkages; laneways; nodes; land use relationships; recreation; community and event space; and identifies key sites/locations for priority design attention.”

### THE AIMS OF THE MASTERPLAN

The aim of the Masterplan work is the development of a contemporary, vibrant urban centre in Bairnsdale with public spaces that support commercial and social activity and a more sustainable city. The Masterplan provides a framework for re-imagining Bairnsdale in the 21st century as a sustainable, multi-faceted city with connected and interesting public spaces.

### THE STRUCTURE OF THE MASTERPLAN, VOLUME 2

Volume 2 is in four parts;

- Part 1 — The masterplan
- Part 2 — Key projects
- Part 3 — Public realm guidelines
- Part 4 — Implementation plan.



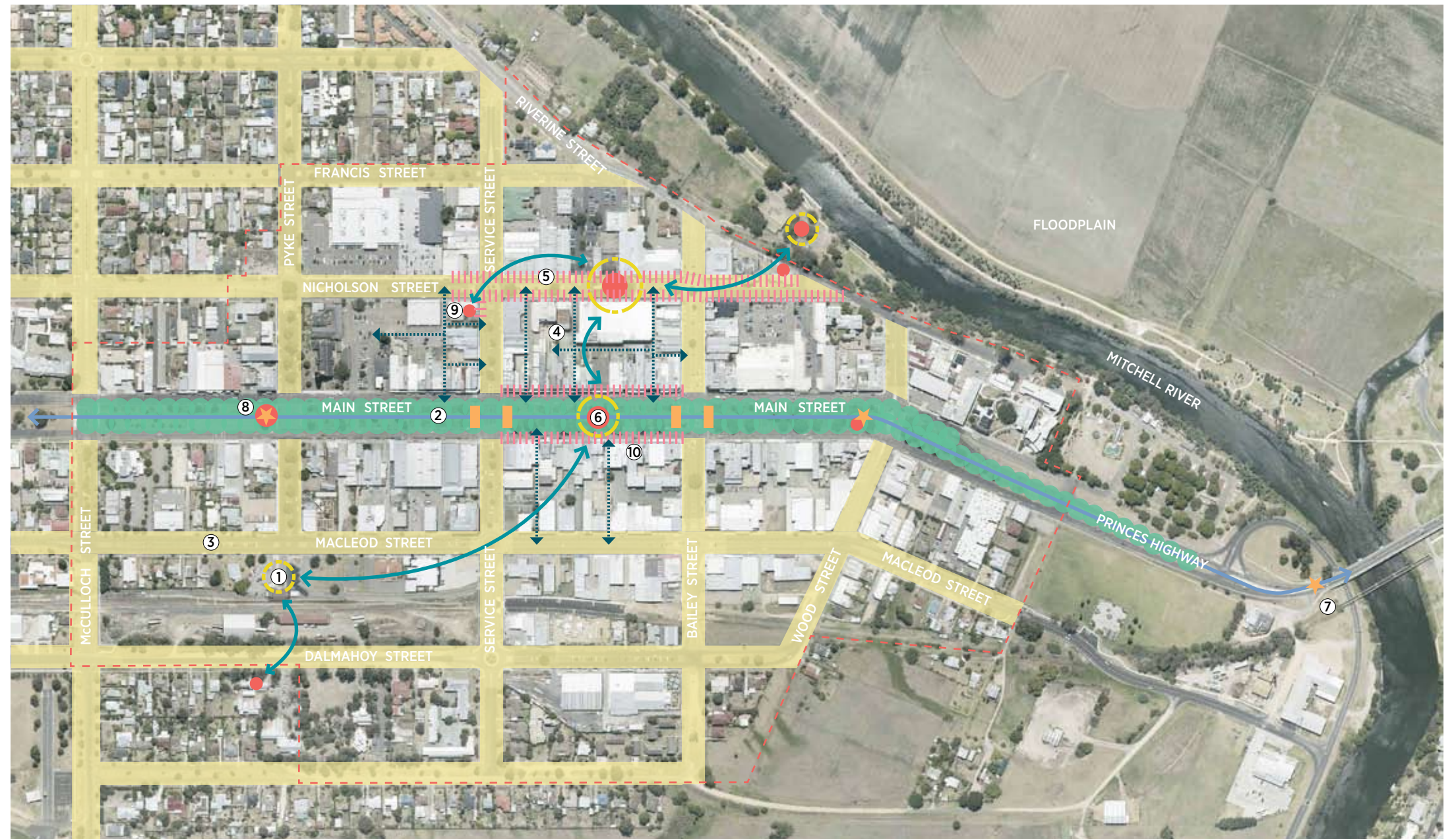
## MASTERPLAN VISION

### Revitalise the core of Bairnsdale

The Key Aims for the Masterplan Vision are to:

- Create a more diverse public realm;
- Encourage people to walk rather than drive;
- Create a sense of street life and activity after dark;
- Activate public spaces with events and activities to make them feel safe and inviting;
- Increase residential occupation of the city core;
- Improve the sense of connection and provide physical connections between the Mitchell River and the city core.

The primary objectives address the key aims of the Masterplan Vision and are illustrated on the plan.



Masterplan Vision

### Primary Objectives

#### LEGEND

--- Study area



1 Focus on connecting the retail core to the Main Street Gardens, the Mitchell River, the train station and Keeping place.



2 Create a consistently planted 'grand boulevard' on Main Street.



3 Green Bairnsdale Streets with tree planting.



4 Activate the laneways by improving their walkability and connection between major streets.



5 Redesign the Nicholson Street Mall



6 Create focal points in these locations, for community and public events.



7 Define and highlight entry points to create a clear sense of 'entry' and 'arrival' in the core of the town.

8 Establish a use for the Water Tower to highlight its iconic status and heritage.

9 Connect the library to the Nicholson Street Mall with new pavement and tree planting.

10 Improve the sense of connection between the north and south sides of the core by defining and activating the laneways.



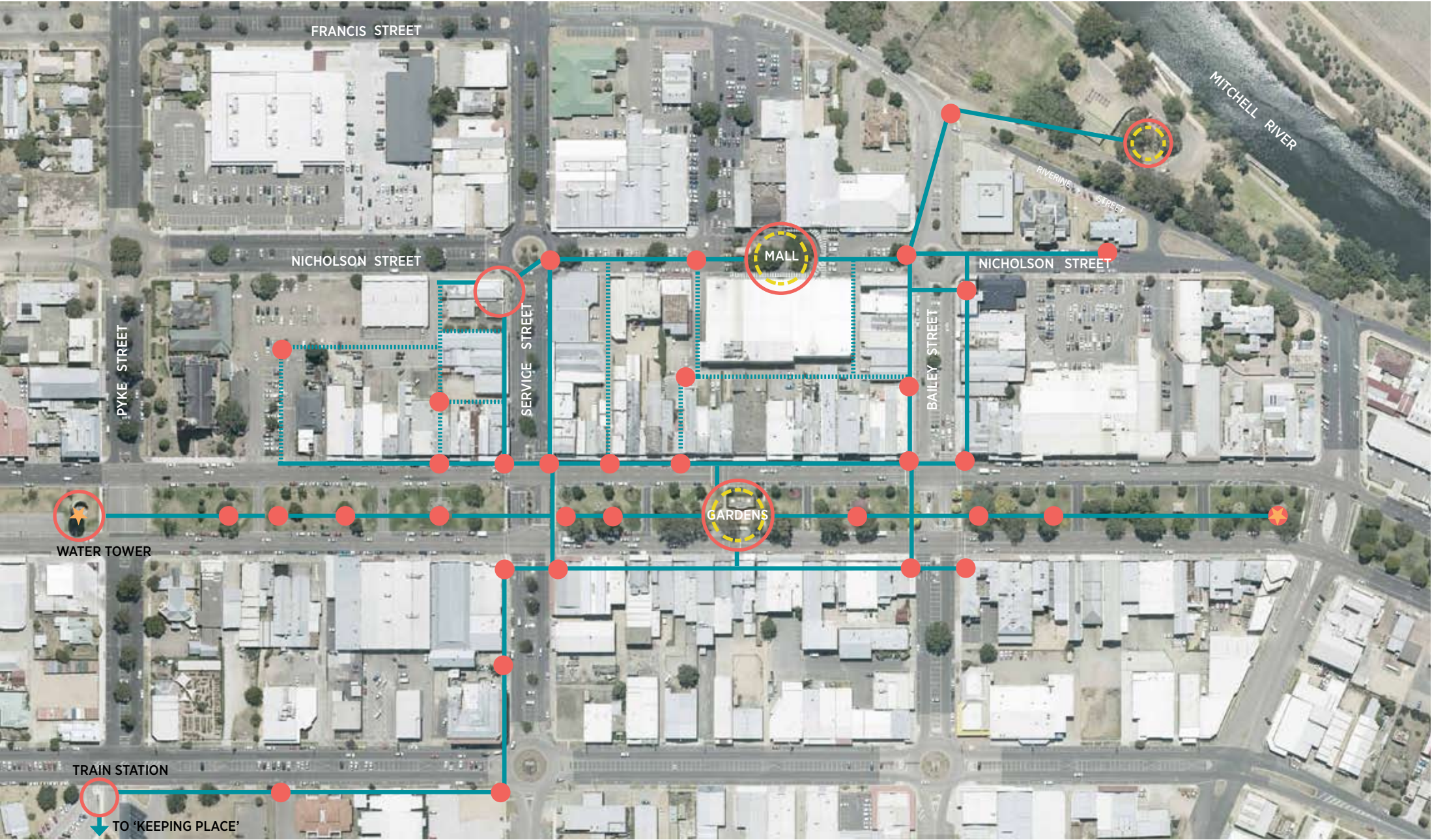
# PEDESTRIAN CONNECTION PRINCIPLES

The pedestrian connection principles are predicated on the following observations;

- Pedestrians and cyclists are the most vulnerable on the street
- Bairnsdale has the structural bones to make it a walkable, cyclable city
- This does not require large scale interventions like many cities
- The principal 'long desire line' is from the rail station to Main Street, then the Mall, then the river
- The principal 'short desire line' is from the core Main Street Gardens between Bailey and Service Streets to the Mall
- The walking connections should be punctuated with 'pause' points every 100m to help ensure a sense of safety through passive surveillance
- Major destinations like the Mall, Rail station and Main Street Gardens should be focal points for activities carried out in the town.

Key objectives:

- Create logical points to 'stay' or 'pause' within the CBD



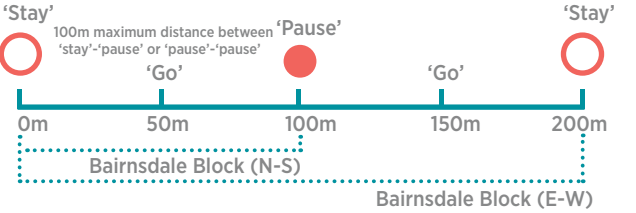
Pedestrian Connection Principles

## LEGEND

- Key Focal Area
- 'Gateway'

- Major Destination
- Minor Destination / Pause Point
- Linkage Opportunities

## PEDESTRIAN MOVEMENT ANALYSIS





## GREENING BAIRNSDALE

This is an important component of the Masterplan and can be undertaken in stages. The primary objective of the Greening Bairnsdale Strategy is to “Create a sustainable city centre with high quality and consistent street tree patterns”. This can be achieved by increasing the tree canopy cover within the city core with street tree planting. Strategic planning for tree planting works can be undertaken by:

1. Scheduling a tree planting program for a specific area or streetscape based upon an annual budget allocation;
2. Including tree planting as part of a major project; i.e. as part of the Nicholson St Mall works;
3. Planting a small number of trees based upon available funds that have not been allocated for other projects;
4. Including tree planting as part of community participation program or permit application where there may be monetary co-contribution from the community for tree planting along a specific street frontage or area.

Costs for the tree planting programme are included in Table 2 of this report.

The costs for the proposed street tree planting are based upon the following assumptions:

- Trees are to be generally planted a minimum of 12 to 15m intervals along the street. This spacing will be dependent upon the tree species to be planted and the specific street and whether the trees are to be planted within the street reserves (verges) or within pavement. The width of street reserves (verges) varies depending upon the street location and the function of the reserves (e.g. wide reserves to reduce road width).
- To establish the preliminary quantities of street trees required, the typical street grid pattern and length of road corridor can be used to calculate the quantities. Generally the street alignments within the defined city core are based upon a consistent grid pattern and within this grid pattern there are generally two typical types of road corridor present:

- 1. North/South roads (Pyke, Service and Bailey) which are based upon approx. 100m length of road between each intersection (i.e. section of Service St between the MacLeod St and Main St intersections).

- 2. East/West roads (MacLeod, Main, Nicholson) which are based upon approx. 200m length of road between two intersections (i.e. section of Nicholson St between the Service St and Bailey St intersections).

- The location of centre medians and the potential for the medians to be planted, however there is no consistent pattern of centre median placement or if they can be planted.

- Spacing and number of trees to be planted will also be dependent upon the following:

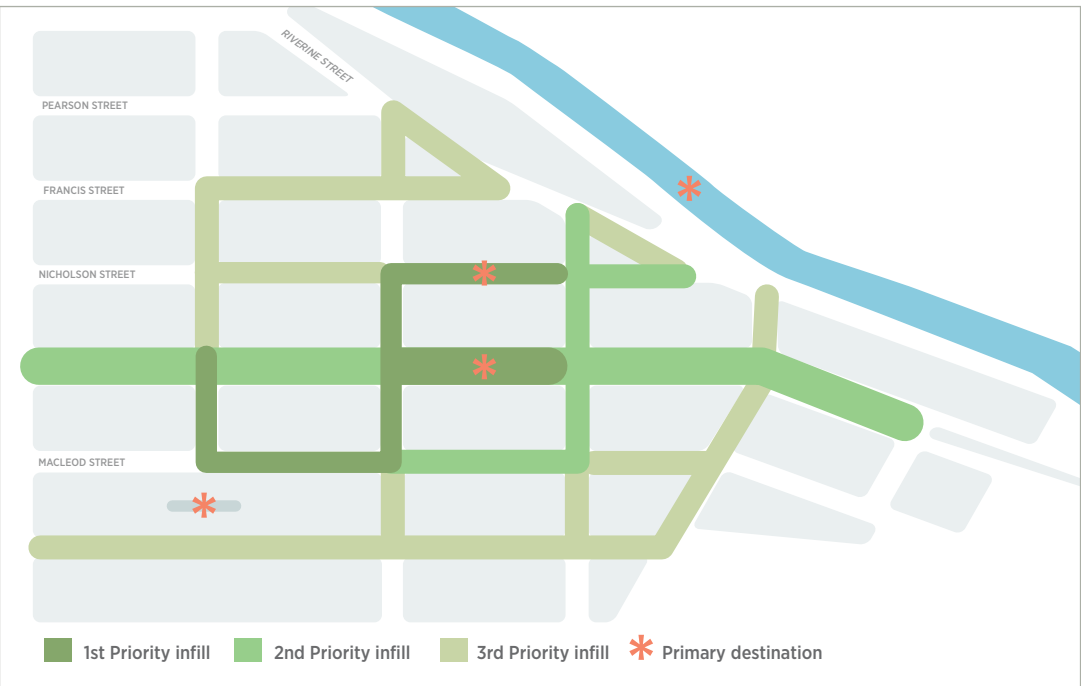
- Alignment of overhead powerlines;
- Placement and extent of verandahs;
- Locations of services including service pits;
- Driveway locations;
- Any other structures/elements located along the streetscape;
- Clear sightlines for motorists.

