

DUPLEX GROUND UP

2432-34 WEST AVE

DOOR SCHEDULE:

Table with columns: NO., PAIR, WIDTH, HEIGHT, MATERIAL, FINISH, GLASS, MFR., TINT, OPERATION, REMARKS. Lists 217 door entries with specifications.

- GENERAL DOOR NOTES:
1. GENERAL CONTRACTOR TO SUBMIT A DOOR AND WINDOW ORDER SCHEDULE TO ARCHITECT FOR FINAL CONFIRMATION PRIOR TO ORDERING.
2. CONTACT ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE IDENTIFIED.
3. ALL SLIDERS ARE TO BE VINYNCO OR APPROVED EQUAL. PROVIDE SCREENS AT SLIDERS.
4. DOOR HARDWARE SHALL BE BUILDER STANDARD. REVIEW FINAL SELECTION W/ OWNER.
5. SEE TYPICAL WATERPROOFING DETAILS ON 2-3/A6.02

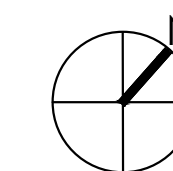
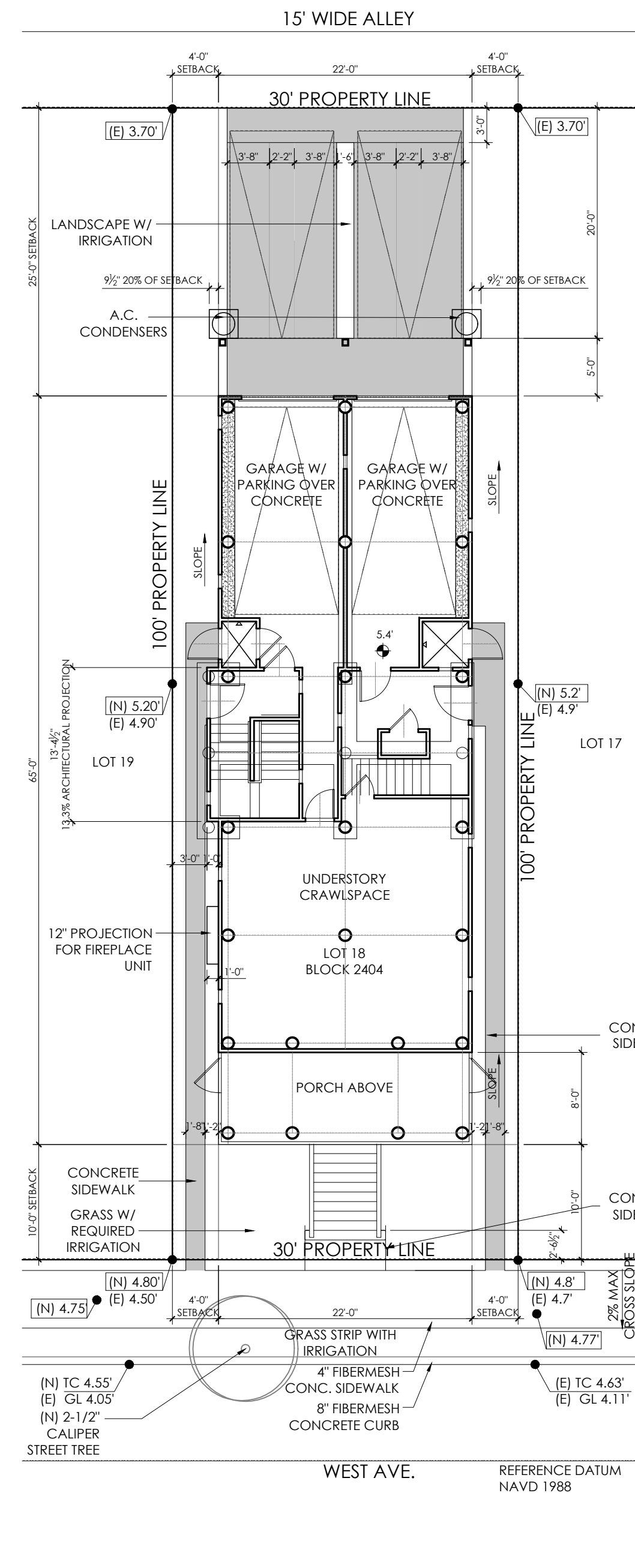
WINDOW SCHEDULE:

Table with columns: NO., WIDTH, HEIGHT, MATERIAL, FINISH, GLASS, MFR., HEAD, TINT, OPERATION, REMARKS. Lists 301 window entries with specifications.

