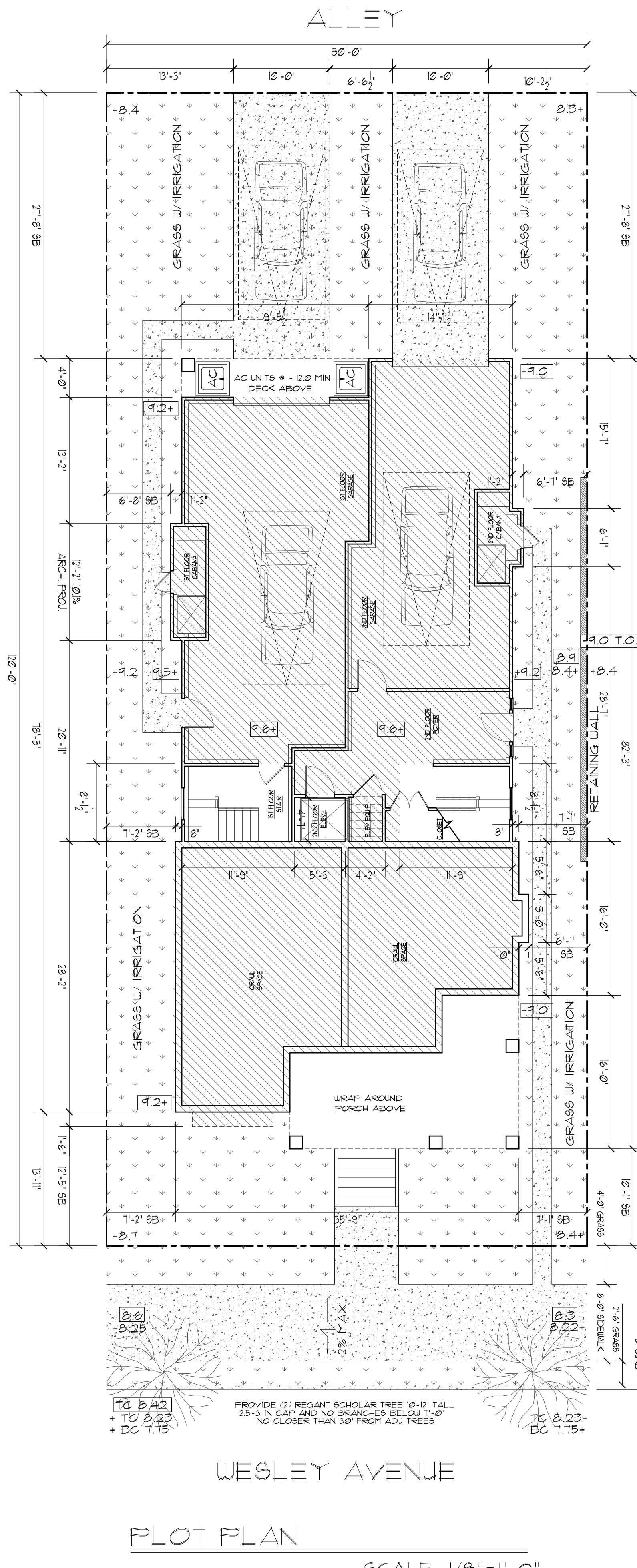


Alleyoop LLC Residence

2204 Wesley Ave OCNJ



LOT 14, BLOCK 2201
 LOT AREA: 6,000 SF
 BUILDING COVERAGE: 2280 SF, 38%
 ALLOWED: 2280 SF, 38%
 IMPERVY COVERAGE: 3,159.8 SF, 62.1%
 ALLOWED: 3,500 SF, 65%
 EL FIRST FLOOR: +4.1'
 RIDGE HEIGHT: +42.1'
 BFE: X ZONE (NEXT HIGHEST +10' NAVD)
 PROPOSED STRUCTURES TO HAVE GUTTERS AND DOWN SPOUTS
 HI GARAGE EL: +9.6'

FINISHED GRADE CALCULATION

32
33
50
15.0
364.14

NOTE
 SIDEWALKS AND DRIVEWAYS SHALL HAVE A MINIMUM CONCRETE THICKNESS OF 4" EXCEPT WHERE THE SIDEWALK IS PART OF A DRIVEWAY IN WHICH CASE THE MINIMUM CONCRETE THICKNESS SHALL BE 6". MINIMUM SIDEWALK WIDTH SHALL BE 6' EXCEPT IN THOSE BLOCKS OR AREAS WHERE PARTIALLY DEVELOPED SIDEWALKS OF LESSER OR GREATER WIDTHS EXIST.

THAT PORTION OF THE DRIVEWAY FROM THE INTERIOR PROPERTY LINE TO THE STREET SHALL HAVE A MINIMUM THICKNESS OF 6" AND SHALL BE CONSTRUCTED OF CONCRETE. ALL DRIVEWAYS SHALL BE REINFORCED WITH WELDED WIRE FABRIC (MIN. 6x6) FIBERGLASS OR AN EQUIVALENT APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.

EXPANSION JOINTS SHALL BE INSTALLED AT INTERVALS NOT EXCEEDING 20' REINFORCED BITUMINOUS CELLULAR JOINT FILLERS 1/2" THICK SHALL BE PLACED IN THE EXPANSION JOINTS. FORMED JOINTS SHALL BE CUT INTO THE CONCRETE SIDEWALK BETWEEN THE EXPANSION JOINTS AT EQUAL INTERVALS NOT EXCEEDING WITH WIDTH OF THE SIDEWALK.



FRONT ELEVATION

Working Drawings
 February 23, 2021

BUILDING DATA

2018 INTERNATIONAL RESIDENTIAL CODE, NJ EDITION
 USE GROUP = R5
 CONSTRUCTION TYPE = 5B DCA
 TOTAL BUILDING SF = 4560 SF
 TOTAL STRUCTURAL VOLUME = 68,400 CF
 BUILDING COVER (Not Impervious) = 2901 SF
 FLOOD ZONE = X
 BASE FLOOD ELEVATION = NEXT HIGHEST +10'

LIST OF DRAWINGS

DATE	PAGE #	TITLE
2-23-21	T-1	TITLE SHEET
2-23-21	A-1	ELEVATIONS
2-23-21	A-2	ELEVATIONS
2-23-21	A-3	ARCHITECTURAL GROUND FLOOR PLAN
2-23-21	A-4	ARCHITECTURAL FIRST FLOOR PLANS
2-23-21	A-5	ARCHITECTURAL SECOND FLOOR PLAN
2-23-21	A-6	STRUCTURAL ROOF PLAN
2-23-21	A-7	STRUCTURAL PLANS
2-23-21	A-8	STRUCTURAL PLANS
2-23-21	A-9	ELECTRICAL PLANS
2-23-21	A-10	ELECTRICAL PLANS
2-23-21	D203 B	CONSTRUCTION DETAIL SHEET
5-11-18	FR5	WOOD FRAMING CONSTRUCTION MANUAL DETAILS
12-14-16	TJ1/HD	TJ 1/4 HOLD DOWN DETAILS
4-20-13	FS-1	FIRE STOPPING DETAILS

WESLEY AVENUE
 PLOT PLAN
 SCALE: 1/8" = 1'-0"

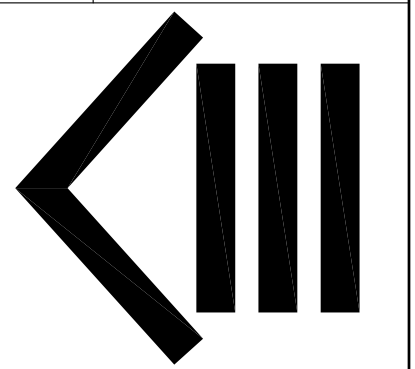
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COVER SHEET &
 PLOT PLAN

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Checked:	GWT		T-1



FRONT ELEVATION

NOTE: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE, DECKS OR PORCHES MUST HAVE SILLS 24 IN. AFF

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

NOTE: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE, DECKS OR PORCHES MUST HAVE SILLS 24 IN. AFF

SCALE: 1/4"=1'-0"

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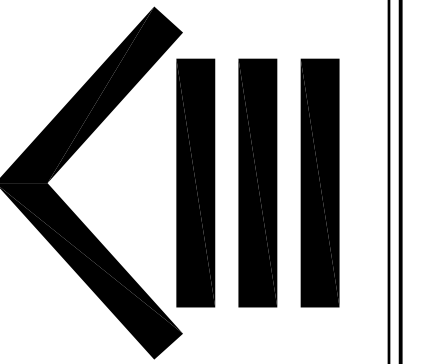
ELEVATIONS

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0621

Dwg. No.