- The costings assume a tree planting pit of 2sqm however the tree pit size may vary depending upon tree species and site location. A Typical Tree Planting Detail has been provided on this page.

- The costings assume installation of approved imported topsoil (say 500mm depth) and 75mm depth approved organic mulch and some planting around the base of the tree.

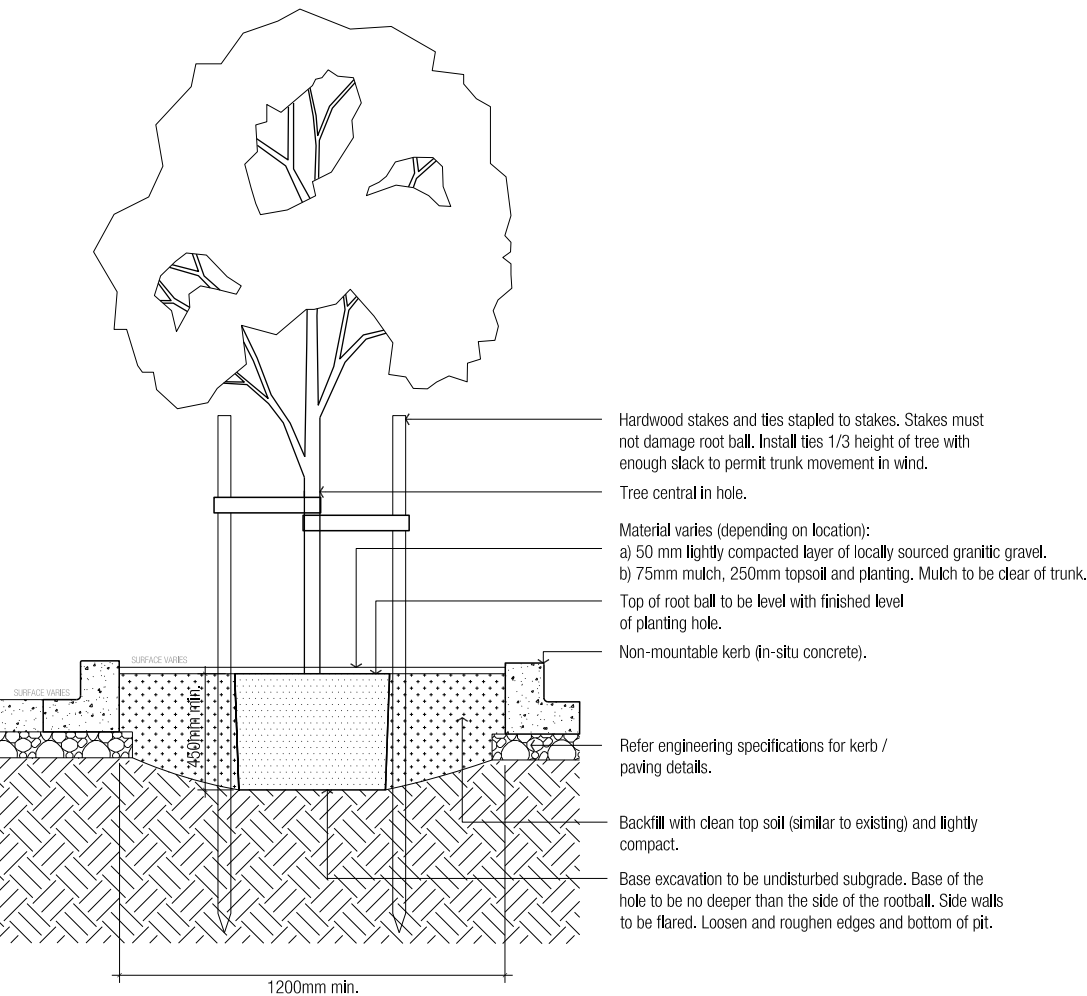
- The costings exclude the following works:

- Any pavement/ road / kerb works associated with the tree planting;
- Any site preparation or site assessment works;
- Any works associated with relocation of services including drainage;
- Protective barriers;
- Irrigation;
- Any regrading works.



The precinct plan for Main Street gardens proposes additional avenue tree planting (*Fraxinus angustifolia* - Narrow-leafed Ash) down the central pathway to re-establish the grandeur and procession of the boulevard.

The precinct plan for Nicholson Street proposes a sequence of ‘feature’ trees along the Nicholson Street Mall and streetscape either side to act as markers of arrival and departure.



Tree within carpark (typical detail)

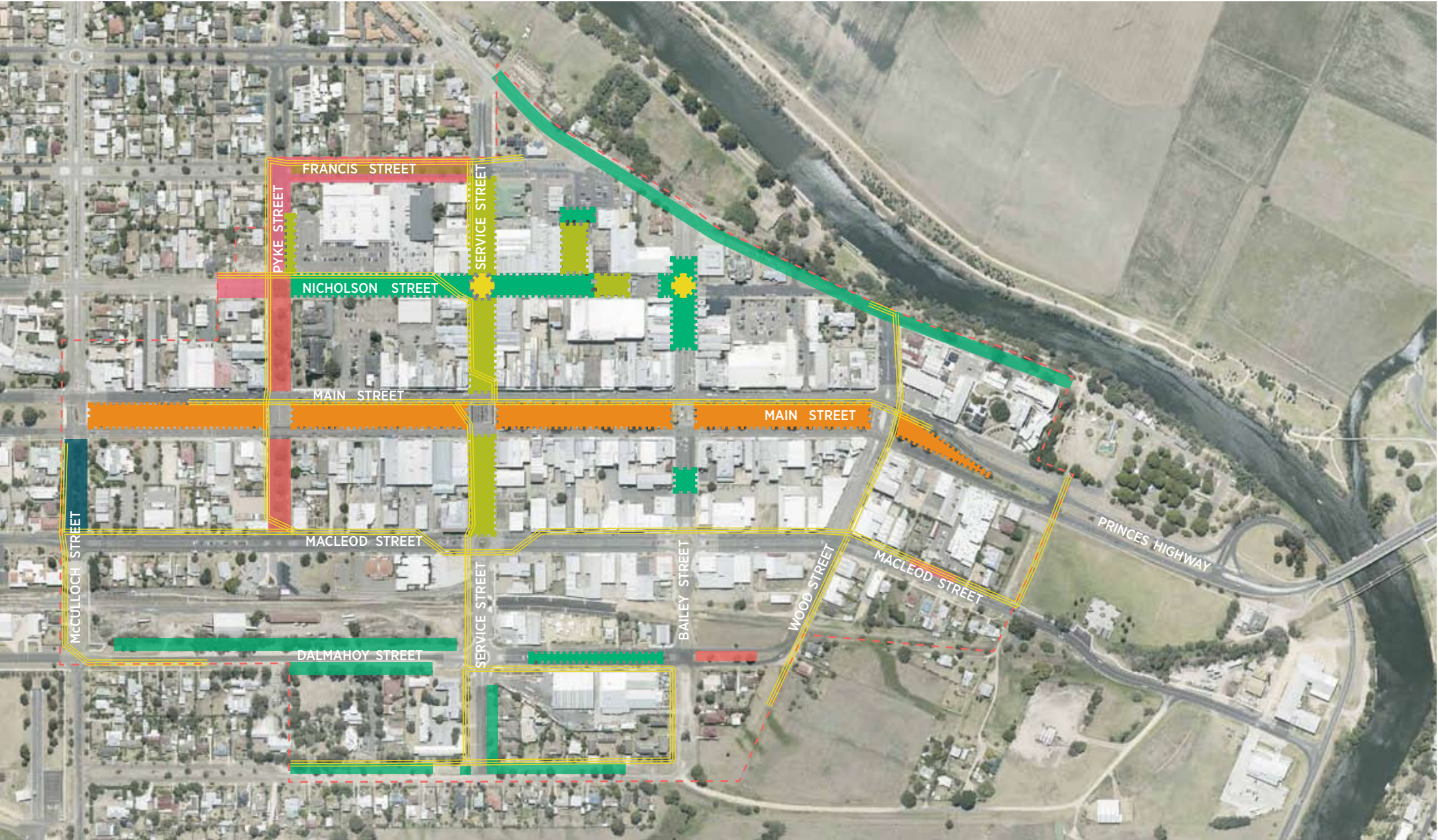


# GREENING BAIRNSDALE

## Assessment of existing street trees

Summary:

- Inconsistent vegetation character and planting themes within the city core.
- Some streets are consistently planted with one, or a specific mix of tree species, however there are in most streets gaps in the street tree planting.
- Some streets are devoid of tree planting or have very limited tree planting.
- There are a large proportion of deciduous trees planted.
- Trees within the public realm are in varying stages of health caused in part by poor maintenance.
- The presence of overhead power lines limit the planting of feature and significant tree species in some areas especially in Main St.
- The strong and consistent avenue planting along the perimeter of the Main Street Gardens, has been diluted by the introduction of other tree species.



Greening Bairnsdale – Assessment of existing street trees

## LEGEND

- Study area
- Overhead powerlines
- Water main
- Sewer main
- Mixed plantings with predominant Native Character

## Existing Dominant Street Trees - Evergreen

- Corymbia maculata (Spotted Gum)
- Callistemon salignus (Willow Bottlebrush) / Cinnamomum camphora (Camphor Laurel)
- Grevillea robusta (Silky Oak)
- Melaleuca armillaris (Bracelet Honey Myrtle)

## Existing Dominant Street Trees - Deciduous

- Betula pendula (Silver Birch)
- Mixed planting, predominantly Fraxinus angustifolia (Narrow-leafed Ash)
- Gleditsia triacanthos (Honey Locust)
- Platanus orientalis (Plane Tree)
- Prunus cerasifera 'Nigra'



# GREENING BAIRNSDALE

Existing tree assessment photos



Corymbia maculata  
Planting staggered / offset to avoid underground services. Creates a strong 'overall greening' of street.



Fraxinus angustifolia  
Lopped due to powerline locations (growing very well on 'non-powerline' side of Main Street Gardens).



Gleditsia triacanthos  
Successful planting contributing to streetscape.



Low branching trees provides physical barrier and safety issues in Main Street Gardens.



Lophostemon confertus.  
Currently growing successfully in Bairnsdale.



Brachychiton sp.  
Mixed planting has diluted the grandeur of the Main Street Gardens 'boulevard' and many of Bairnsdale's streetscapes.



Platanus orientalis  
Successful planting contributing significantly to the shade and visual amenity of the street.



Liquidambar styraciflua  
One of many deciduous trees growing well within the CBD precinct.

Greening Bairnsdale – Existing tree assessment photos



# GREENING BAIRNSDALE

## Streetscape and pavement benchmark images

Examples of elements and design that can be applied to the Bairnsdale streetscape.



High quality pedestrian pavement with ample seating opportunities.



Dappled shade and 'boulevard' effect creates respite from urban areas.



Tree planting combined with well considered paving treatments softens the streetscape and clarifies pedestrian circulation routes



Wide expanses of paving are broken up by patterned paving, and clearly define the pedestrian realm.



Example of safe and legible crossing point.



Example of placement of furniture separating passive areas from walking areas, improving legibility and function of streetscapes.

Greening Bairnsdale – Streetscape and pavement benchmark images



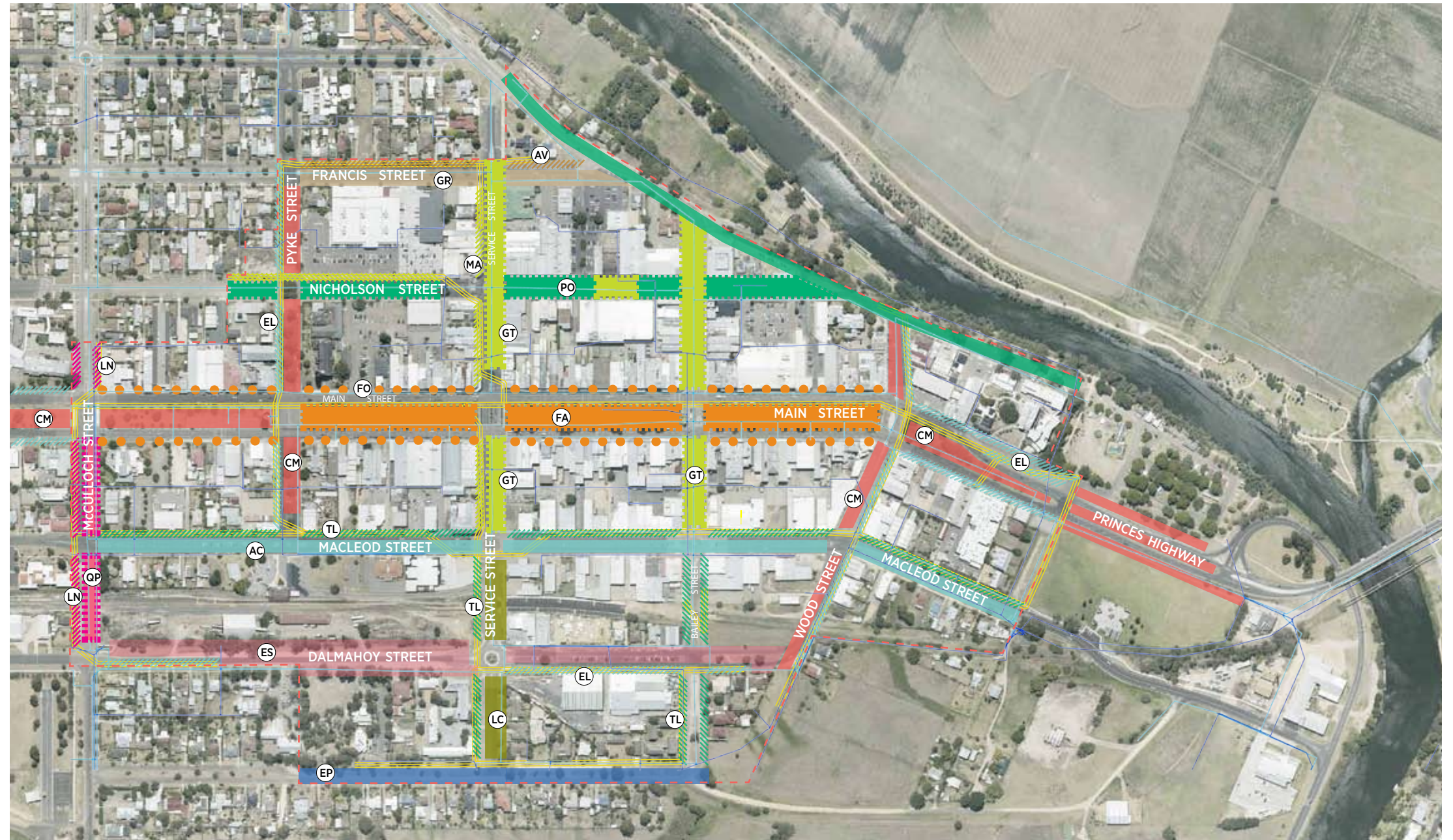
## GREENING BAIRNSDALE

### Indicative Masterplan

#### Street tree planting plan

Key objectives:

- Create a consistent, unified and green streetscape vegetation character
- Diversify the tree species selection to ensure a balance of deciduous and evergreen trees
- Develop consistent street tree planting themes
- Use planting character themes to define and highlight entry points
- Use planting to define activity areas or key spaces
- Select appropriate plant species to suit specific site conditions and space available.
- Create planting themes for specific activity areas or precincts such as Nicholson St Mall



Indicative Masterplan – Street tree planting plan

#### LEGEND

--- Study area

Overhead powerlines

Water main

Sewer main

#### Proposed Street Trees - Evergreen

Angophora costata (Smooth-Barked Apple)

Eucalyptus leucoxylon 'Euky Dwarf' (Euky Dwarf)

Tristanopsis laurina (Water Gum)

Corymbia maculata (Spotted Gum)

Eucalyptus scoparia (Wallangara White Gum)

Eucalyptus polyanthemos (Red Box)

Grevillea robusta (Silky Oak)

Allocasuarina verticillata (Drooping Sheoak)

Lophostemon confertus (Brush Box)

Predominantly native character (Mitchell River frontage)

#### Proposed Dominant Street Trees - Deciduous

Fraxinus angustifolia (Narrow-leafed Ash)

Fraxinus ornus 'Meczek' (Flowering Ash)

Gleditsia triacanthos (Honey Locust)

Melia azedarach 'Elite' (White Cedar)

Platanus orientalis (Plane Tree)

Quercus palustris (Pin Oak)

Largerstroemia 'Nanchez' (Crepemyrtle)

#### For planting at key / highlight areas:

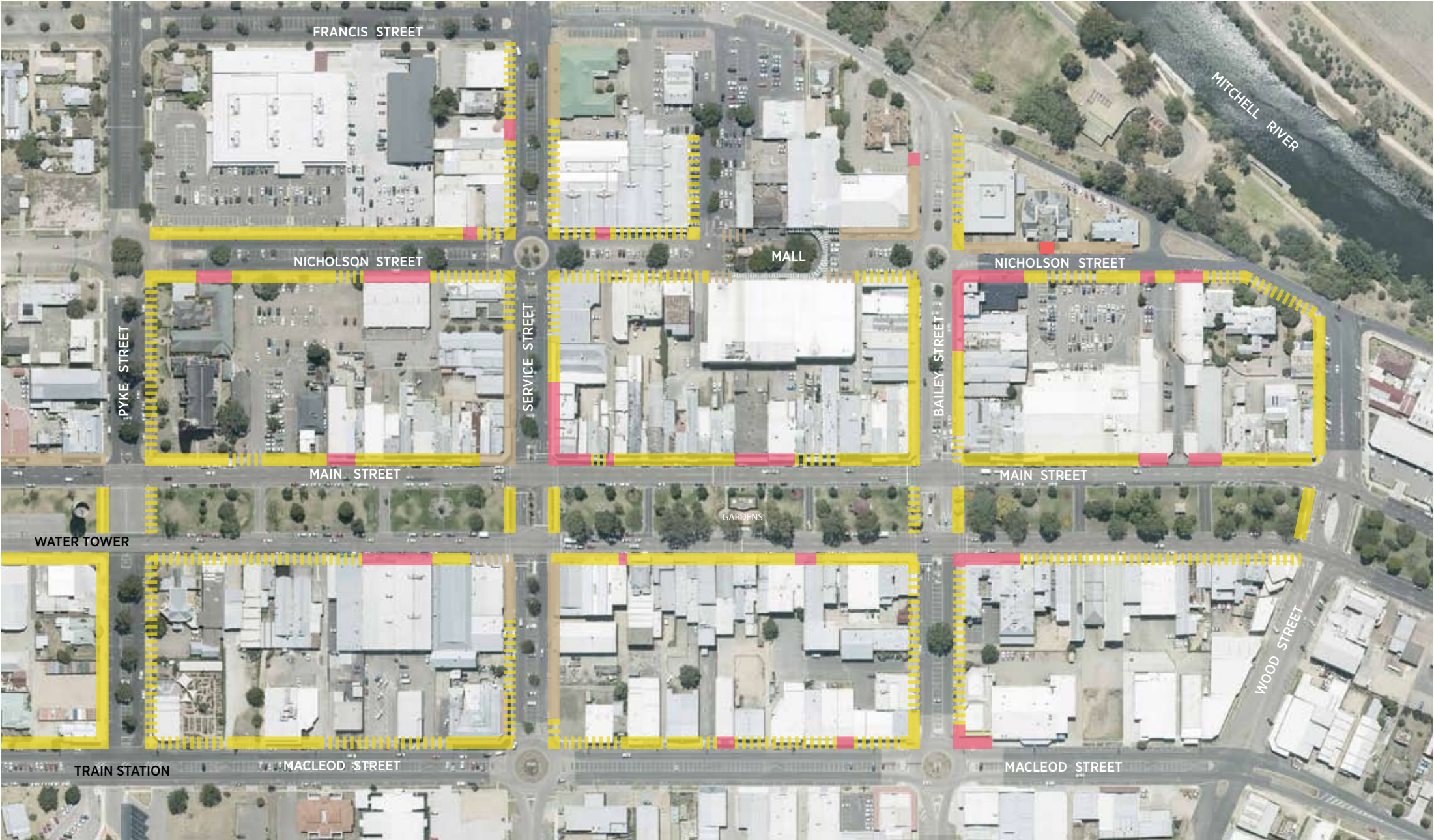
- Corymbia citriodora (Lemon Scented Gum)
- Jacaranda mimosifolia - planted in groups (Jacaranda)
- Phoenix canariensis (Canary Island Date Palm)
- Araucaria heterophylla (Norfolk Island Pine)



PAVING BAIRNSDALE

Assessment:

- Multiple paving materials / designs lead to inconsistent character
- Varying quality / condition of materials
- Pavement grades / drainage unsafe in some instances



Paving Bairnsdale –Assessment

LEGEND

Existing Pavement Materials	
<span style="display:inline-block; width:15px; height:10px; background-color:red;"></span>	Bluestone (Good Condition)
<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral;"></span>	Brick (Good Condition)
<span style="display:inline-block; width:15px; height:10px; background-color:yellow;"></span>	Concrete (Acceptable Condition)
<span style="display:inline-block; width:15px; height:10px; border-top:1px dashed yellow;"></span>	Concrete (Poor Condition)
<span style="display:inline-block; width:15px; height:10px; background-color:tan;"></span>	Asphalt (Acceptable Condition)
<span style="display:inline-block; width:15px; height:10px; border-top:1px dashed tan;"></span>	Asphalt (Poor Condition)



# PAVING BAIRNSDALE

## Existing conditions

Review of typical paving conditions found in Bairnsdale CBD.



Main Street

High profile streetscape area with in situ concrete pavement treatment. Appearance of paving is generally good with saw-cuts helping to break up the wide pavements.



Main Street

Dated, inconsistent and varying brick paving designs.



Nicholson Street Mall

Mix of materials of asphalt and brick paving within mall space leads to a confusing aesthetic.



Nicholson Street Mall

Varying pavement and multiple furniture designs / finishes contribute to the illegibility of the streetscapes.



Nicholson Street Mall

Example of various pavement materials creating inconsistent character and amenity.



Courthouse: Nicholson Street

Bluestone used in front of the courthouse to create an appealing and enduring aesthetic and defines the entry to the courthouse.



Main Street

Stamped in-situ concrete forms a high quality and aesthetically interesting wayfinding device. Consider incorporating into future pavement palette treatment.



Rear of Woolworths

Grades, drainage and condition of many pavements throughout the CBD could be improved to ensure DDA compliance and a higher quality / more cohesive aesthetic.



Nicholson Street Mall

Use of red brick paving questionable in a contemporary setting. Potential to up-grade to a higher quality paving treatment.

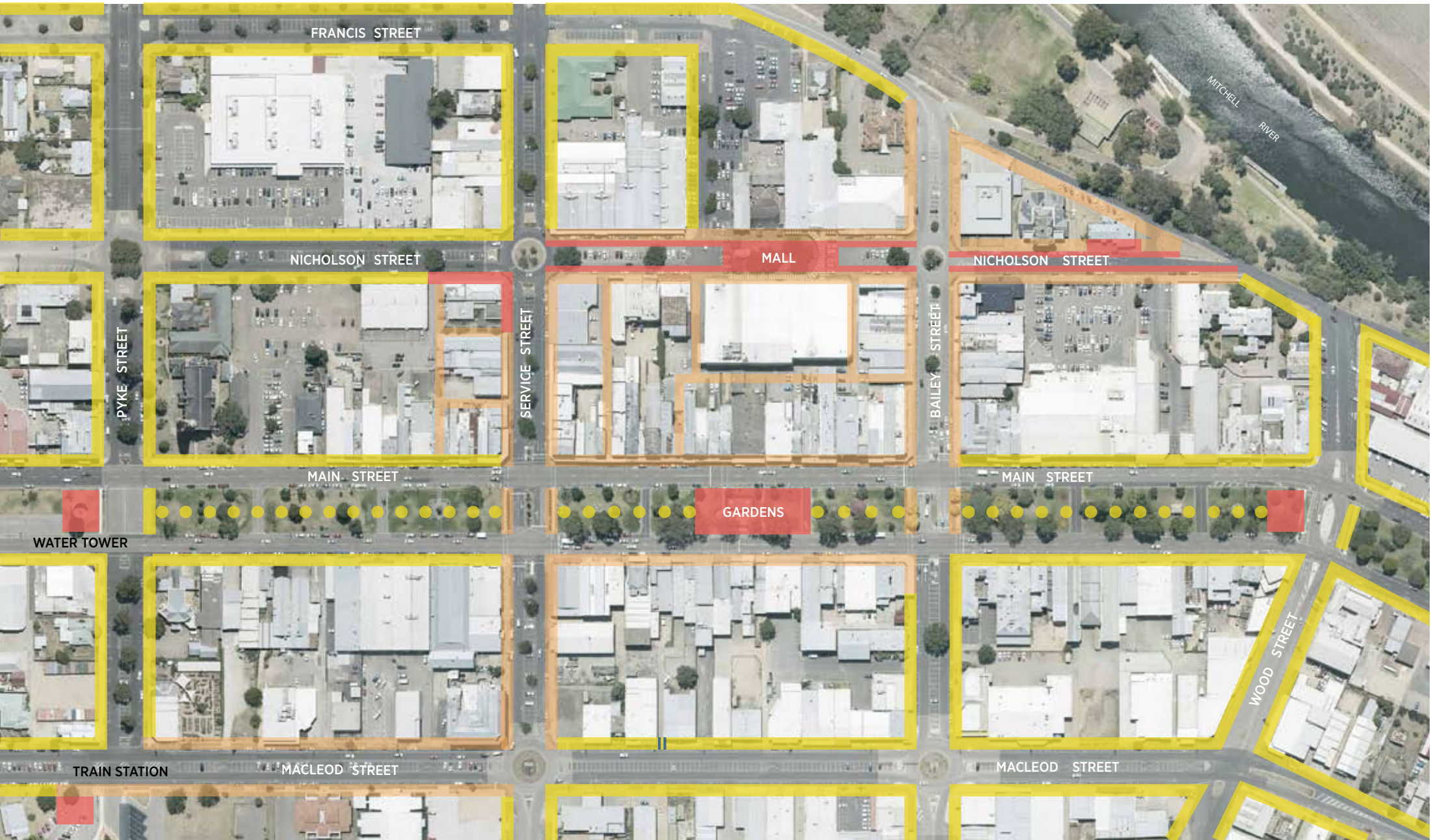


PAVING BAIRNSDALE

Indicative concept plan





Key objectives:

- Create a consistent and unified pavement treatment themes for specific activity areas or priority areas
- Use pavement themes to guide pedestrian movement and navigation through the public realm
- provide even, level pavement to ensure safe passage of travel



Paving Bairnsdale – Indicative concept plan

LEGEND

Proposed Pavement Themes		STANDARD TREATMENT	
	HIGH PROFILE AREAS Sawn Bluestone / Timber / In-situ coloured exposed aggregate concrete		In-situ coloured concrete
	CBD AREAS / TRAIN STATION CONNECTION In-situ coloured exposed aggregate concrete		Central path – cement stabilised granitic gravel (locally sourced)



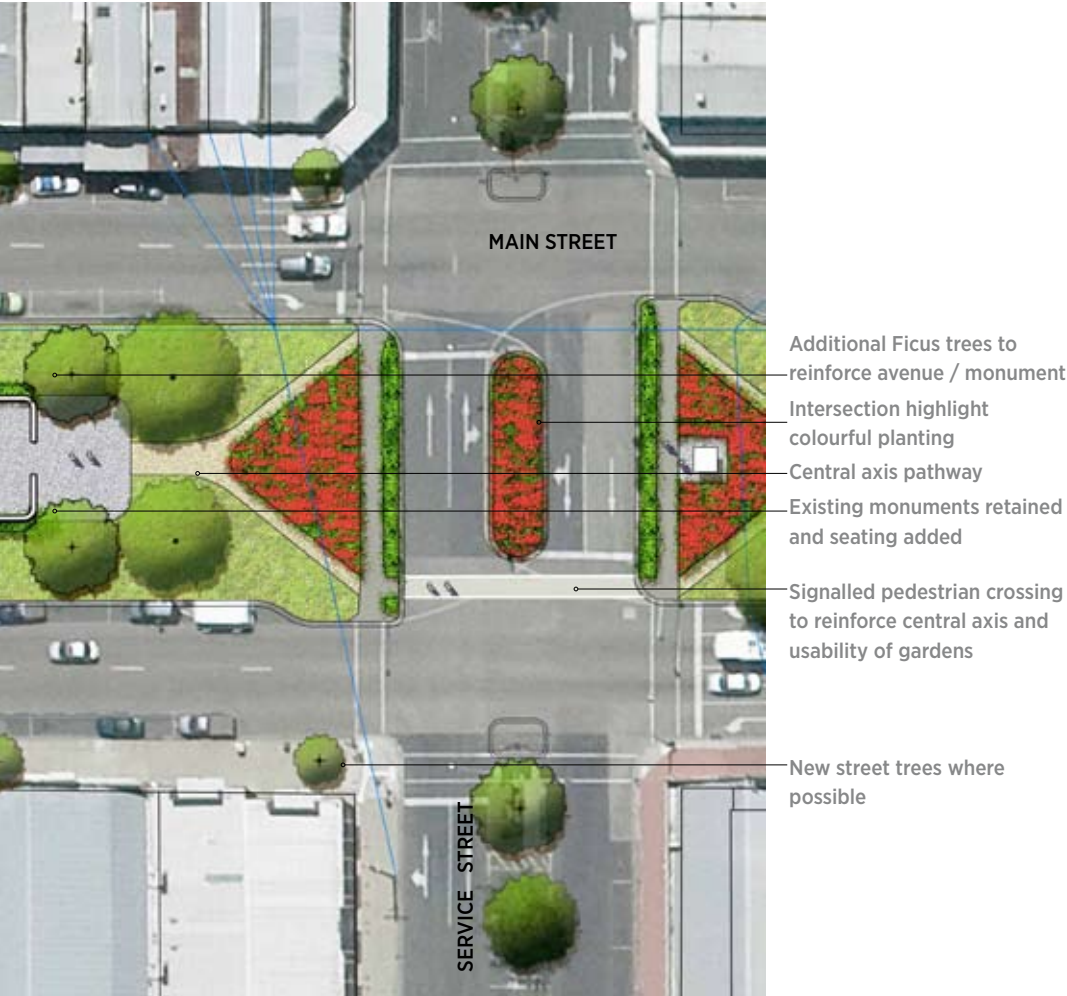
# TYPICAL INTERSECTION TREATMENTS

Key objectives:

- Clarify pedestrian circulation routes and improve safety of pedestrians
- Provide additional trees and plantings to green and soften Bairnsdale's streets



Proposed Typical Roundabout Treatment of Nicholson Street.