- GENERAL WINDOW NOTES:
1. GENERAL CONTRACTOR TO SUBMIT A DOOR AND WINDOW ORDER SCHEDULE TO ARCHITECT FOR FINAL CONFIRMATION PRIOR TO ORDERING.
2. CONTACT ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE IDENTIFIED.
3. ALL WINDOWS ARE TO BE VINYNCO "OCEAN VIEW" IMPACT RESISTANT.
4. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
5. SEE EXTERIOR ELEVATIONS FOR HEAD HEIGHTS AND SWING DIRECTIONS OF CASEMENTS.
6. ALL WINDOWS IN STAIRWELLS AND WITHIN 60" OF PLUMBING HORIZONTALLY AND 36" VERTICALLY ARE TO BE TEMPERED.
7. SEE TYPICAL WATERPROOFING DETAILS ON 2-3/A6.02

SITE PLAN

SCALE: 1"=10'



ELECTRICAL NOTES

- 1. ALL ELECTRICAL WORK TO CONFORM WITH THE 2017 NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
2. ELECTRICAL CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITIONS AND EQUIPMENT PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES.
3. ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SERVING ELECTRIC COMPANY AND SHALL COOPERATE WITH THEM IN DETERMINING LOADS, HOOKUPS, TEMPORARY SERVICES, ECT.
4. CONTRACTOR SHALL PROVIDE SMOKE / CARBON MONOXIDE DETECTORS IN EACH LEVEL IN LOCATIONS AS RECOMMENDED BY THE MANUFACTURER AND/OR AS SHOWN ON THE PLANS. SMOKE DETECTORS TO BE WIRED SO THE SIGNAL IS RELATED TO ALL LOCATIONS. ALL SMOKE / CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED 110V.
5. ALL WIRE SHALL BE A MINIMUM NO. 12 AWG TYPE THW COPPER RATED AT 75 DEGREES C. AND 167 DEGREES F. CONTRACTOR TO PROVIDE CONDUIT WHERE REQUIRED BY MECHANICAL (MIN 1/2" CONDUIT). HOME RUN CIRCUITS MORE THAN 75' FROM PANEL BOARD SHALL BE NO. 10 AWG OR LARGER AS REQUIRED.
6. CONFIRM ALL FIXTURES, DEVICES AND LOCATIONS WITH OWNER/ARCHITECT PRIOR TO WIRING. A JOB WALK THROUGH WITH THE OWNER/ARCHITECT DURING ROUGH ELECTRICAL LAYOUT IS REQUIRED.
7. WHERE SWITCHES, RECEPTACLES AND OTHER OUTLETS ARE SHOWN BACK TO BACK IN INTERIOR PARTITIONS, THEY SHALL BE STAGGERED TO PREVENT THE TRANSMISSION OF SOUND THROUGH THE PARTITION. WHEN OUTLETS ARE BACK TO BACK IN A FIRE RATED WALL ASSEMBLY, LOCATE EACH OUTLET IN A SEPARATE AND ADJACENT STUD BAY TO AVOID OPENINGS IN BOTH FACES OF FIRE RATED WALL IN A SINGLE STUD FACE (ALWAYS FOLLOW FIRE RATED PARTITION ASSEMBLY GUIDELINES)
8. DO NOT SCALE DRAWINGS. VERIFY LOCATION OF EQUIPMENT AND FIXTURES ON THE JOB SITE WITH THE GENERAL CONTRACTOR, ARCHITECT AND OTHER TRADES.
9. CIRCUIT THE LIGHTING AND RECEPTACLES ON DIFFERENT CIRCUITS SO THAT EACH SPACE CONTAINS PARTS OF AT LEAST TWO CIRCUITS.
10. PROVIDE A MAXIMUM OF 8 CONVENIENCE ON ANY ONE 20 AMP CIRCUIT, MAXIMUM 7 ON ANY 15 AMP CIRCUIT AND MAXIMUM 2 KITCHEN APPLIANCE RECEPTACLES ON ANY 20 AMP CIRCUIT.
11. CABLE TELEVISION, CATS AND TELEPHONE OUTLETS SHALL BE GROUNDED DURING CONSTRUCTION WITH WALL OUTLETS.
12. ALL RECESSED LIGHTS SHALL BE RATED FOR INSULATION CONTACT AND COORDINATED BY CONTRACTOR W/ THE STRUCTURAL FRAMING.
13. ELECTRICAL CONTRACTOR TO PROVIDE POWER AT WATER HEATER AND HVAC EQUIPMENT PER EQUIPMENT MANUFACTURERS GUIDELINES.
14. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
15. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.
16. CONTRACTOR TO PROVIDE ALL NECESSARY OUTLETS PER CODE.
17. OVERCURRENT DEVICES SHALL NOT BE LOCATED IN CLOSETS OR BATHROOMS
18. ARC-FAULT CIRCUIT INTERRUPTERS TO COMPLY WITH CURRENT ELECTRICAL CODE.
19. GROUND FAULT CIRCUIT INTERRUPTER (GFI) PROTECTION
A. ALL READILY ACCESSIBLE RECEPTACLES IN GARAGES SHALL HAVE GFCI PROTECTION, EXCEPT FOR RECEPTACLES DEDICATED FOR CORD- AND PLUG-CONNECTION APPLIANCES. B. RECEPTACLES IN CRAWL SPACES SHALL HAVE GFI PROTECTION.
C. ALL BATHROOM, POWDER ROOM AND KITCHEN OUTLETS SHALL BE GROUND FAULT CIRCUIT INTERRUPT TYPE (GFI).
D. EXTERIOR OUTLETS SHALL BE GROUND FAULT CIRCUIT INTERRUPT TYPE AND WEATHERPROOF.
20. CONFIRM ALL FIXTURES, DEVICES AND LOCATIONS WITH OWNER/ARCHITECT PRIOR TO WIRING. A JOB WALK THROUGH WITH THE OWNER/ARCHITECT DURING ROUGH ELECTRICAL LAYOUT IS REQUIRED.