A-1



REAR ELEVATION

NOTE: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE, DECKS OR PORCHES MUST HAVE SILLS 24 IN. AFF

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

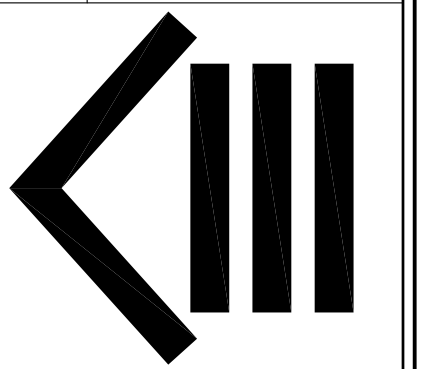
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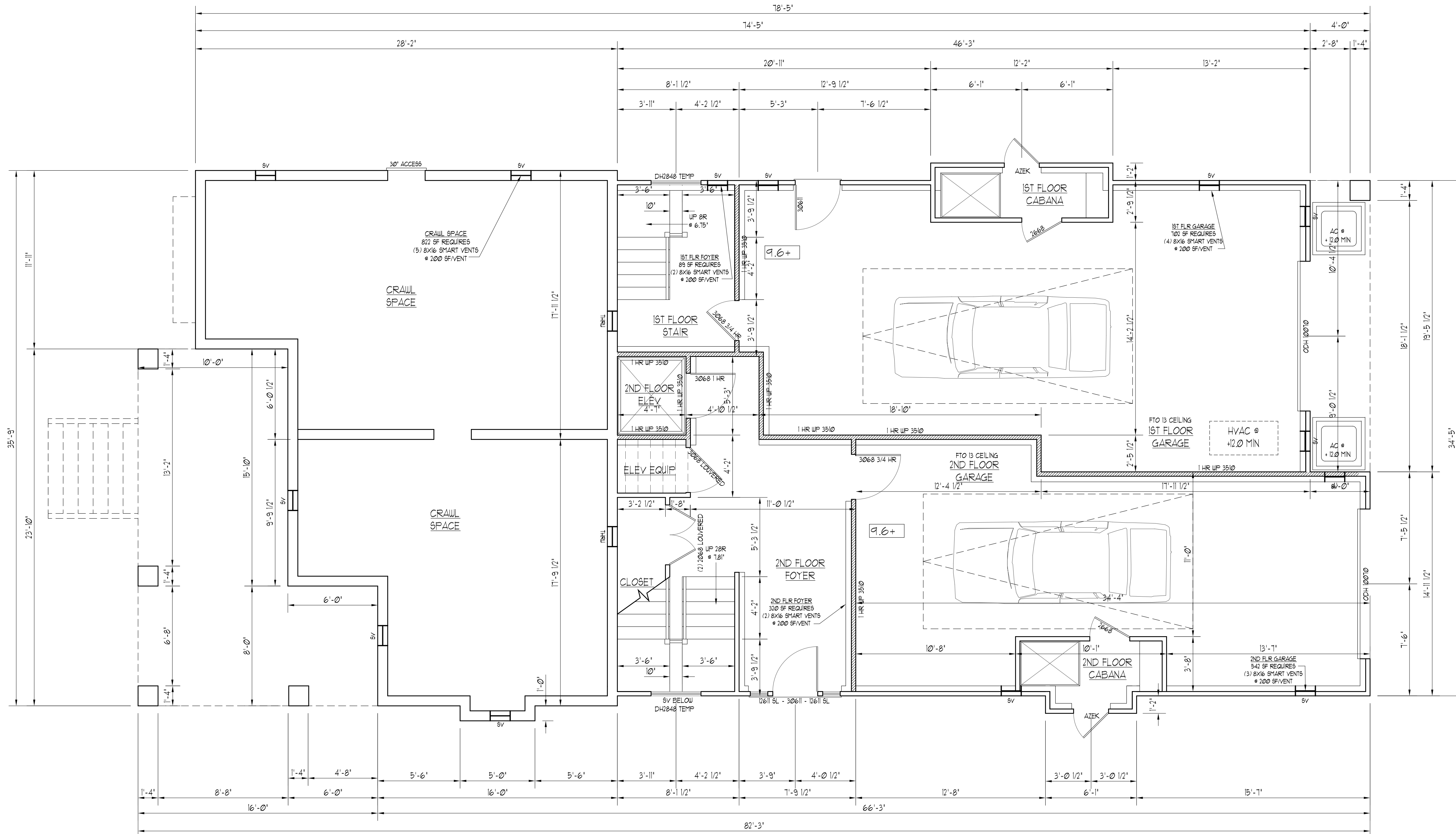
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File No:
 0621

Dwg. No.
 A-2

GROUND FLOOR PLAN

NOTE 1: ALL PT LUMBER 5'-0" OR MORE ABOVE GRADE SHALL HAVE FIELD APPLIED COATING MANUFACTURE NO-BURN
 NOTE 2: DIMENSIONS ARE TO FACE OF STUD, FACE OF STUD AND FACE OF CMU ARE COP-LANK
 NOTE 3: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE, DECKS OR PORCHES MUST HAVE 5/16" 24 IN. AFF