Proposed Typical Treatment of Main Street.

Street Intersections – Indicative Treatments



# WAYFINDING SIGNAGE

## Bairnsdale suite – Map based sign

- The map based sign is to serve as civic guides to display a walking map of the CBD.
- Sign content is to be focused on the pedestrian’s needs for navigation.

## Bairnsdale suite – Street name blade

- Install in pairs on opposite corners of all intersecting streets within the CBD.
- Utilise existing poles where practical.

## Bairnsdale suite – Festive banner

A festive banner design is to be designed for use to advertise community events, highlight seasonal events (e.g. Christmas) and as part of a Bairnsdale branding strategy.

## Bairnsdale suite - Paving imprint

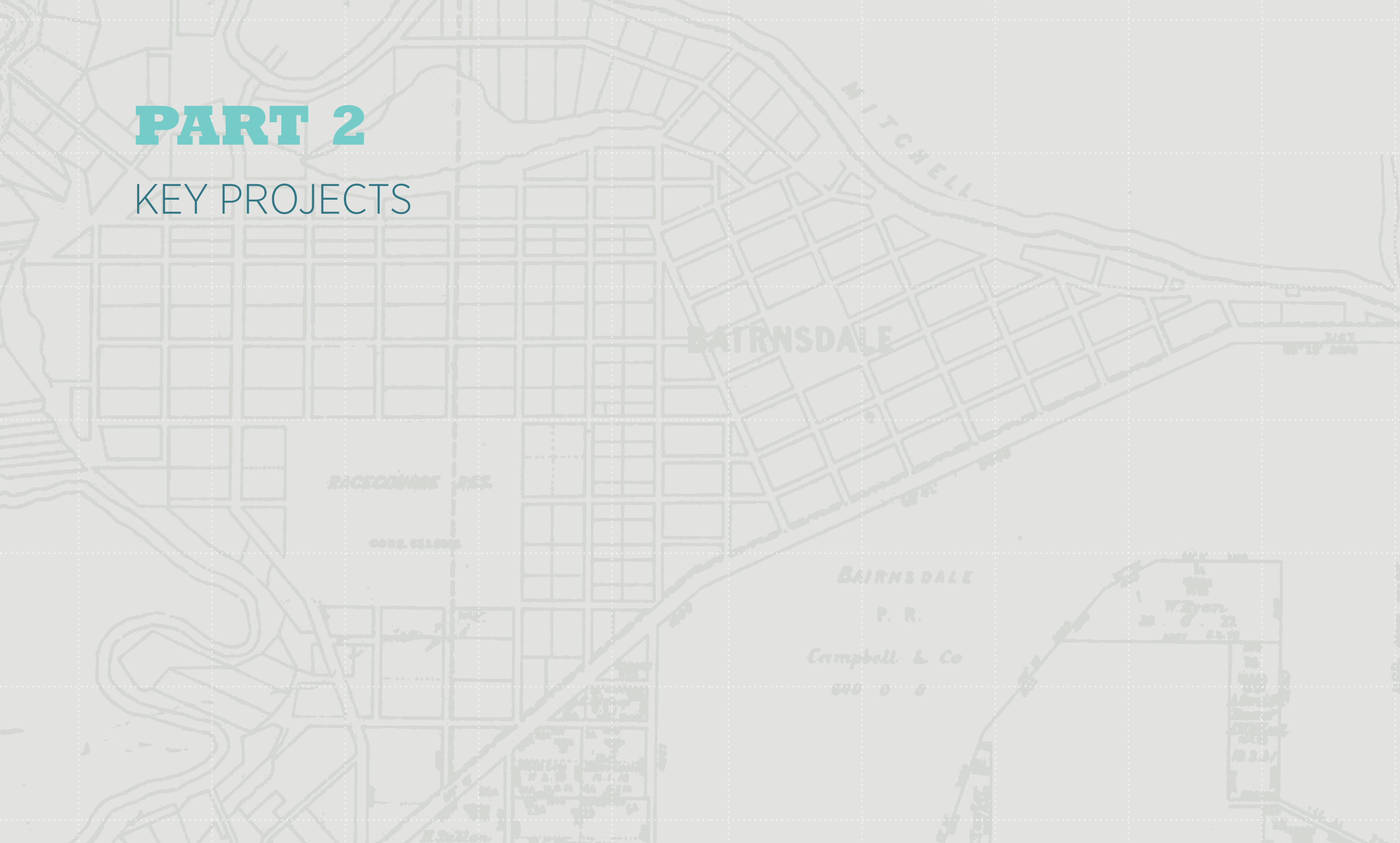
Continuation of CBD paving imprint signage is to include street names and directional information only in core pedestrian zones (such as the Mall, outside the train station).





# PART 2

## KEY PROJECTS



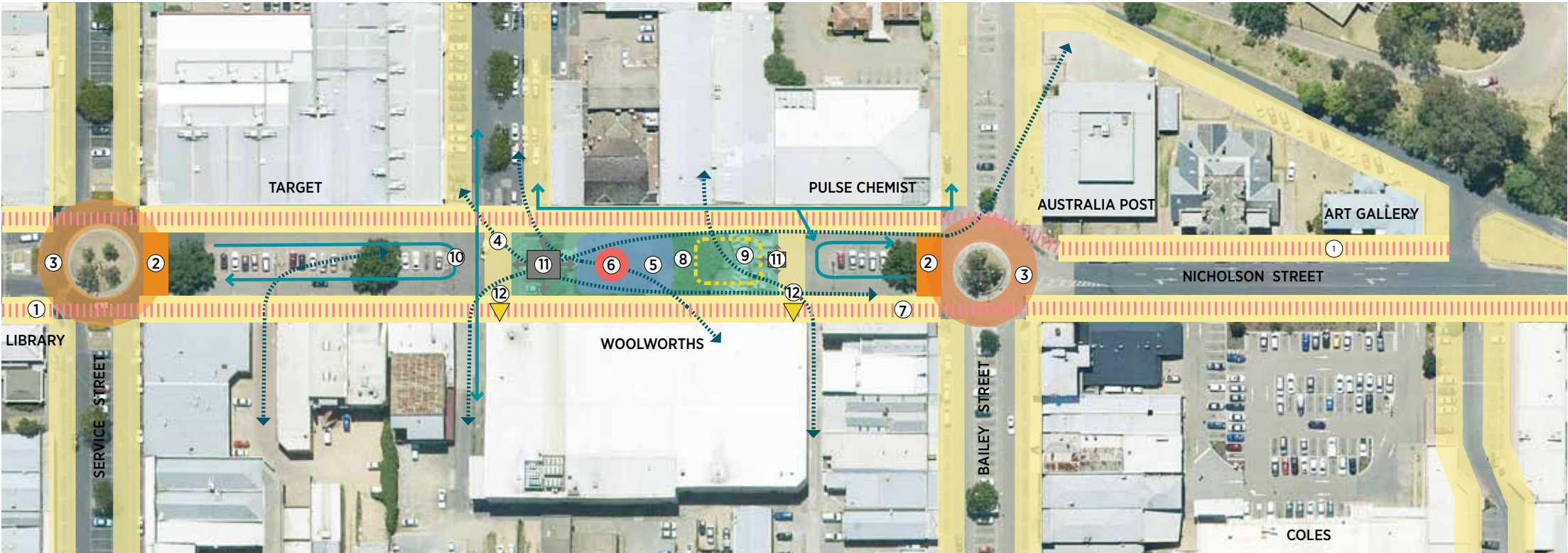


# NICHOLSON STREET MALL

## Design aims

Key objectives:

- Improve organisation and legibility of the mall.
- Simplify / upgrade surfaces and furniture treatments.
- Create connection between the library and the art gallery.



Nicholson Street Mall – Design aims

## VISION / DESIGN AIMS

- 1 Link streetscape beyond Mall into Nicholson Street as a continuous streetscape experience (Library in the west to Art Gallery in the east).
- 2 Define entry threshold points at Service and Bailey Streets.
- 3 Raised pavements at entry points.
- 4 Encourage / maintain pedestrian circulation patterns.

- 5 Provide events / gathering space.
- 6 Create ample seating opportunities for individuals and groups. (varying orientations and configurations).
- 7 Enhance streetscape greenery.
- 8 Retain shade and shelter opportunities & define mall area.
- 9 Provide public art / informal play opportunities.

- 10 Improve grade, accessibility & vehicular / pedestrian interaction.
- 11 Existing & potential kiosk to be more user friendly and open to the Mall space and include multiple user groups (police, parks victoria, shire, cafe etc.).
- 12 Potential Taxi-rank location.



# NICHOLSON STREET MALL

## Indicative masterplan concept

Key objectives:

- Improve organisation and legibility of the mall.
- Simplify / upgrade surfaces and furniture treatments.
- Create connection between the library and the art gallery.



Nicholson Street Mall – Indicative masterplan concept

## VISION / DESIGN AIMS

- |   |   |  |
|---|---|--|
| 1 Link streetscape beyond Mall into Nicholson Street as a continuous streetscape experience (Library in the west to Art Gallery in the east). | 6 Create ample seating opportunities for individuals and groups. (varying orientations and configurations). | 11 Existing & potential kiosk to be more user friendly and open to the Mall space and include multiple user groups (police, parks victoria, shire, cafe etc.). |
| 2 Define entry threshold points at Service and Bailey Streets.  | 7 Enhance streetscape greenery.   | 12 Potential Taxi-rank location.   |
| 3 Raised pavements at entry points.   | 8 Retain shade and shelter opportunities & define mall area.  |  |
| 4 Encourage / maintain pedestrian circulation patterns.   | 9 Provide public art / informal play opportunities.   |  |
| 5 Provide events / gathering space.   | 10 Improve grade, accessibility & vehicular / pedestrian interaction.                                       |  |



# NICHOLSON STREET MALL

## Benchmark images

Examples of streetscape elements and design that may be applied to Nicholson St Mall.



High quality pedestrian pavement providing with ample seating opportunities.



Clear delineation of passive spaces and circulation routes.



Example of an 'open interface' on shop frontage. Potential for the kiosk in Mall to open out (on all sides) to the surrounding spaces to function better physically and aesthetically.



'Pods' of green help to soften a space and encourage simultaneous use by many different user groups.



Multiple seating opportunities have been provided within a small public space.



Shade trees entice people into space and create favourable microclimate for 'staying' or resting.

Nicholson Street Mall – Benchmark images

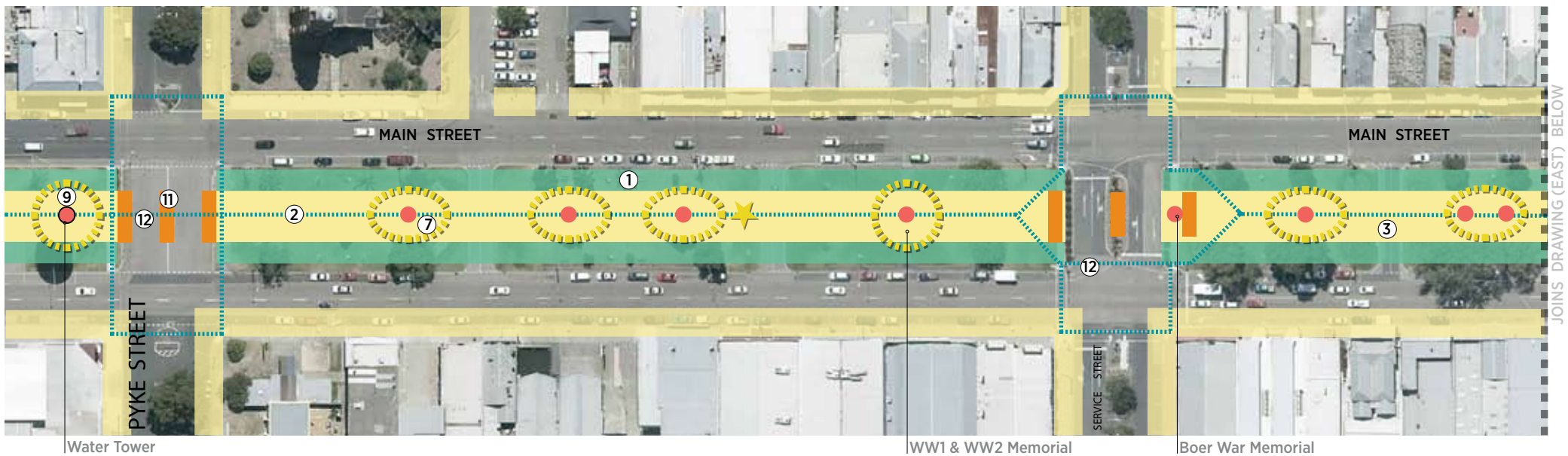


# MAIN STREET GARDENS

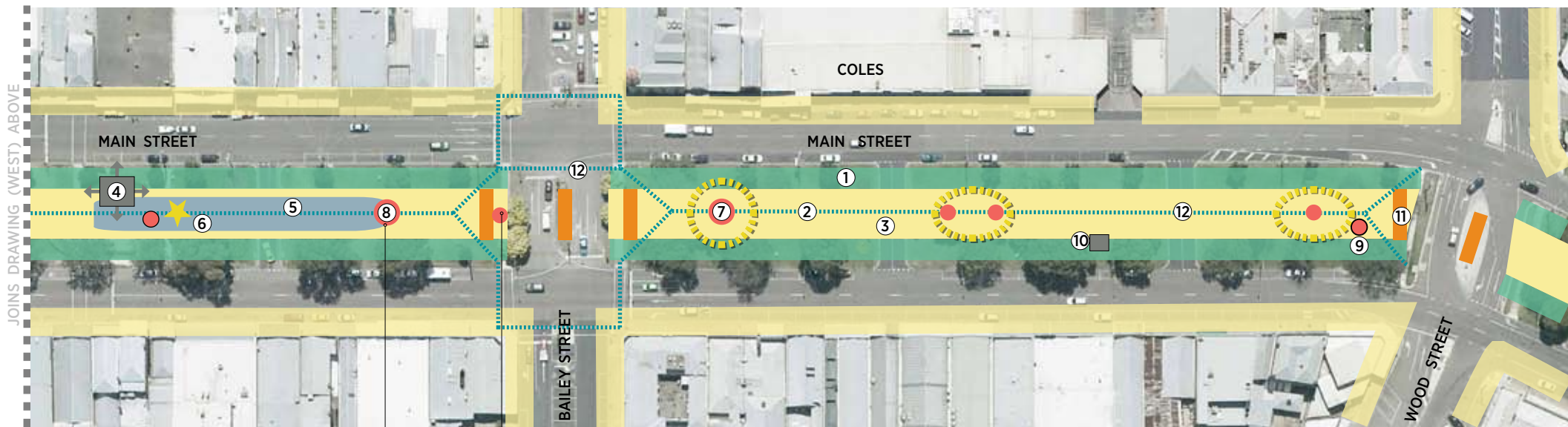
## Design aims

Key objectives:

- Re-establish grandeur, procession and avenue of Main Street Gardens
- Create flexible community space centrally within the gardens