MECHANICAL NOTES:

- 1. ALL DUCTWORK TO BE LOCATED ABOVE D.F.E. FIRST FLOOR DUCTWORK TO BE LOCATED IN GARAGE CEILING / CRAWLSPACE. SECOND FLOOR DUCTWORK TO BE LOCATED IN SECOND FLOOR CEILING SYSTEM.
2. MECHANICAL EQUIPMENT TO BE LOCATED ABOVE D.F.E. ELEVATION. IF DUCTS ARE LOCATED BELOW D.F.E. THEY ARE REQUIRED TO BE WATER PROOF.
3. ALL EXTERIOR VENTS ARE TO BE RUN TO EXTERIOR SOFFIT OR ROOF WHERE POSSIBLE.
4. EACH CONDO UNIT IS TO HAVE AN INDEPENDENT HVAC SYSTEM ONE LOCATED IN THE ATTIC AND ONE LOCATED IN GARAGE.
5. ALL MECHANICAL WORK IS TO COMPLY WITH THE 2018 INTERNATIONAL MECHANICAL CODE

PLUMBING NOTES:

- 1. ALL FIXTURES AND FINISHES ARE TO BE APPROVED BY OWNER PRIOR TO THE INSTALLATION.
2. PLUMBER TO INSTALL ALL PLUMBING PER THE 2018 NATIONAL STANDARD PLUMBING CODE

PROJECT DATA

Owner: 2432-34 West LLC
Address: 2432-34 West Avenue Ocean City, NJ 08226
Code: 2018 International Residential Code, New Jersey Edition
Use Group: R-5
Construction Type: VB
Flood Zone: A
Base Flood Elevation: 9'-0" BFE
Design Flood Elevation: 11'-0" DFE
Zoning Flood Elevation: 12'-0" ZFE
Zone: R-2-30
Lot: 17
Block: 2404
Lot Square Footage: 3,000 sf
Coverage: 1,156 (38.5%) [40% ALLOWED]
Impervious Coverage: 2,099 sf (70%) [70% ALLOWED]