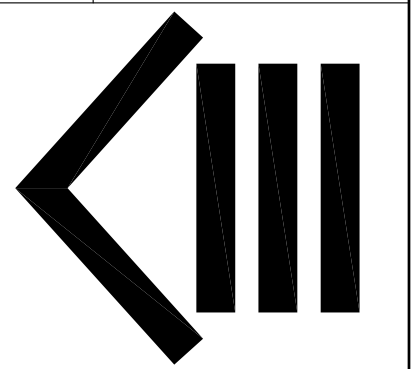


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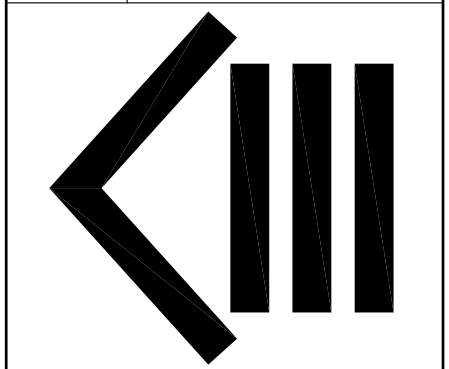
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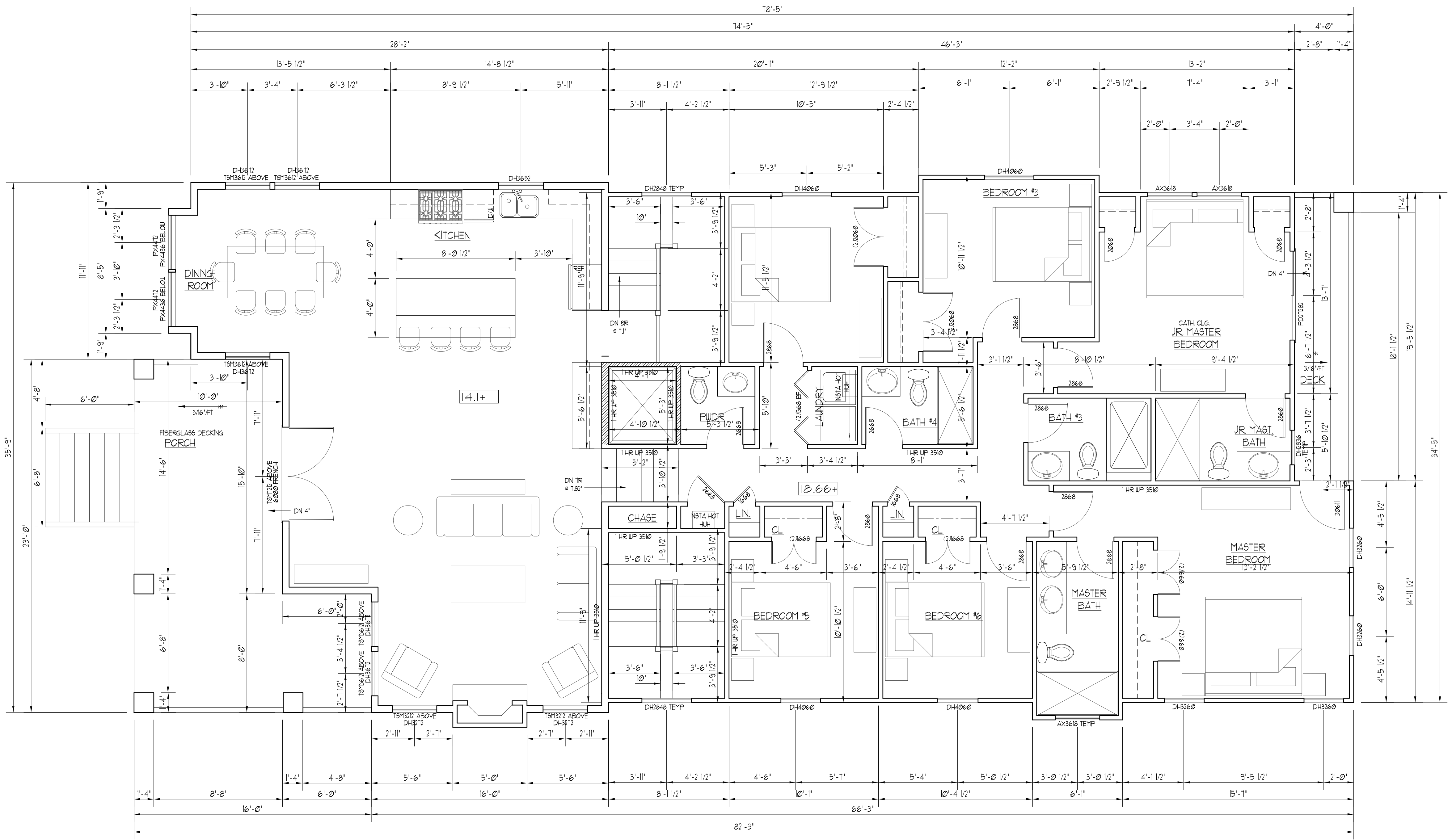
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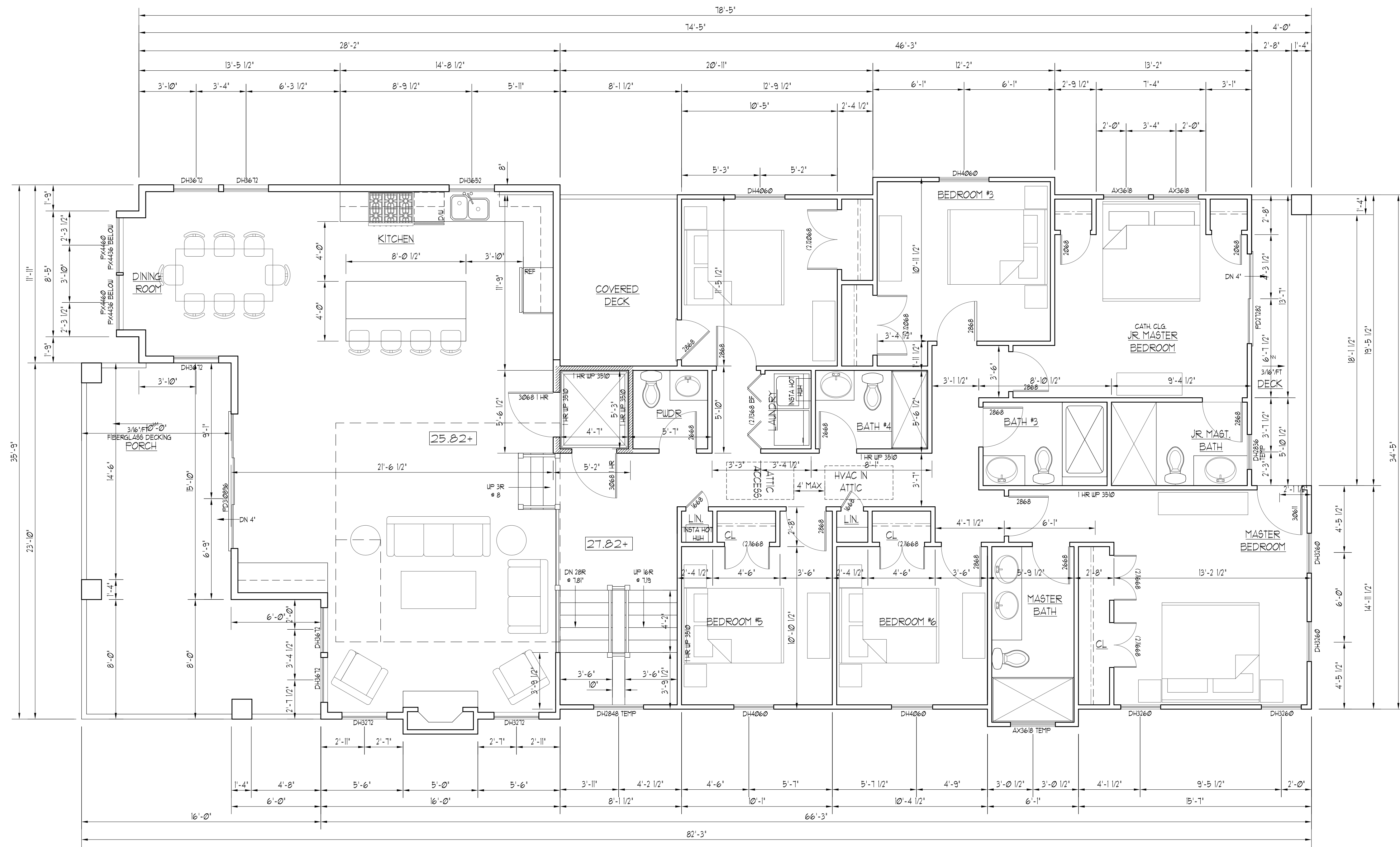
FIRST FLOOR PLAN

2280 SF
 NOTE 1: ALL 1" LUMBER 3'-0" OR MORE ABOVE GRADE SHALL HAVE FIELD APPLIED COATINGS MANUFACTURE NO. 500
 NOTE 2: DIMENSIONS ARE TO FACE OF STUD. FACE OF STUD AND FACE OF CHU ARE COPLANAR
 NOTE 3: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE, DECKS OR PORCHES MUST HAVE SILLS 24 IN. AFF