MAIN STREET WEST VISION PLAN



MAIN STREET EAST VISION PLAN

## Main Street Gardens – Design aims

### VISION / DESIGN AIMS

- |  |   |   |   |   |   |
|--|---|---|---|---|---|
|  | 1 Re-establish grandeur, procession and avenue of Main Street Gardens.  |  | 5 New, flexible community gathering space.  |  | 11 Mass plantings reference produce growing context and add colour to define entry / exit points. |
|  | 2 Central pathway encourages East-West movement.  |  | 6 Potential for fenced play space / bocce court / chess. Consolidate and enhance 'greenery' of the gardens and streets. |  | 12 Proposed crossingpoint for pedestrians   |
|  | 3 Consolidate and enhance 'greenery' of the gardens and streets.  |  | 7 Secondary nodal / seating plazas.   |   |   |
|  | 4 Potential for new cafe / kiosk structure with toilet facilities and outdoor seating (re-use existing building where possible). Arbour structure to accentuate axis. |  | 8 Monuments / significant trees.  |   |   |
|  |   |  | 9 Potential new sculpture location.   |   |   |
|  |   |  | 10 Relocate garden shed   |   |   |



# MAIN STREET GARDENS

## Indicative masterplan concept

Key objectives:

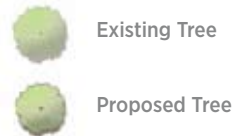
- Re-establish grandeur, procession and avenue of Main Street Gardens
- Create flexible community space centrally within the gardens



MAIN STREET WEST CONCEPT PLAN



MAIN STREET EAST CONCEPT PLAN



Main Street Gardens – Indicative masterplan concept

## VISION / DESIGN AIMS

- |  |  |   |
|--|--|---|
| 1 Re-establish grandeur, procession and avenue of Main Street Gardens.   | 5 New, flexible community gathering space.               | 9 Potential new sculpture location.   |
| 2 Central pathway encourages East-West movement.   | 6 Potential for fenced play space / bocce court / chess. | 10 Relocate garden shed.  |
| 3 Consolidate and enhance 'greenery' of the gardens and streets.   | 7 Secondary nodal / seating plazas.                      | 11 Mass plantings reference produce growing context and add colour to define entry / exit points. |
| 4 Potential for new cafe / kiosk structure with toilet facilities and outdoor seating (reuse existing building where possible). Arbour structure to accentuate axis. | 8 Monuments / significant trees.                         | 12 Proposed crossing point for pedestrians  |



# MAIN STREET GARDENS

## Core area masterplan concept

### Key objectives

- Re-establish grandeur, procession and avenue of Main Street Gardens
- Create flexible community space centrally within the gardens



Main Street Gardens – Core area masterplan concept

### VISION / DESIGN AIMS

- |   |   |   |  |    |  |
|---|---|---|--|----|--|
| 1 | Re-establish grandeur, procession and avenue of Main Street Gardens.  | 5 | New, flexible community gathering space. | 11 | Mass plantings reference produce growing context and add colour to define entry / exit points. |
| 2 | Central pathway encourages East-West movement.  | 6 | Potential for fenced play space.         | 12 | Proposed crossingpoint for pedestrians   |
| 3 | Consolidate and enhance 'greenery' of the gardens and streets.  | 7 | Secondary nodal / seating plazas.        |    |  |
| 4 | Potential for new cafe / kiosk structure with toilet facilities and outdoor seating (re-use existing building where possible). Arbour structure to accentuate axis. | 8 | Rotunda                                  |    |  |
|   |   | 9 | Potential new sculpture location.        |    |  |



**MAIN STREET GARDENS**

**Benchmark images**

Examples of streetscape elements and design that may be applied to the Main St Gardens.



Seating is used to define edges and direct views.



Nodal or gathering areas provide ample seating for multiple user groups.



Example of feature lighting used in a public space.



Dappled shade and seating along a wide path acts as enticement into the space.



A central path encourages pedestrian movement and defines nodal or gathering areas placed at intervals along the pathway.



An avenue of trees defines the perimeter of open space and the alignment of pedestrian or vehicular routes.

Main Street Gardens – Benchmark Images















### Design aims

- Connect the CBD to the Mitchell River
- Reclaim Mitchell River Frontage as community space



### LEGEND

- |   |   |   |   |   |   |   |    |  |
|---|---|---|---|---|---|---|----|--|
|  | 1 | Provide legible user friendly link to the CBD streets.                  |  | 5 | Reclaim as community space.   |  | 10 | Potential Arts Precinct                                      |
|  | 2 | Entice people to the river frontage, incorporating a visible structure. |  | 6 | Potential road closure.   |  | 11 | Strategic Redevelopment Site / Potential future retail site. |
|  | 3 | Provide nodal points to improve usability and legibility of the space.  |  | 7 | Green interfaces and utilise existing open space.                             |  | 12 | Connect CBD to River (visually and physically).              |
|  | 4 | Potential arts precinct / piazza / amphitheater location.               |  | 8 | Reorganise pedestrian movement / car parking and maximise car parking spaces. |   |    |  |
|   |   |   |  | 9 | Old Mill structure upgrade.   |   |    |  |



**CONNECTION TO MITCHELL RIVER**

**Benchmark images**

Examples of elements and design that can be applied to the Mitchell River connection and river corridor.



A viewing platform provides views across Mitchell River down to the community space below.



An example of a vertical element to draw people towards the river.



Seating / lookout area provide ample seating opportunities.



Steps / pathway down to the Mitchell River will provide a more direct and easily accessible connection to the Mitchell River.



Example of wayfinding signage opportunities (in accordance with Bairnsdale Wayfinding Strategy)



Example of lookout facilities to complement views to Mitchell River and beyond.

Connection to Mitchell River: Benchmark Images



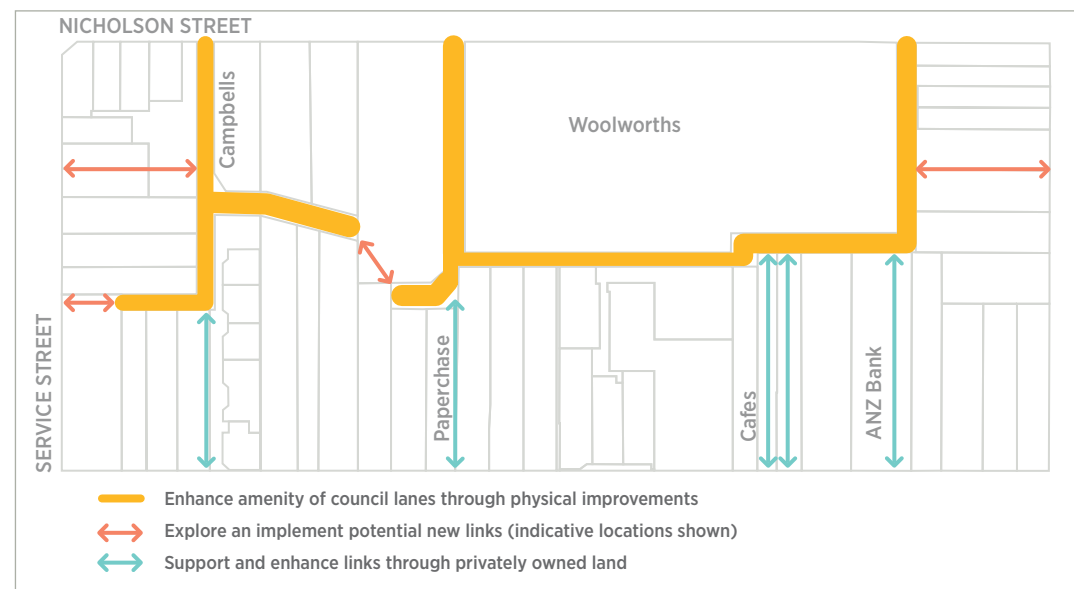
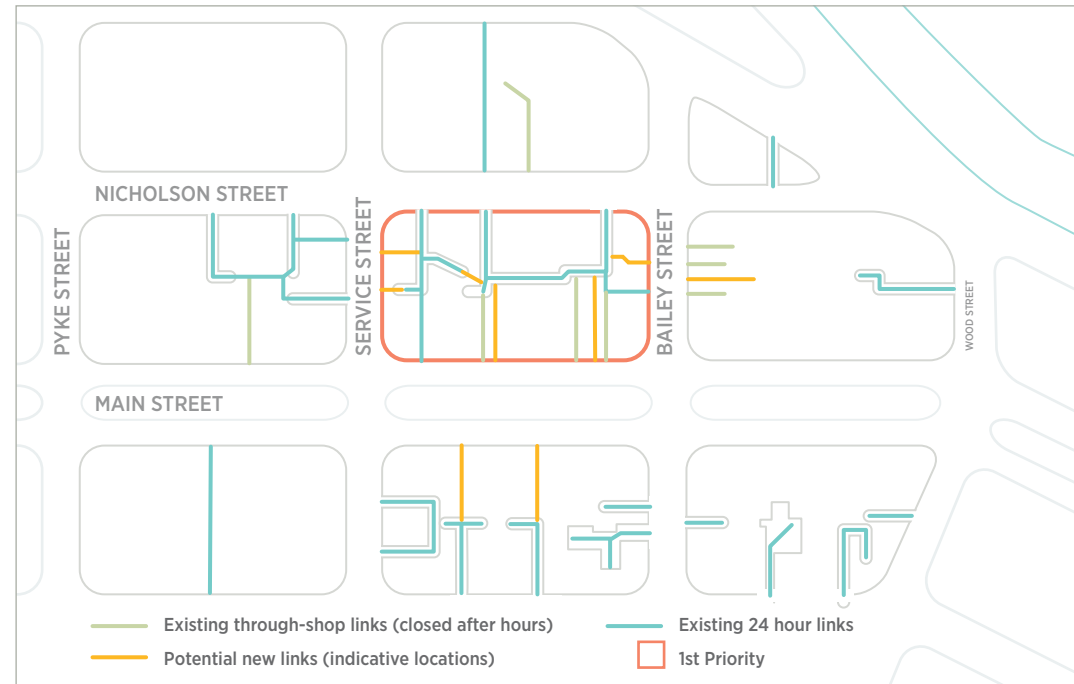
## LANEWAYS

Laneways are often forgotten spaces. In these small gaps between buildings, the gritty, unglamorous, and sometimes socially undesirable activities of the city take place. Many laneways are located in prime locations close to busy streets and shopping precincts. Other cities such as Melbourne, Bendigo and Geelong have recognised the potential that laneways offer with their intimate scale, successfully transforming them from back alleys to unique destinations thriving with activity.

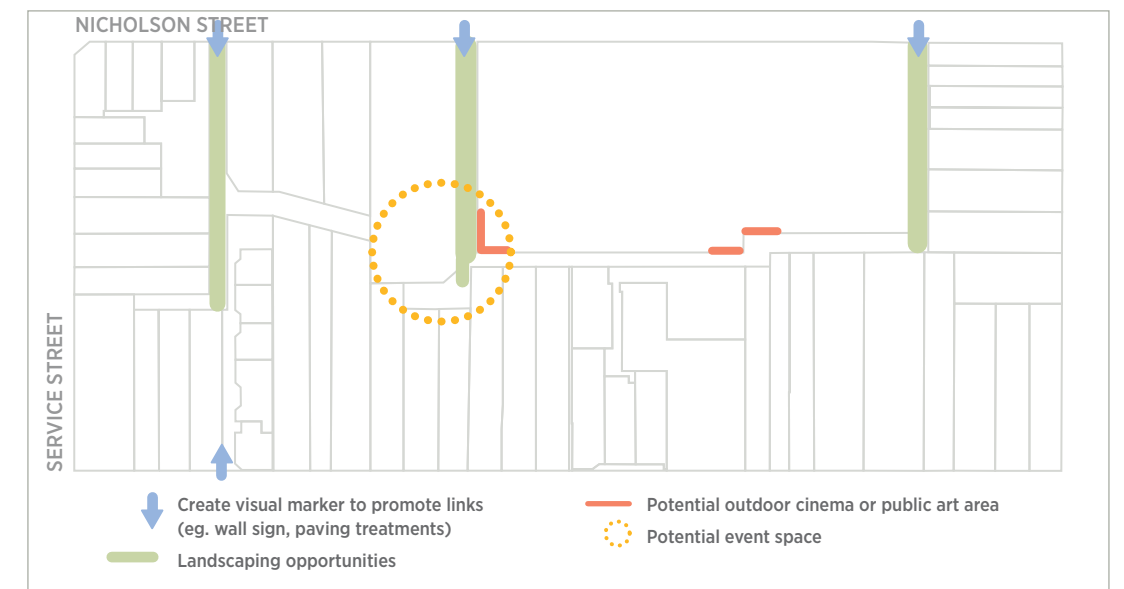
### Recommendations:

- Commence physical upgrade of existing laneways to encourage investment and improve safety
- Work with local businesses and community organisations such as the TAFE and art gallery to find simple, even temporary solutions to improve the look and feel of the laneways such as art installations, planter boxes, pergola structures
- Appoint a 'place maker' to investigate economic and cultural opportunities that will help activate the laneways over a significant time period. The programme should involve funding for some catalyst projects.
- Council officer's to undertake a short study tour to meet with counterparts in local councils where laneway activation has been successful, e.g. Melbourne, Bendigo and Geelong.