SECOND FLOOR PLAN

2200 SF
 NOTE 1: ALL PT LUMBER 5'-0" OR MORE ABOVE GRADE SHALL HAVE FIELD APPLIED COATING MANUFACTURE NO-BURN
 NOTE 2: DIMENSIONS ARE TO FACE OF STUD. FACE OF STUD AND FACE OF CHU ARE CORIARUS
 NOTE 3: ALL WINDOWS MORE THAN 6'-0" ABOVE GRADE, DECKS OR PORCHES MUST HAVE SILLS 24 N. AFF



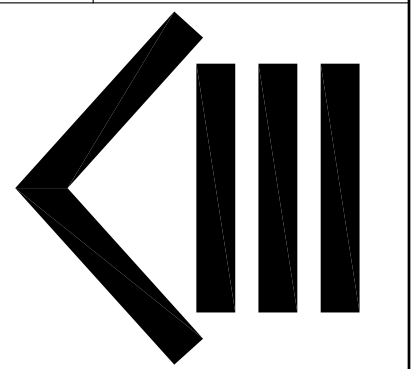
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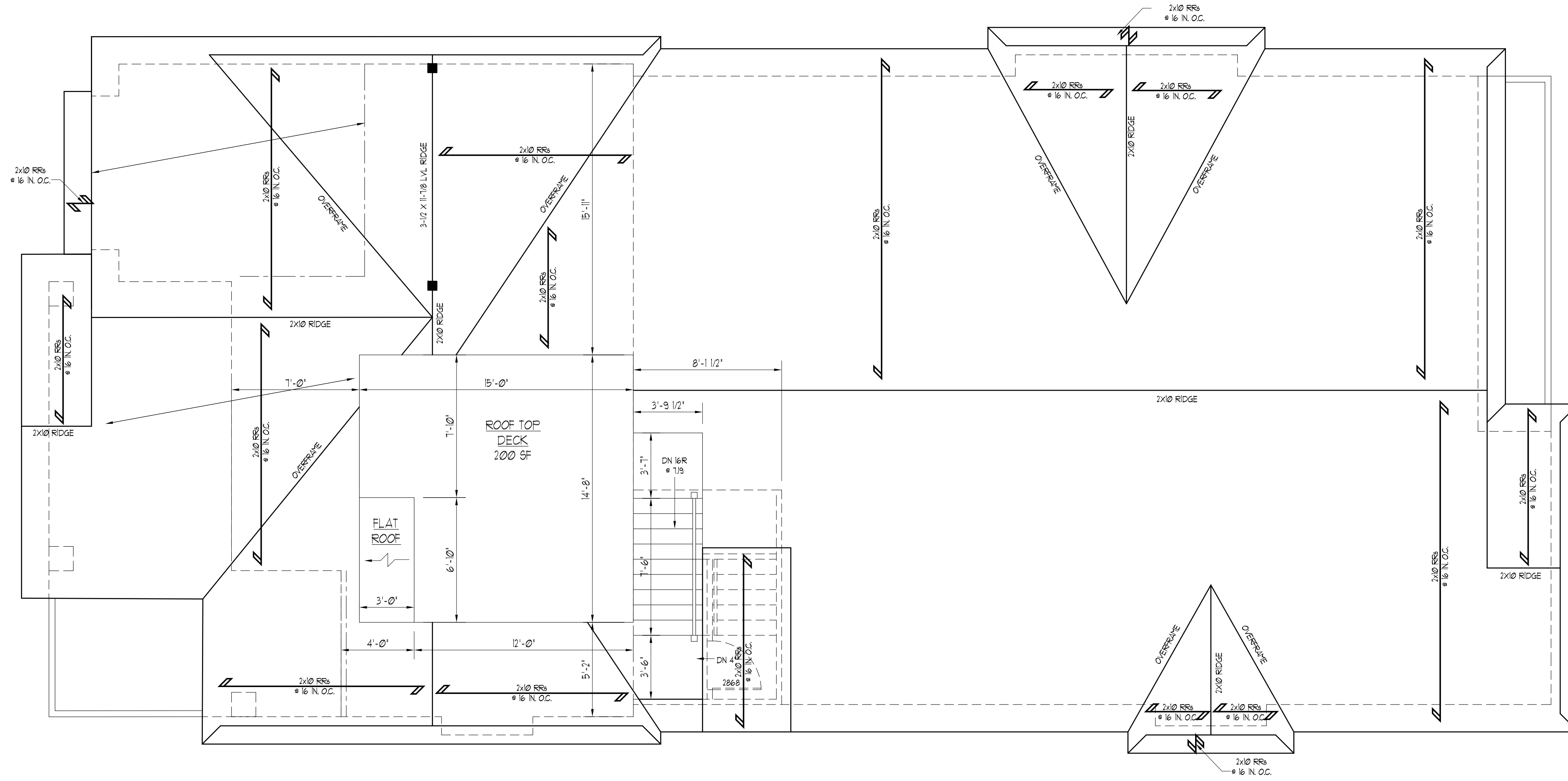
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ROOF PLAN

AREA OF ROOF LESS THAN 4 ON 12 = 0 SF = 0%



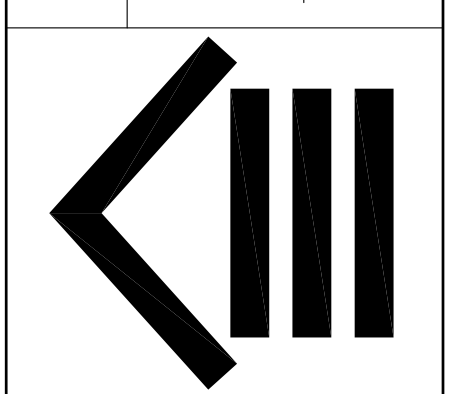
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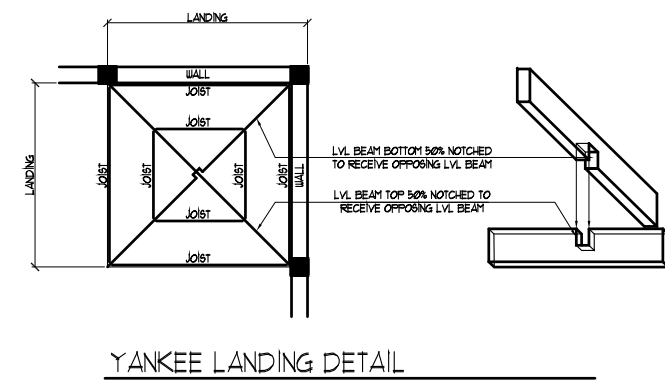


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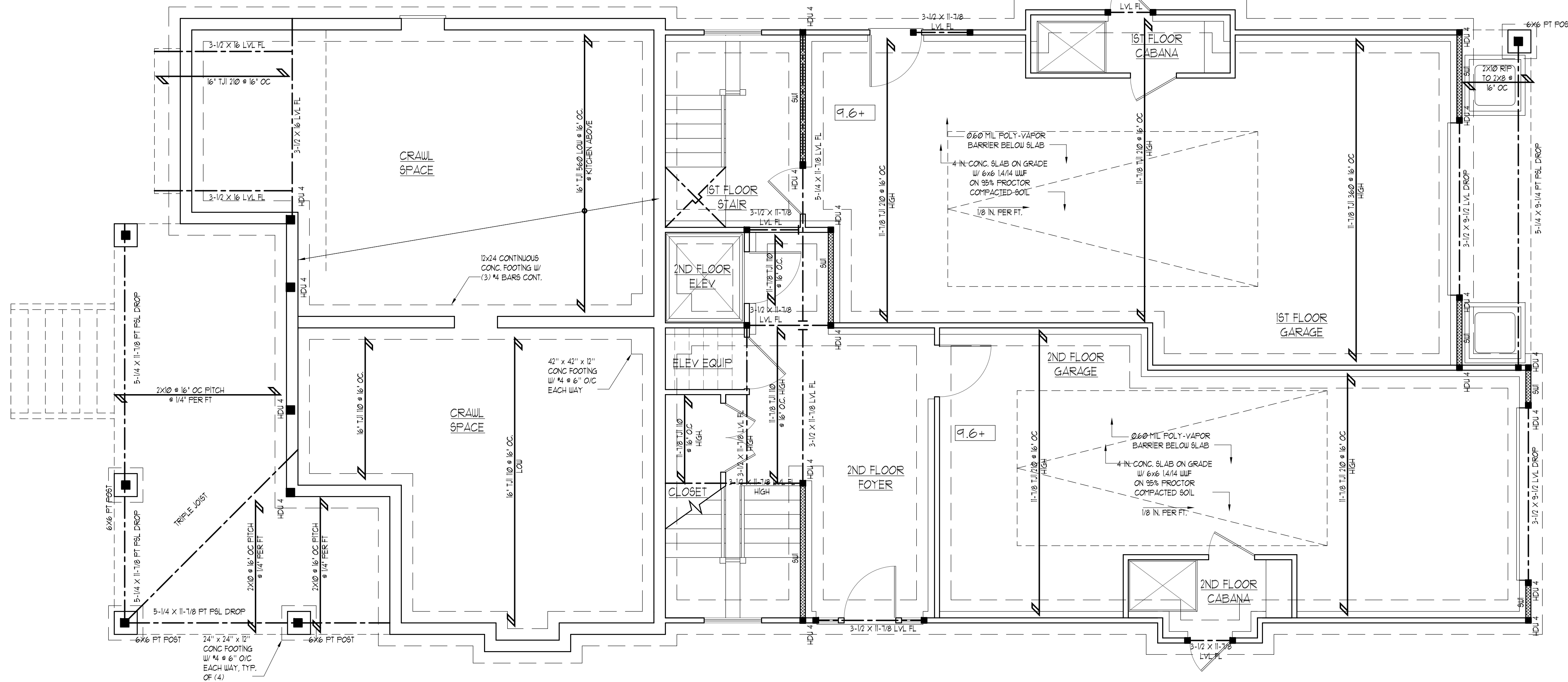
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GROUND FLOOR PLAN



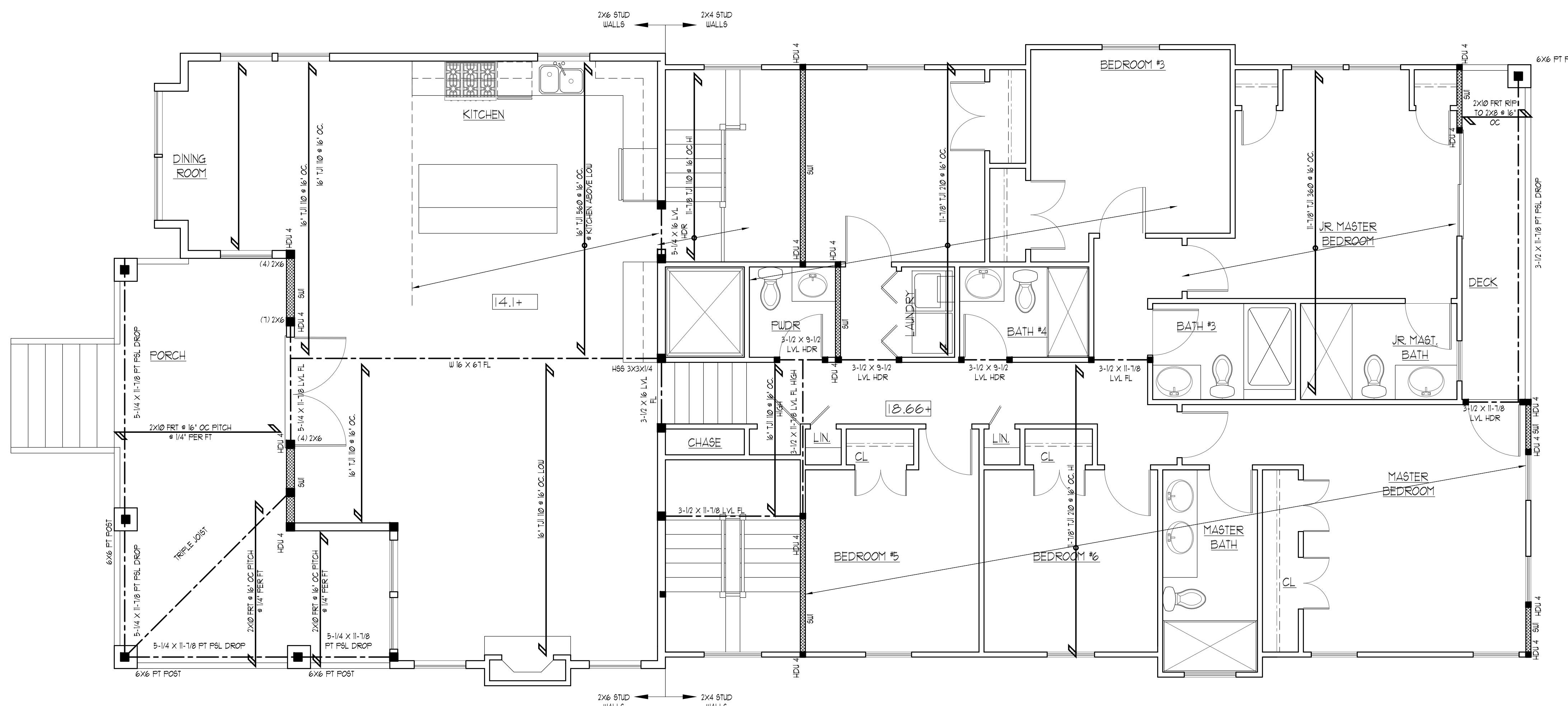
STRUCTURAL POST KEY

- MIN. (3) 2x4/2x6 POST DN UNLESS OTHERWISE NOTED
- POST/ POINT LOAD FROM ABOVE
- ▨ SHEAR WALL



FIRST FLOOR PLAN

2280 SF



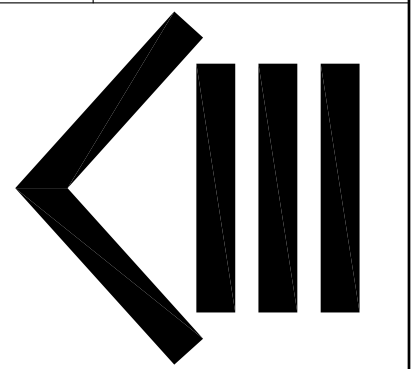
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STRUCTURAL PLANS