### Laneway activation: improve pedestrian connections



First priority laneway activation: reinforce and create mid block pedestrian links

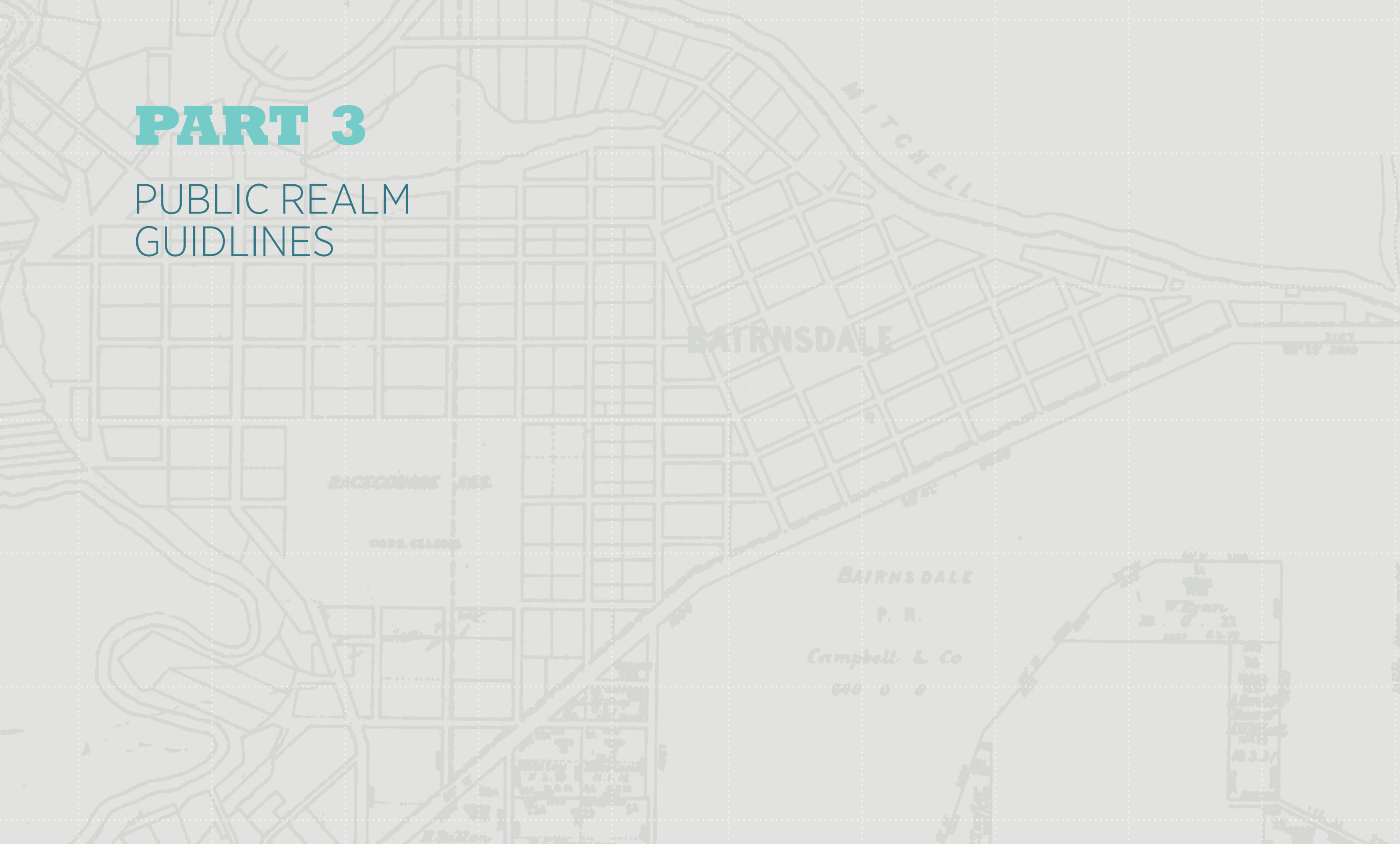


First priority laneway activation: public realm upgrade opportunities



# PART 3

## PUBLIC REALM GUIDELINES





# PAVEMENT MATERIALS AND STREETSCAPE ELEMENTS

## Surfaces and finishes themes

Key objectives:

- Create consistent streetscape character- Delineate high profile and CBD areas
- Enhance ‘sense of place’ with the use of local materials



**DESCRIPTION:** Pedestrian paving: 300 x 600 x 20mm and 300 x 300 x 20mm sawn bluestone paving on concrete base, 10mm grouting joints.  
**USE:** Very high profile areas / destination points where people visit and rest etc.



**DESCRIPTION:** Pedestrian paving: 130mm thick, insitu charcoal coloured concrete paving (exact colour TBC) with exposed aggregate (7mm ‘Whelan’s bluestone’ aggregate) finish on 75mm depth Class 3 FCR 95% M.M.M.D sub-base. Paving saw cuts to be typically located at 1.2m centres and expansion joints at 6m centres, in accordance with Council Standards and lightly sand-blasted to achieve an exposed aggregate finish.

**USE:** Predominantly in CDB area.



**DESCRIPTION:** Pedestrian paving: 130mm thick, insitu charcoal coloured concrete paving (exact colour TBC) on 75mm depth Class 3 FCR 95% M.M.M.D sub-base. Paving saw cuts to be typically located at 1.2m centres and expansion joints at 6m centres, light-broom finish.

**USE:** Standard pavement treatment to be used throughout Bairnsdale, used throughout Bairnsdale



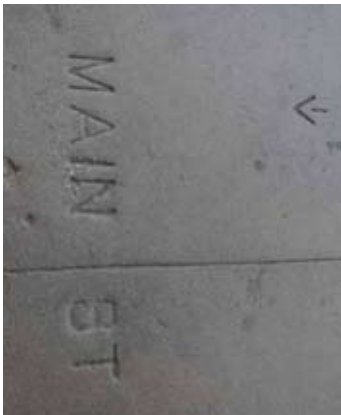
**DESCRIPTION:** 75mm compacted depthgranitic gravel (‘Golden Path’ locally sourced gravel from Whelan’s Quarry) on 75 mm depth Class 3 FCR 95% M.M.M.D (excluded at tree locations). Steel edging to borders.

**USE:** Throughout Bairnsdale in informal / low use spaces and as mulch to trees in



**DESCRIPTION:** 50 x 40mm hardwood timber (locally sourced) coated with ‘Sikkens’ natural decking oil (in accordance with manufacturers specifications).

**USE:** As ground plane (with slip-resistant coating) and seating elements in high profile areas.



**DESCRIPTION:** Stamped in-situ concrete (coloured concrete and exposed aggregate).

**USE:** Intersections as location markers.



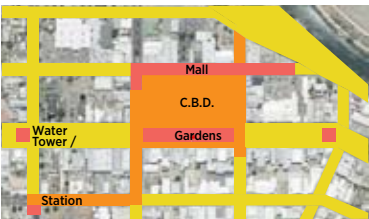
**DESCRIPTION:** Masonry block wall with 20mm bluestone cladding with anti-graffitti coating and anti-skate buttons (dimensions subject to detailed design).

**USE:** High profile areas as seating walls and planter boxes.



**DESCRIPTION:** Tree pit / vehicle protection barrier. Lightly compacted granitic gravel (Whelans Quarry, ‘Golden Path’) to be installed at tree base

**USE:** Throughout CBD streetscapes.



## STREETSCAPE TREATMENT HIERARCHY

- High quality treatments
- Medium quality treatments
- Standard quality treatments (including greening of Bairnsdale Streets)



# PAVEMENT MATERIALS AND STREETSCAPE ELEMENTS

## Streetscape furniture themes

Key objectives:

- Create a consistent and unified streetscape furniture character
- Use specific furniture themes to highlight and signify specific precincts or activity areas
- Use high quality and distinctive furniture themes within high profile areas only, to signify primary precincts and activity areas
- Use good quality furniture materials to provide durable and robust quality



DESCRIPTION: Backed seating bench (hot-dipped galvanised steel & hardwood timber slats) 1800 x 620 x 450mm.  
 PRODUCT: FURPHY FOUNDRY, Civic Seat.  
 USE: Standard backed seating bench for use throughout Bairnsdale  
 CONTACT: W: [www.furphyfoundry.com.au](http://www.furphyfoundry.com.au)  
 Ph: (03) 5831 2777



DESCRIPTION: Sun-lounge (hot-dipped galvanised steel & hardwood timber slats) 1470 x 600 x 1075mm.  
 PRODUCT: FURPHY FOUNDRY, Chaise Lounge.  
 USE: Feature seating for use in high profile areas such as the Mall & Main Street Gardens  
 CONTACT: W: [www.furphyfoundry.com.au](http://www.furphyfoundry.com.au)  
 Ph: (03) 5831 2777



DESCRIPTION: Wide seating bench (hot dipped galvanised steel and hardwood timber slats) 1800 x 790 x 440mm.  
 PRODUCT: FURPHY FOUNDRY, Woodgroove Bench.  
 USE: Standard seating bench for use throughout Bairnsdale  
 CONTACT: W: [www.furphyfoundry.com.au](http://www.furphyfoundry.com.au)  
 Ph: (03) 5831 2777



DESCRIPTION: Setting (hot dipped galvanised steel and hardwood timber slats) 1800 x 790 x 440mm.  
 PRODUCT: FURPHY FOUNDRY, Woodgroove Setting.  
 USE: Standard setting for use throughout Bairnsdale  
 CONTACT: W: [www.furphyfoundry.com.au](http://www.furphyfoundry.com.au)  
 Ph: (03) 5831 2777



DESCRIPTION: Single Bike Rack (stainless steel) 900 x 900 x 50mm.  
 PRODUCT: FURPHY FOUNDRY, Single Bike Rack  
 USE: Standard bike rack for use throughout Bairnsdale  
 CONTACT:  
 W: [www.furphyfoundry.com.au](http://www.furphyfoundry.com.au)  
 Ph: (03) 5831 2777



DESCRIPTION: Bollard (stainless steel) 1000 x 140mm.  
 PRODUCT: FURPHY FOUNDRY, Stainless Steel Bollard  
 USE: Vehicular control in high profile areas  
 CONTACT:  
 W: [www.furphyfoundry.com.au](http://www.furphyfoundry.com.au)  
 Ph: (03) 5831 2777



DESCRIPTION: Drinking fountain (stainless steel) 940 x 1028mm.  
 PRODUCT: BOTTON & GARDINER, Prospect Drinking Fountain with Dog Bowl : PDF.316SS.D  
 BUSE: High profile areas  
 CONTACT:  
 W: [www.bottonandgardiner.com.au](http://www.bottonandgardiner.com.au)  
 Ph: (02) 9667 8100



Indicative image only



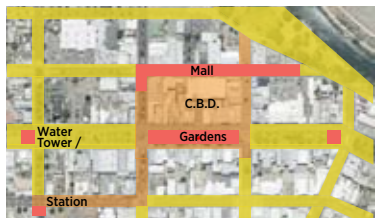
DESCRIPTION: Stainless Steel Rubbish Bin & Recycling Bin Receptacles  
 PRODUCT: Refer Council Standards  
 USE: Throughout Bairnsdale



DESCRIPTION: Mounted Cigarette Butt Receptacle (stainless steel), 76 x 470mm  
 PRODUCT: NO BUTTS, Eco-Pole Ashtrays, ECO-WMD.  
 USE: Throughout Bairnsdale  
 CONTACT: W: [www.nobutts.com.au](http://www.nobutts.com.au)  
 Ph: (03) 9399 8133



DESCRIPTION: Anti-skate builttons (stainless steel), 18 x 13mm (shaft 32 x 8mm)  
 PRODUCT: MOODIE, Conical SD6 stainless, 34024  
 USE: Throughout Bairnsdale  
 CONTACT: W: [www.moodie.com.au](http://www.moodie.com.au)  
 Ph: 1300 666 343



## STREETSCAPE TREATMENT HIERARCHY

- High quality treatments
- Medium quality treatments
- Standard quality treatments (including greening of Bairnsdale Streets)

Pavement materials and streetscape elements – Streetscape furniture themes



# PAVEMENT MATERIALS AND STREETSCAPE ELEMENTS

## Example of streetscape elements

Key objectives:

- Create high quality, dynamic and aesthetically interesting public spaces
- Improve identity and ‘sense of place’ for Bairnsdale
- Incorporate art, play and ‘fun’ elements into Bairnsdale’s landscapes



DESCRIPTION: Indicative images of play / seating elements (by Urban Art Projects W: [www.uap.com.au](http://www.uap.com.au))

USE: Feature Areas as informal play elements / sculpture / seating.



DESCRIPTION: Indicative image of seating element

USE: Local materials such as the local stone could be incorporated into Bairnsdale’s public spaces as seating / sculptural elements.



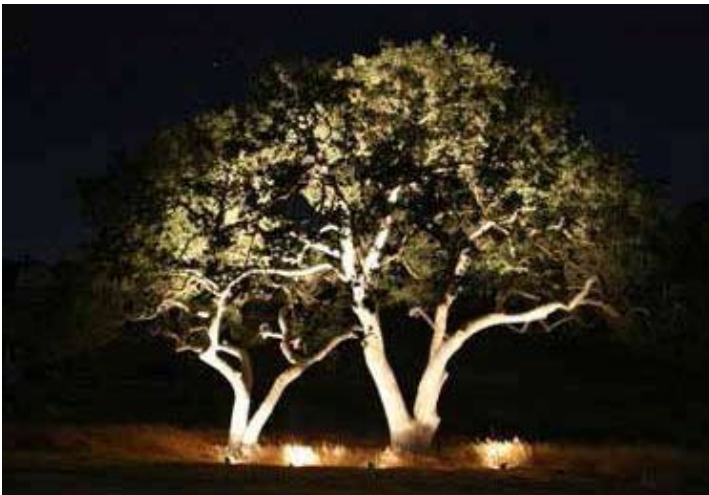
DESCRIPTION: Indicative image of custom designed street furniture.

USE: Feature Areas as feature element / sculpture / seating.



DESCRIPTION: Indicative image of public artwork.

USE / LOCATION: At strategic locations throughout Bairnsdale to link in with the art gallery and the Public Art Policy.



DESCRIPTION: Feature Up-lighting (stainless steel), LED inground.

PRODUCT: BEGA lighting, 8828

USE: Night time feature lighting to Mall area to increase safety and aesthetics of spaces.

LOCATION: C.B.D. Laneways and Trees in Mall / Main Street Gardens.

CONTACT: W: [www.zumtobel.com.au](http://www.zumtobel.com.au)

Ph: 03 9698-3023



DESCRIPTION: Pole lighting. Die cast aluminium and stainless steel. 220 x 4500mm, 40w LED round pole

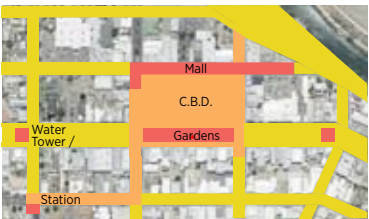
PRODUCT: BEGA Lighting, 8950

USE: Night time feature lighting to Mall area.

LOCATION: Nicholson Street Mall

CONTACT: W: [www.zumtobel.com.au](http://www.zumtobel.com.au)

Ph: 03 9698-3023



## STREETSCAPE TREATMENT HIERARCHY

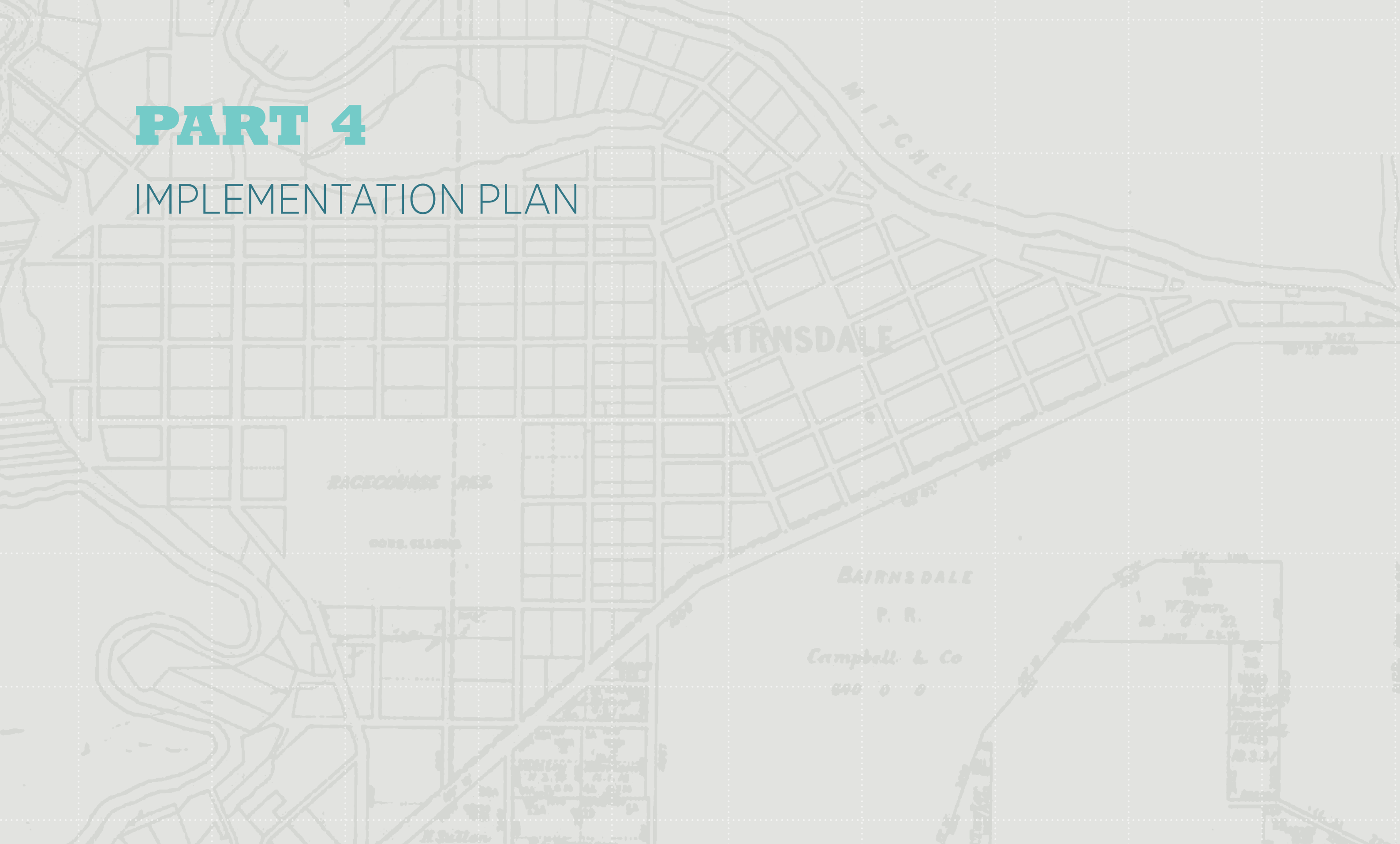
- High quality treatments
- Medium quality treatments
- Standard quality treatments (including greening of Bairnsdale Streets)