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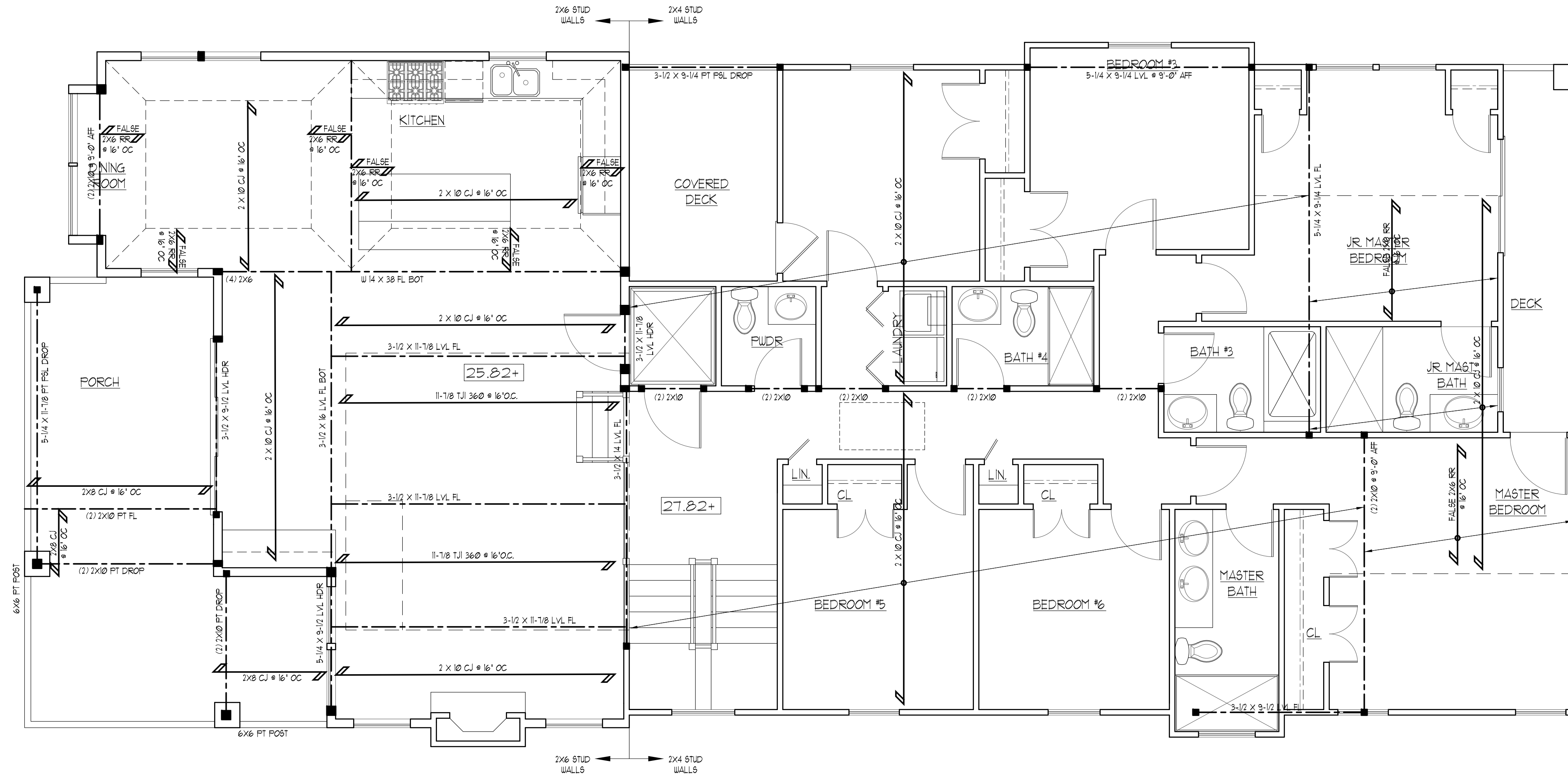
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SECOND FLOOR PLAN
2280 SF

STRUCTURAL POST KEY

- MIN. (3) 2x4/2x6 POST DN UNLESS OTHERWISE NOTED
- POST/ POINT LOAD FROM ABOVE
- ▨ SHEAR WALL



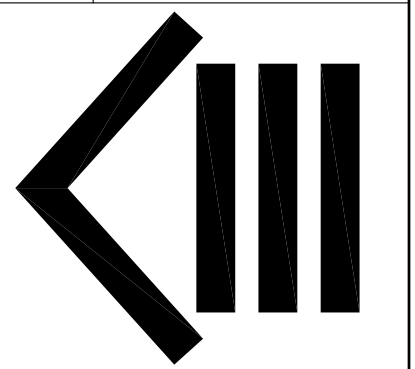
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FLOOR PLANS

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GROUND FLOOR PLAN

NOTE:
 - ALL CEILING FANS TO HAVE LIGHTS.
 - SD'S MUST BE LOCATED MIN OF 36" AWAY FROM TIPS OF FAN BLADES,
 BATHROOM DOORS W/ TUB / SHOWER, 4 HVAC SUPPLY OUTLETS, TYP.
 - CARBON MONOXIDE ALARMS / DETECTORS, WHERE REQUIRED, SHALL BE INSTALLED
 NO MORE THAN 10'-0" FROM ALL SLEEPING ROOMS

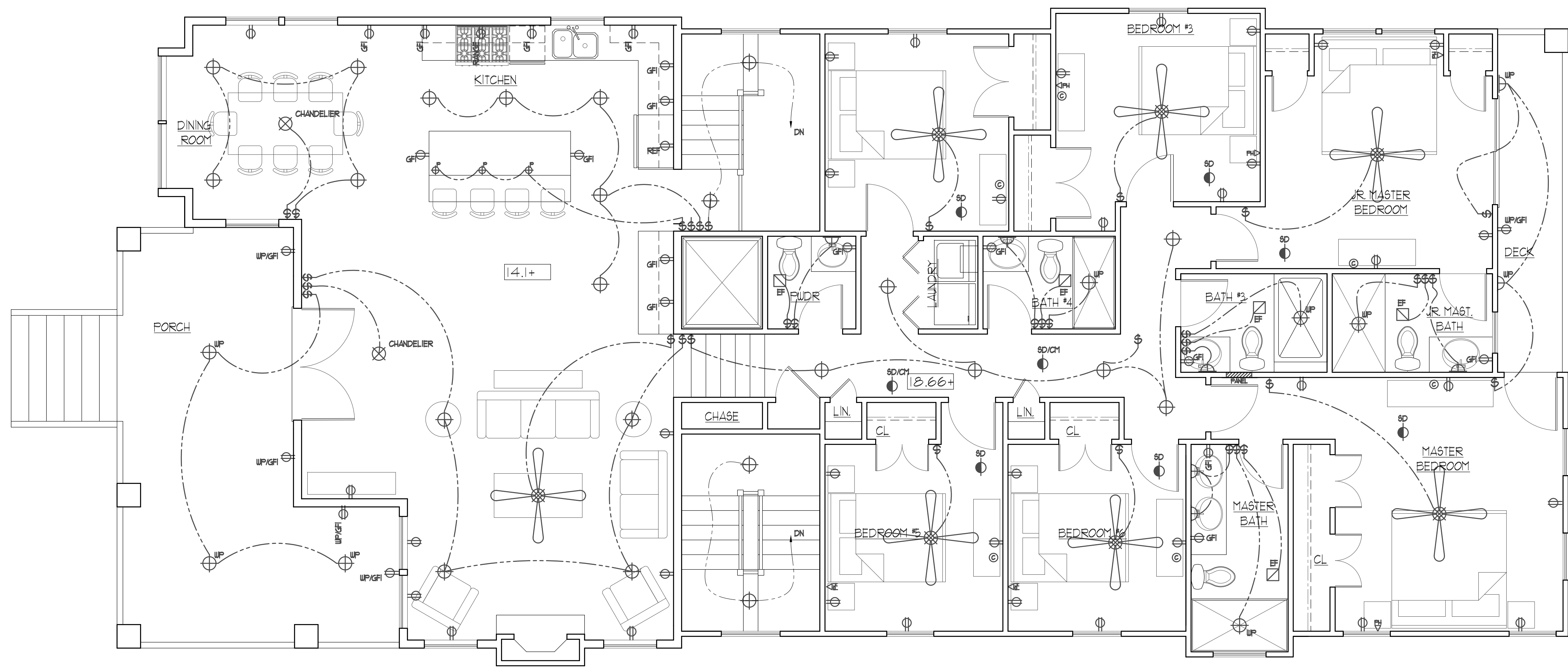
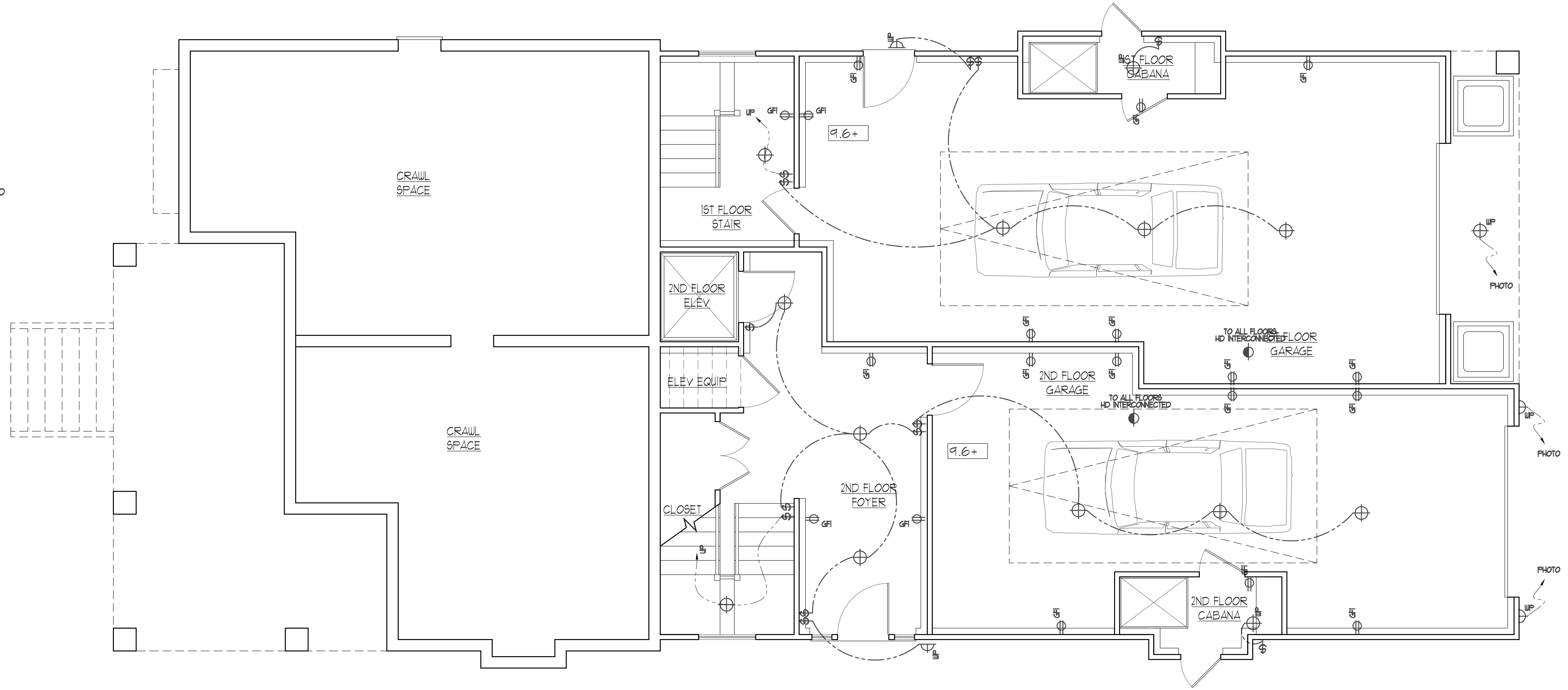
ELECTRICAL LEGEND

- ⊕ SINGLE POLE SWITCH
- ⊕³ THREE WAY SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ SWITCHED OUTLET
- ⊕ SWITCHED OUTLET
- ⊕ GFI CIRCUIT OUTLET
- ⊕ CEILING RECESSED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT/CHANDELIER
- ⊕ WATERPROOF LIGHT FIXTURE
- ⊕ PENDANT LIGHT FIXTURE
- ⊕ SCONCE LIGHT FIXTURE
- ⊕ LOW VOLTAGE FISH-EYE
- ⊕ LIVE
- ⊕ GROUND UPLIGHT
- ⊕ CEILING MOUNTED FLOURESCENT
- ⊕ CEILING FAN W/ LIGHT
- ⊕ JUNCTION BOX
- ⊕ SMOKE/CO2 DETECTOR
- ⊕ HEAT DETECTOR
- ⊕ HEAT DETECTOR
- ⊕ ELECTRICAL PANEL
- ⊕ TELEPHONE JACK
- UF --- 4 UNDERCOUNTER LIGHTING
- EF EXTRA QUIET EXHAUST FAN

FIRST FLOOR PLAN

2280 SF

NOTE:
 - ALL CEILING FANS TO HAVE LIGHTS.
 - SD'S MUST BE LOCATED MIN OF 36" AWAY FROM TIPS OF FAN BLADES,
 BATHROOM DOORS W/ TUB / SHOWER, 4 HVAC SUPPLY OUTLETS, TYP.
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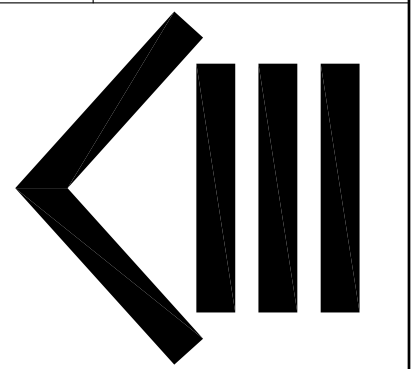


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 2204 WESLEY AVENUE
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STRUCTURAL PLANS