Pavement materials and streetscape elements – Example of streetscape elements



# PART 4

## IMPLEMENTATION PLAN

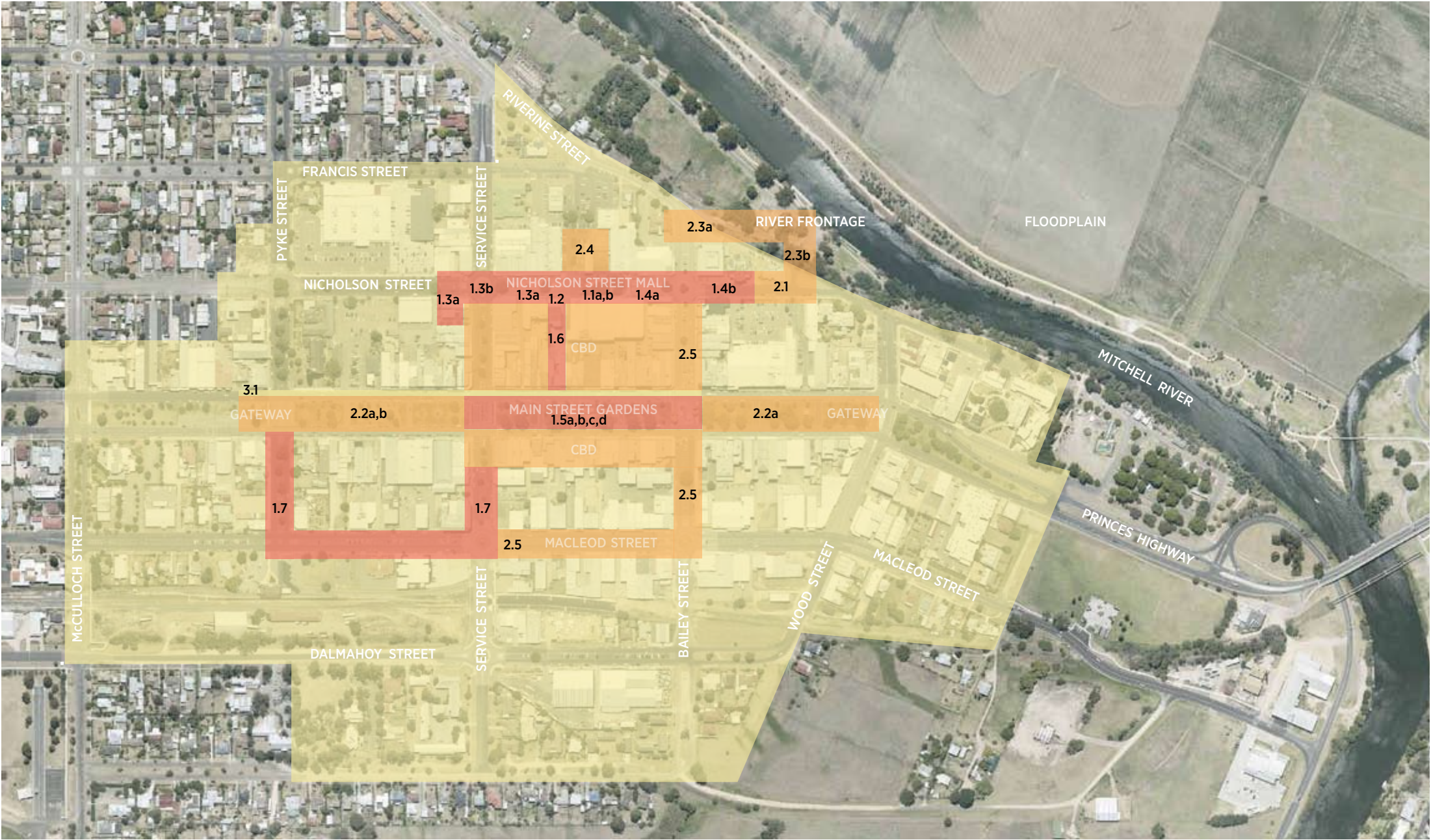




MASTERPLAN: PROPOSED STAGING AND PRIORITY WORKS

Key objectives:

- Prioritise essential improvement works
- Utilise the majority of the budget for the ‘high impact’ areas throughout Bairnsdale
- Staging will be undertaken by prioritising into the following:
  - Priority 1: Short term projects (next 5 years)
  - Priority 2: Medium term upgrade projects
  - Priority 3: Continuous and incremental projects
- Prioritise improvement works where they will create maximum benefit to the local community and its economy
- Focus budgets on improving the quality and experience of the primary attractions namely:
  - Nicholson St Mall
  - Main St Gardens
  - Implement incremental projects like “Greening Bairnsdale” so that their effect becomes apparent in the medium term (5–15 years)



Masterplan: Staging and Priority – Physical Works

PRIORITY 1: WORKS	
1.1a	Redevelop Nicholson St Mall
1.1b	Redevelop Nicholson St Mall: awning structure & kiosk renovation
1.2	Improve pedestrian wayfinding in CBD: install wayfinding signage
1.3a	Improve Nicholson Streetscape between Mall and Service St
1.3b	Improve Nicholson and Service St roundabout
1.4a	Improve Nicholson Streetscape between Mall and Bailey St
1.4b	Improve Nicholson and Bailey St Roundabout
1.5a	Improve Main St Gardens Stage 1: Redesign existing toilets in Main Street gardens and establish a pedestrian plaza
1.5b	Enhance Main St Gardens Stage 1: Close 2 median through-streets between Service and Bailey Streets
1.5c	Enhance Main St Gardens Stage 1: Create linear pathway within Main St Gardens

1.5d	Improve Main St Gardens Stage 1: Investigate options for replacing overhead power lines
1.6	Upgrade and activate laneway connection between Main St to Nicholson St (adjacent to Woolworths loading dock)
1.7	Increase canopy tree planting in Macleod, Pyke, Service Streets

PRIORITY 2: WORKS	
2.1	Improve Nicholson Streetscape between Bailey and Riverine St
2.2a	Improve Main St Gardens Stage 2: Detail design – Watertower to Wood Street
2.2b	Improve Main St Gardens Stage 2: Close medians between Pyke and Service Streets
2.3a	Enhance Mitchell River environs Stage 1: Improve connection to Mitchell River
2.3b	Enhance Mitchell River environs Stage 2: Art gallery and Courthouse precinct & Old Mill upgrade
2.4	Rationalise parking and circulation north of the Mall and behind Spotlight
2.5	Increase canopy tree planting in Bailey and Macleod Streets

PRIORITY 3: WORKS	
3.1	Improve Main St Gardens Stage 3: remove overhead power line



**PRIORITY WORKS AND COSTINGS**

The priorities for the physical (construction) works have been established in response to public comment and feedback, the type of works to be undertaken, provision of state and government funding and council’s construction and budget allocations.

The probable construction costs for the implementation of the Masterplan, is set out as Priority 1, 2 and 3 shown in the plan on the previous page. Within each Priority, the project scope is listed as: Works, Process and Activity, where relevant

**Works:**

The “Works” consist of the main construction works or activities associated with the project, such as the Mall, the upgrading of the Main Street Gardens and the Greening Bairnsdale programme. The scope and location of these “Works” are illustrated on the “Masterplan Staging and Priority Works Plan” shown on previous page. The costs and tasks associated with the “Works” are detailed in the Priority Actions and Costs Schedule, on the following pages.

**Process:**

The “Process” includes recommendations or tasks that are to be carried out to achieve the “Actions” that relate to statutory planning, Council policies and administrative procedures.

**Activity:**

The “Activity relates to actions or tasks that will facilitate improvements in the vibrancy of the retail core. This may include promotion of events, busking and shop window displays. Inevitably there is interdependence between all three of these “project” scope areas, for example following the Mall reconstruction, it is envisaged that there will be increased events and activities being held in the Mall.

The costs set out in the Priority tables are indicative only and are based upon estimates derived in 2012. These costs also include indicative costs for public realm elements such as furniture, pavement materials, lighting, etc. The costs for the public realm elements are set out in Table 1: Public Realm Materials and Furniture Indicative Costs.

These indicative costs are generally for construction works and exclude costs for preliminary site investigation works such as survey plans, preparation of project briefs and design concepts that take place before the construction documentation is prepared. Extensions to the street works in Nicholson Street and along Main Street Gardens are a case in point. The design and documentation costs have not been specially identified but need to be included when determining which “project” will be pursued in the budget cycle.



PRIORITY 1: ACTIONS AND COSTS SCHEDULE

WORKS (W1)			
No.	Action	Scope	Probable cost
1.1a	Redevelop Nicholson St Mall	<ul style="list-style-type: none"><li>Upgrade mall with soft and hard landscaping elements</li></ul> (As documented by MDG and Crossco)	Already funded (approx \$1mil), designed and documented for construction
1.1b	Redevelop Nicholson St Mall: awning structure & kiosk renovation	<ul style="list-style-type: none"><li>Replace/renovate existing awning structure (Woolworths frontage and central timber deck space)</li><li>Renovate roof and erect new awning to Rotary kiosk</li><li>Investigate new toilet facility attached/within kiosk</li><li>As designed/documentated by Williams Boag</li></ul>	Design process underway
1.2	Improve pedestrian wayfinding in CBD: install wayfinding signage	<ul style="list-style-type: none"><li>Install map based signs and street name blade signs in identified locations</li></ul> (As documented by Visual Voice) Currently being implemented.	\$20,000
1.3a	Improve Nicholson Streetscape between Mall and Service St	<ul style="list-style-type: none"><li>Detail design documentation</li><li>Footpath paving, street furniture, new street trees, selective planting, landscaping treatments to existing street trees</li></ul>	\$70,000  \$210,000
1.3b	Improve Nicholson and Service St roundabout	<ul style="list-style-type: none"><li>Roundabout upgrade: footpath paving, new street trees, selective landscaping, street furniture, civil works</li></ul> Note: grading and drainage works will be required to rectify grades for northern footpath (not costed)	\$265,000
1.4a	Improve Nicholson Streetscape between Mall and Bailey St	<ul style="list-style-type: none"><li>Detail design</li><li>Footpath paving, new street trees, selective planting, street furniture</li></ul>	\$40,000 \$65,000
1.4b	Improve Nicholson and Bailey St Roundabout	<ul style="list-style-type: none"><li>Roundabout upgrade: footpath paving, new street trees, selective landscaping, street furniture</li></ul>	\$200,000 + civil works

PROCESS (P1)			
No.	Action	Scope	Probable cost / responsibility
1.1	Create a lively and active city: Establish and appoint a Place Manager	<ul style="list-style-type: none"><li>Council Place Manager position to oversee Masterplan implementation of relevant CBD projects and particularly laneway activation programs</li></ul>	\$80-100,000 annual salary
1.2	Create a lively and active city: Establish a public art programme for the CBD	<ul style="list-style-type: none"><li>Build upon work to date and in accordance with Council's public art policy. Establish a CBD public art programme that includes the aboriginal art trail. Priority locations: mall, library forecourt, Main St Gardens, laneways</li></ul>	Cost: Council admin resources Strategic planning, arts/culture department
1.3	Create a lively and active city: Encourage local events in CBD	<ul style="list-style-type: none"><li>Council to actively encourage local events in the CBD. Core locations include, but not limited to, the Mall, Main Street Gardens, River, laneways and Library</li><li>Develop a Council policy guidelines for:<ul style="list-style-type: none"><li>a simplified/ streamlined process for events that require approval</li><li>toolkit for event hosts</li><li>risk management/ insurance guidelines</li></ul></li></ul>	Cost: Council admin resources Strategic planning, economic development, arts/culture
1.4a	Create a an attractive streetscape character	<ul style="list-style-type: none"><li>Develop local planning policy to assist development approvals that ensure new development maintains:<ul style="list-style-type: none"><li>active facades</li><li>active treatment to laneway abutals</li><li>pedestrian paths through the laneway network</li><li>high quality design treatments (which may also include public realm contributions e.g. paving upgrades)</li></ul></li></ul>	Cost: Council admin resources Strategic and statutory planning
1.4b	Create a an attractive streetscape character	<ul style="list-style-type: none"><li>Develop a local planning policy to assist development approvals that ensure new development maintains high quality design treatments (which may also include public realm contributions e.g. paving upgrades)</li></ul>	Cost: Council admin resources Strategic and statutory planning
1.5	Create a lively city: Enhance laneway activation through business initiatives	<ul style="list-style-type: none"><li>Place Manager to establish business development initiatives that may include: grants scheme for business/landowners, temporary events calendar, 'ideas incubator'</li></ul>	Cost: Council admin resources Strategic planning, economic development
1.6	Create a an attractive streetscape character	<ul style="list-style-type: none"><li>Develop a local planning policy to assist development approvals that ensure new development maintains high quality design treatments (which may also include public realm contributions e.g. paving upgrades)</li></ul>	Cost: Council admin resources Strategic planning, economic development

ACTIVITY (A1)			
No.	Action	Scope	Probable cost / responsibility
1.1	Conduct a short laneways study tour	<ul style="list-style-type: none"><li>Council officers to meet with counterparts in local councils where laneway activation has been successful (i.e. Melbourne, Bendigo, Geelong, Albury/Wodonga)</li></ul>	Strategic planning / Place manager
1.2	Establish a policy to encourage use of the Mall and Main St Gardens	Audit current policy framework and establish programme to reconfigure policy to focus on Mall and Main St Garden	Strategic planner / Activity officer