DOCUMENTS PREPARED BY GUY THOMAS ARCHITECT ARE
 INSTRUMENTS OF SERVICE FOR THE SOLE USE OF THE PROJECT.
 ARCHITECTURE SHALL BE CREDITED TO THE ARCHITECT.
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL
 NECESSARY PERMITS AND APPROVALS FROM ALL
 APPLICABLE AGENCIES AND AUTHORITIES.
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL
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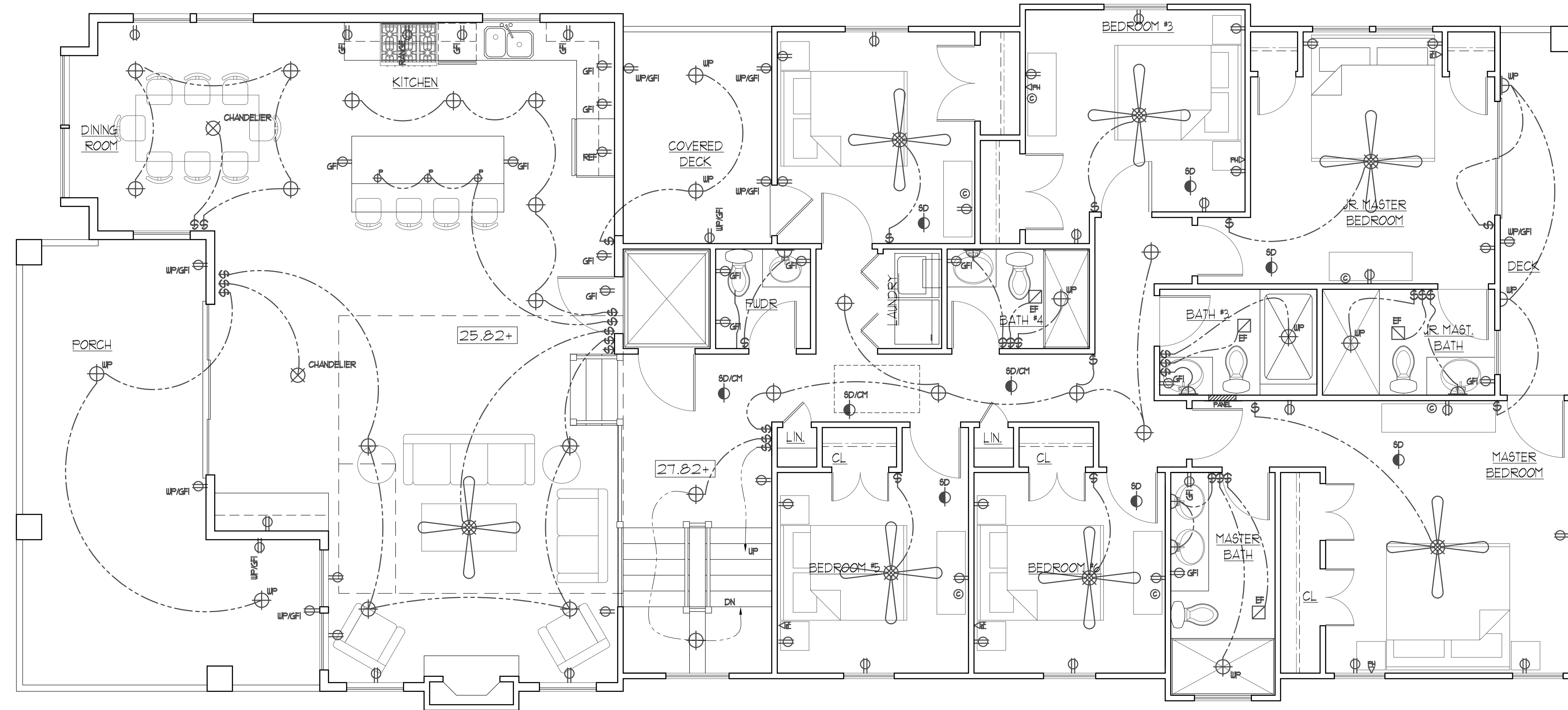
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SECOND FLOOR PLAN

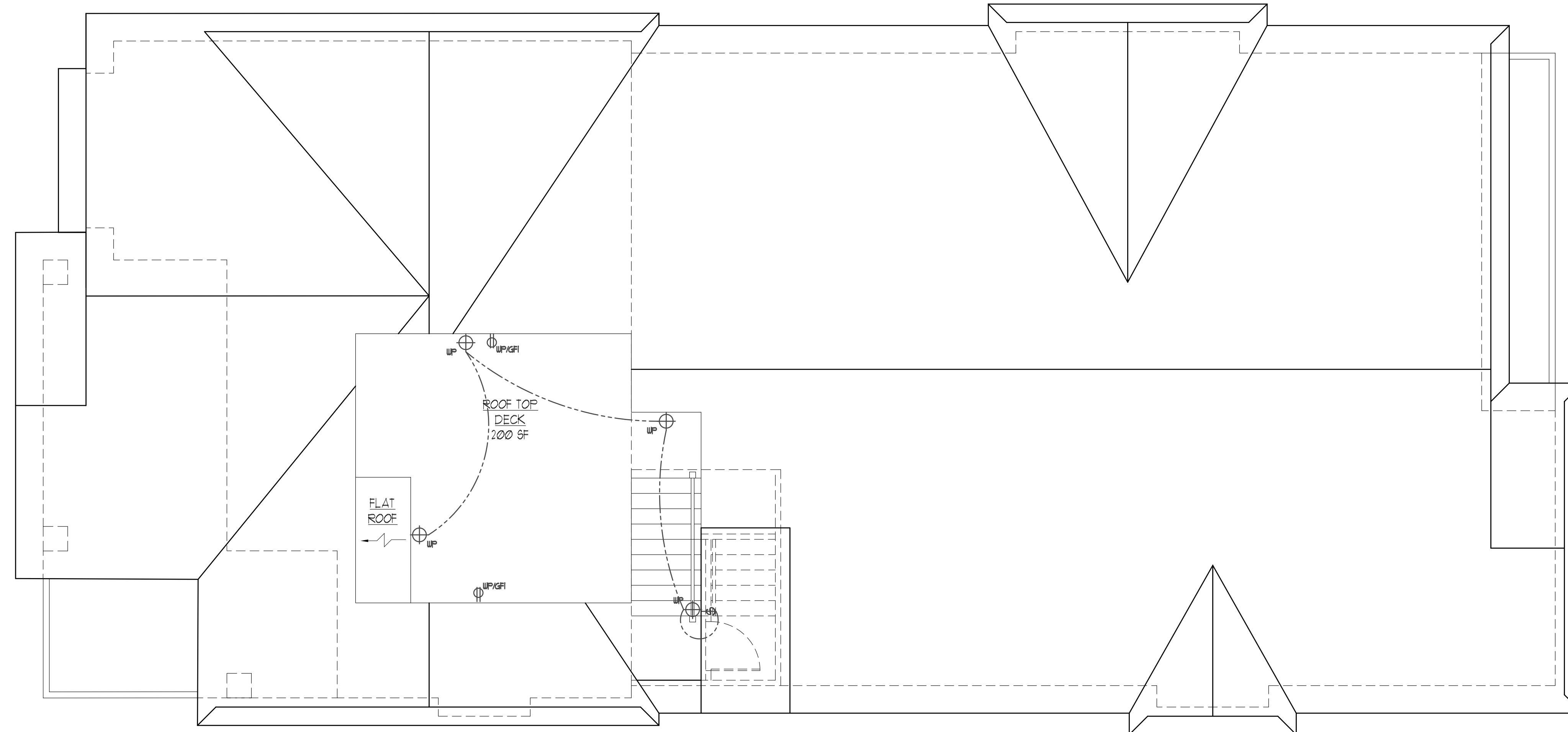
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 - CARBON MONOXIDE ALARMS / DETECTORS, WHERE REQUIRED, SHALL BE INSTALLED NO MORE THAN 10'-0" FROM ALL SLEEPING ROOMS.

ELECTRICAL LEGEND

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DUPLEX OUTLET
	SWITCHED OUTLET
	SWITCHED OUTLET
	GFI CIRCUIT OUTLET
	CEILING RECESSED LIGHT FIXTURE
	CEILING MOUNTED LIGHT/CHANDELIER
	WATERPROOF LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	SCONCE LIGHT FIXTURE
	LOW VOLTAGE FISH-EYE
	LVE
	GROUND UPLIGHT
	CEILING MOUNTED FLUORESCENT
	CEILING FAN W/ LIGHT
	JUNCTION BOX
	SMOKE/CO2 DETECTOR
	HEAT DETECTOR
	HEAT DETECTOR
	ELECTRICAL PANEL
	TELEPHONE JACK
	UNDERCOUNTER LIGHTING
	EXTRA QUIET EXHAUST FAN



ROOF PLAN



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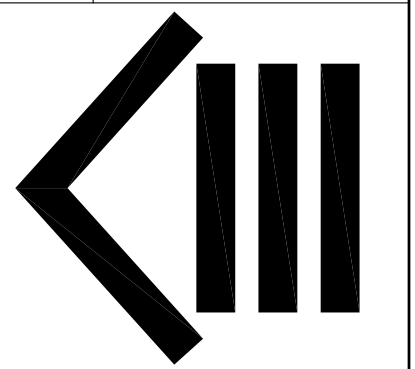
ELECTRICAL PLANS

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