### PRIORITY 1: ACTIONS AND COSTS SCHEDULE (CONTINUED)

WORKS (W1)			
No.	Action	Scope	Probable cost
1.5a	Improve Main St Gardens Stage 1: Redesign existing toilets in Main Street gardens and establish a pedestrian plaza	<ul style="list-style-type: none"> <li>Construct a new cafe / kiosk structure with renovated toilet facilities (re-use existing building where possible)</li> <li>Install new paving, outdoor seating and an arbour/ pergola structure to accentuate the proposed linear path axis</li> </ul> (As illustrated on the Concept Plan — currently reviewed by SLAP Architects)	\$30,000 + construction costs
1.5b	Enhance Main St Gardens Stage 1: Close 2 median through-streets between Service and Bailey Streets	Works as documented by VicRoads: <ul style="list-style-type: none"> <li>Remove existing asphalt and kerbing</li> <li>New paving and kerbing to match existing on Main Street</li> <li>Soft landscaping treatments (e.g. lawn to match existing)</li> </ul>	VicRoads to install
1.5c	Enhance Main St Gardens Stage 1: Create linear pathway within Main St Gardens	<ul style="list-style-type: none"> <li>Detail design - \$6,000 + Features and levels survey - \$5,000 and existing tree audit - \$5,000</li> <li>Install granitic linear pathway (3m wide by 200m long) with 400m of steel edge board</li> </ul>	\$16,000 \$40,000
1.5d	Improve Main St Gardens Stage 1: Investigate options for replacing overhead power lines	<ul style="list-style-type: none"> <li>SPAusnet to undertake Feasibility Study to investigate options to remove and replace overhead power lines in Main Street, including, but not limited to, underground, bundling, façade mounted options</li> <li>Feasibility study to provide options and costs for removal between Service to Bailey Streets as Stage 1 and Pyke to Service Streets as Stage 2</li> </ul>	\$2,500
1.6	Upgrade and activate laneway connection between Main St to Nicholson St (adjacent to Woolworths loading dock)	<ul style="list-style-type: none"> <li>Detail design documentation</li> <li>In situ coloured exposed aggregate concrete paving (210sqm) = \$25,000</li> <li>Soft landscape works: vertical planting along loading dock with vertical support structure - say \$10,000</li> <li>Public art installation: to wall of Woolworths/ bakery – say \$20,000 commission</li> </ul>	\$8,500 \$55,000
1.7	Increase canopy tree planting in Macleod, Pyke, Service Streets	<ul style="list-style-type: none"> <li>500m of tree planting at 12m spacing (both sides of street) (Macleod-200m, Pyke-100m, Service-200m)</li> <li>Streets as identified in priority action maps</li> </ul> Note: Cost does not take account of existing trees, therefore total cost is likely to be lower)	\$37,500
		Subtotal	\$1,059,500
		Contingency fund (10% of subtotal)	\$105,950
		TOTAL	\$1,165,450

[illegible]



PRIORITY 2: ACTIONS AND COSTS SCHEDULE

WORKS (W2)			
No.	Action	Scope	Probable cost
2.1	Improve Nicholson Streetscape between Bailey and Riverine St	<ul style="list-style-type: none"><li>Detail design</li><li>Replace existing footpath paving with in-situ coloured exposed aggregate concrete (402sqm@\$110/sqm = \$44,220)</li><li>Install bluestone pavers to Art gallery and Courthouse footpath (120sqm @\$240/sqm = \$28,800)</li><li>23 new street trees (kerb side) = \$10,350</li><li>New street furniture (e.g. seating, bins, lighting) and civil works not costed</li></ul>	<div>\$15,000</div> <div>\$85,000</div> <div>+ civil works</div> <div>+ street furniture</div>
2.2a	Improve Main St Gardens Stage 2: Detail design – Watertower to Wood Street	<ul style="list-style-type: none"><li>Detailed design brief to Landscape Architects to prepare. Brief based on Concept Plan and to include:<ul style="list-style-type: none"><li>soft and hard landscape elements including granitic linear pathway</li><li>new plaza between rotunda and toilets</li><li>integration of remodelled toilet/kiosk</li><li>paving, drainage/grading works</li><li>furniture elements</li><li>lighting, projection facilities or other for watertower</li></ul></li><li>Construction</li></ul>	<div>\$70,000</div> <div>\$400,000</div>
2.2b	Improve Main St Gardens Stage 2: Close medians between Pyke and Service Streets	As documented by VicRoads : <ul style="list-style-type: none"><li>Remove existing asphalt</li><li>New paving and kerbing to match existing</li><li>Soft landscaping treatments (turf to match existing)</li></ul>	VicRoads to install
2.3a	Enhance Mitchell River environs Stage 1: Improve connection to Mitchell River	<ul style="list-style-type: none"><li>Detailed design brief to be prepared for tender to Architects/Landscape Architects. Brief to include:<ul style="list-style-type: none"><li>Creation of pedestrian path to river and viewing platform (at Riverine Street level)</li><li>Grading/drainage works, paving, soft landscape elements, furniture elements, signage</li><li>Any design work to be based upon prepared concept plan and be cognisant of proposed future works to art gallery precinct</li></ul></li><li>Construct path and viewing platform</li></ul>	<div>\$50,000</div> <div>\$340,000</div>
2.3b	Enhance Mitchell River environs Stage 2: Art gallery and Courthouse precinct & Old Mill upgrade	<ul style="list-style-type: none"><li>Detailed design brief to Architect and Landscape Architect to prepare documentation for construction based on prepared Concept Plan for Art gallery precinct:<ul style="list-style-type: none"><li>Upgrade/outline renovations and prepare documentation for construction for Old Mill upgrade</li><li>Opportunity for amphitheatre facility</li><li>Closure of Riverine St to create pedestrian friendly civic space and better integrate art gallery and courthouse</li><li>Options to relocate courthouse function to alternative site (and utilise courthouse for art gallery/community use)</li></ul></li><li>Soft and hard landscaping elements, civil works (drainage, grading, paving), furniture elements</li><li>Construction</li></ul>	<div>\$80,000</div> <div>\$500,000</div>

PROCESS (P2)			
No.	Action	Scope	Probable cost / responsibility
2.7	Extend activation of laneway network in east-west direction	<ul style="list-style-type: none"><li>Appoint Place Manager</li><li>Establish support fund of \$20,000p.a.</li></ul>	See Priority 1 \$20,000 p.a.
2.8	Create a pedestrian friendly city core: slow vehicles in retail core with speed restrictions	<ul style="list-style-type: none"><li>Implement a 40kmph speed limit to Service/Bailey/ Francis/Nicholson Streets within the core retail area</li></ul>	Cost: Administrative resources and signage Council & VicRoads
2.9	Enhance Mitchell River environs Stage 2: Explore land purchase opportunities	<ul style="list-style-type: none"><li>Investigate opportunities for Council to purchase river frontage land along Riverine Street west of the Old Mill</li></ul>	Cost: Administrative resources Council
2.10	Create a sustainable city core: develop a sustainable drainage strategy	<ul style="list-style-type: none"><li>Develop a drainage strategy and establish WSUD techniques to be employed in public realm works</li></ul>	Engineering with strategic planning and parks
2.11	Create a sustainable city core: establish a green infrastructure programme	<ul style="list-style-type: none"><li>Develop a green infrastructure strategy that includes, but not limited to:<ul style="list-style-type: none"><li>A ‘green’ purchasing program to prioritise environmentally sustainable materials/products</li><li>WSUD techniques</li><li>GIS database for street trees</li><li>Maintenance and management guidelines</li></ul></li></ul>	Cost: Administrative resources  Parks and engineering with strategic planning

ACTIVITY (A2)			
No.	Action	Scope	Probable cost / responsibility
2.12	Improve Main St Gardens Stage 2: water tower activation	<ul style="list-style-type: none"><li>Establish / develop a series of events and activities to program use of water tower.</li><li>Events/activities may include:<ul style="list-style-type: none"><li>Night-time projections that promote Bairnsdale (e.g. series of still photographs projected onto screen)</li><li>Outdoor film event</li><li>Digital / video art exhibition</li></ul></li></ul>	Cost: Administrative resources and signage  Place Manager & Arts/Culture department



WORKS (W2)			
No.	Action	Scope	Probable cost
2.4	Rationalise parking and circulation north of the Mall and behind Spotlight	<ul style="list-style-type: none"> <li>Detailed design brief to Traffic Engineers and Landscape Architects. Brief to include:               <ul style="list-style-type: none"> <li>Consult with property owners, tenants, key users</li> <li>Prepare detail design for reconfigured layout</li> </ul> </li> <li>Construction of car park</li> </ul>	\$50,000
			\$340,000
2.5	Increase canopy tree planting in Bailey and Macleod Streets	<ul style="list-style-type: none"> <li>115 new street trees over 695m of streetscape at 12m spacing (both sides of street) (Macleod-330m, Bailey-365m)</li> </ul> (Streets as identified in priority action maps)  Note: cost does not take account of existing trees, therefore total cost is likely to be lower)	\$59,500
		Subtotal	\$1,989,500
		Contingency fund (10% of subtotal)	\$198,950
		TOTAL	\$2,188,450



PRIORITY 3: ACTIONS AND COSTS

WORKS (W3)				PROCESS (P3)			
No.	Action	Scope	Probable cost	No.	Action	Scope	Probable cost / responsibility
3.1	Improve Main St Gardens Stage 3: remove overhead power lines	<ul style="list-style-type: none"><li>Removal of overhead power lines in accordance with feasibility study</li><li>Stage 1 - Service to Bailey Streets</li><li>Stage 2 - Pyke to Service Streets</li></ul>	Approx. \$900,000 (Feasibility study to confirm costs)		Extend activation of laneway network to south side of Main St and east side of Bailey St	<ul style="list-style-type: none"><li>Appoint Place Manager &amp; continue support fund of \$20,000p.a. (see Priority 1 and 2 actions)</li></ul>	See Priority 1 & 2 actions \$20,000 p.a.
		Subtotal	\$900,000				
		Contingency fund (10% of subtotal)	\$90,000				
		TOTAL	\$990,000				

Summary of physical improvement costs:

Priority 1:	\$1,165,450
Priority 2:	\$2,188,450
Priority 3:	\$990,000
Total:	\$4,343,900

EXCLUSIONS:

1. GST
2. Site survey fees
3. Specialist consultant fees
4. Documentation and contract administration fees
5. Site preparation works
6. Site establishment works and traffic management during construction
7. WSUD treatments/elements
8. Works required to existing utility infrastructure
9. Irrigation or watering as part of implementation
10. Ongoing maintenance fees

LIMITATIONS:

1. Cost estimates are indicative only and based on estimates prepared November 2012
2. Construction costs may vary subject to detailed design outcomes
3. Where construction costs are known detail design costs have been determined as 15% of total construction fees
4. Where detail design fees have been established a similar 15% rate has been used to determine a construction fee.



TABLE 1: PUBLIC REALM MATERIALS AND FURNITURE INDICATIVE COSTS

Item	Description	Supplier	Unit	Indicative cost
Bluestone pavers	Sawn bluestone pavers on concrete base 300 x 600 x 40mm with 10mm grouting joints (non-vehicular areas)	-	sqm	\$240
Exposed aggregate concrete	In-situ coloured exposed aggregate concrete paving 130mm thick (colour Abilox 183 'Raw Umber', 8.3% by weight in off-white cement) with exposed aggregate (7mm locally sourced aggregate) finish. Lightly sand-blasted for exposed finish (non-vehicular areas)	Preferably locally sourced	sqm	\$110
Standard concrete	In accordance with council requirements in off-white or mid-grey colours	Preferably locally sourced	sqm	\$70? MDG to confirm
Timber decking	Hardwood plantation sourced timber coated with 'Sikkens' natural decking oil (Nicholson Street Mall)	Preferably locally sourced	sqm	\$350
Granitic paving	Cement stabilised, granitic gravel pathways. 75mm compacted depth (5mm locally sourced) with street edging to borders. Can also be used as mulch around trees	Preferably locally sourced	sqm	\$32
Paving imprint	Imprint text to concrete paving	-	sqm	\$250
Standard seat A	'Civic Seat'. Backed seating bench (hot-dipped galvanised steel and hardwood timber slats) 1800 x 620 x 450mm	Furphy Foundry	Item	\$975
Standard seat B	'Promenade Seating Deck' (stainless steel and hardwood timber slats) 1800 x 790 x 440mm	Furphy Foundry	Item	\$1,295
Non-standard seat A	'Chaise Lounge'. Lounge chair (hot-dipped galvanised steel and hardwood timber slats) 1470 x 600 x 1075mm	Furphy Foundry	Item	\$1,700
Non-standard seat B	Custom designed seating for high profile places (e.g. river)	Custom designed	Item	P.O.A.
Bicycle hoop	Single Bike Rack. Stainless steel 900 x 900 x 50mm	Furphy Foundry	Item	\$280
Bicycle pole mount	Retrofitted pole mount bicycle ring	Arrow Alpha	Item	\$125
	Pole vault	Bike Parking Experts	Item	\$390
Rubbish bin	Stainless steel recycling and rubbish bin	Furphy Foundry	Item	\$1,975
Drink fountain	Prospect Drinking Fountain with Dog Bowl 940mm x 1028mm (product code: PDF.316SS.DB)	Botton & Gardiner	Item	\$4000
Bollard	Bollard (stainless steel) 1000 x 140mm	Furphy Foundry	Item	\$575
Street lamp	Bega 8950 pole light. Die cast aluminium and stainless steel	Zumtobel Lighting	Item	\$6,800
Accent light	Bega 8828 recessed up-light	Zumbotel Lighting	Item	\$3,000
Map based sign	Typical map-based sign (MBS)	Visual Voice	Item	\$x EGSC to confirm
Street name blade	Typical directional sign (IDS)	Visual Voice	Item	\$x EGSC to confirm
Street tree	Semi advanced tree in 2sqm tree pit with 500mm depth topsoil, 75mm depth organic mulch (note: tree pit size may vary depending on tree species and location)	Preferably locally sourced	Item	\$450
Tree grate	1000mm square, mild steel frame, hot dipped galvanised cast aluminium grates	Furphy Foundry	Item	\$995
Cigarette Butt Receptacle	Wall and post mounted Eco-Pole Ashtray (stainless steel) 76 x 470mm	No BuTTs	Item	\$250

EXCLUSIONS:

1. GST
2. Installation costs
3. Site preparation works
4. Civil works
5. Consultant fees
6. Irrigation and drainage works for landscaping
7. Maintenance fees
8. Delivery/freight costs

LIMITATIONS:

1. Cost estimates are indicative only and based on 2012 estimates
2. Costs are subject to change by suppliers

TABLE 2: GREENING BAIRNSDALE – INDICATIVE TREE PLANTING COSTS

Road type	Scope of Tree Planting	Probable supply and installation cost (excl GST)
North/South Roads based upon approx. 100m length of road between two intersections  Road length – 100m with trees planted at min 12 to 15m centres	12 to 16 trees along each road section at \$450.00 per tree based upon typical planting of 6 to 8 trees along each side of the road  (Note that 6 to 8 trees may also be planted along a centre median where present)	\$5,400 to \$7,200  (Excludes any centre median tree planting)
East/West Roads based upon approx. 200m length of road between two intersections  Road length – 200m with trees planted at min 12 to 15m centres	26 to 32 trees along each road section at \$450.00 per tree based upon typical planting of 13 to 16 trees along each side of the road  (Note that 13 to 16 trees may also be planted along a centre median where present)	\$11,700 to \$14,400  (Excludes any centre median tree planting)

Refer to Proposed Street Tree Masterplan Concept in Section 5 of report.