Ground Floor SF:
Garage/Foyer: 769 sf
Crawlspace: 463 sf
Ground Fl. Total: 1,232 sf
First Floor SF:
Living Area: 1,156 sf
Covered Porches: 176 sf
Rear Decks: 110 sf
1st Fl. Total: 1,442 sf
Second Floor SF:
Living Area: 1,156 sf
Covered Deck: 176 sf
Rear Decks: 110 sf
2nd Fl. Total: 1,442 sf
Roof SF:
Decks: 1,676 sf (including roof deck)
200 sf roof deck
Percentage under 4/12 (11.9%) (all slopes are > 4/12)
Total Building Volume:
Ground Floor: 6,948 cubic feet
First Floor: 9,476 cubic feet
Second Floor: 9,686 cubic feet
Attic: 2,310 cubic feet
Total: 28,420 cubic feet

SHEET INDEX

Table with columns: ARCHITECTURAL DRAWINGS, drawing ID, drawing title. Lists drawings A0.01 through S.02.

CONSTRUCTION NOTES

- 1. FLOOD VENT REQUIREMENTS: 1" OF FLOOD VENT PER S.F. ("SMART VENT" MODEL #1540-520 AND #1540-510 FLOOD VENTS, 8 1/2"X14 1/2"; PROVIDING COVERAGE FOR 200 SQUARE FEET). SEE KEYNOTES.
Garage/Foyer/Stair: 769 S.F. (4 VENTS REQ/ 4 VENTS PROVIDED)
Crawlspace: 463 S.F. (4 VENTS REQ/ 4 VENTS PROVIDED)
2. ALL EXTERIOR WALLS AND OVERHANGS WITHIN 5'-0" OF OF THE SIDE YARD SETBACKS TO HAVE 1 HR FIRE RATING WITH EXTERIOR GRADE TYPE "X" DRYWALL ON THE OUTSIDE OF THE SHEATHING AND TYPICAL TYPE "X" INTERIOR DRYWALL WHERE APPLICABLE (SEE PARTITION DETAIL).
3. SHEAR PANELS TO HAVE 8D GALVANIZED NAILS @ 4" O.C. (ONE LAYER)(REFER TO STRUCTURAL DRAWINGS).
4. ALL VINYNICO WINDOWS SPECIFIED ON THE PLANS SHALL BE "OCEAN VIEW" IMPACT RESISTANT WINDOWS AND "DOORS" MODELS DESIGNED FOR THIS REGION.
5. ALL FINISH WALLBOARD LOCATED UNDER D.F.E. TO BE WATER RESISTANT.

- 6. HOME IS TO BE CONSTRUCTED WITH ONE LEVEL FOR PARKING, LIMITED STORAGE AND BUILDING ACCESS AND TWO LEVELS OF LIVING ABOVE, UNDER THE SEPTEMBER 4, 2013 "GRADE LEVEL FLOOD ELEVATION MEMO." THIS STRUCTURE COMPLIES WITH THE VB CONSTRUCTION TYPE DEFINITION.
7. PILING TO BE 8" TIP MIN. W/ A NATURAL TAPER (CAPACITY OF 12 TONS THROUGHOUT), PRESERVATIVE AND MINIMUM FINAL RETENTION SHALL BE IN ACCORDANCE WITH AWP A U12 FOR ROUND TIMBER PILES. ALLOWABLE STRESSES SHALL BE IN ACCORDANCE WITH THE AF&PA NDS.
8. ALL EXTERIOR HARDSCAPES INCLUDING CURBS, SIDEWALKS, & DRIVEWAYS ARE TO BE NEW



Halliday Architects

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PROJECT TEAM:

SIGNATURE L# 21A101936000

PROJECT INFORMATION: 2192

DATE: 11.23.2021 DRAWN BY: CMH
PROJECT: 2432-34 West Avenue

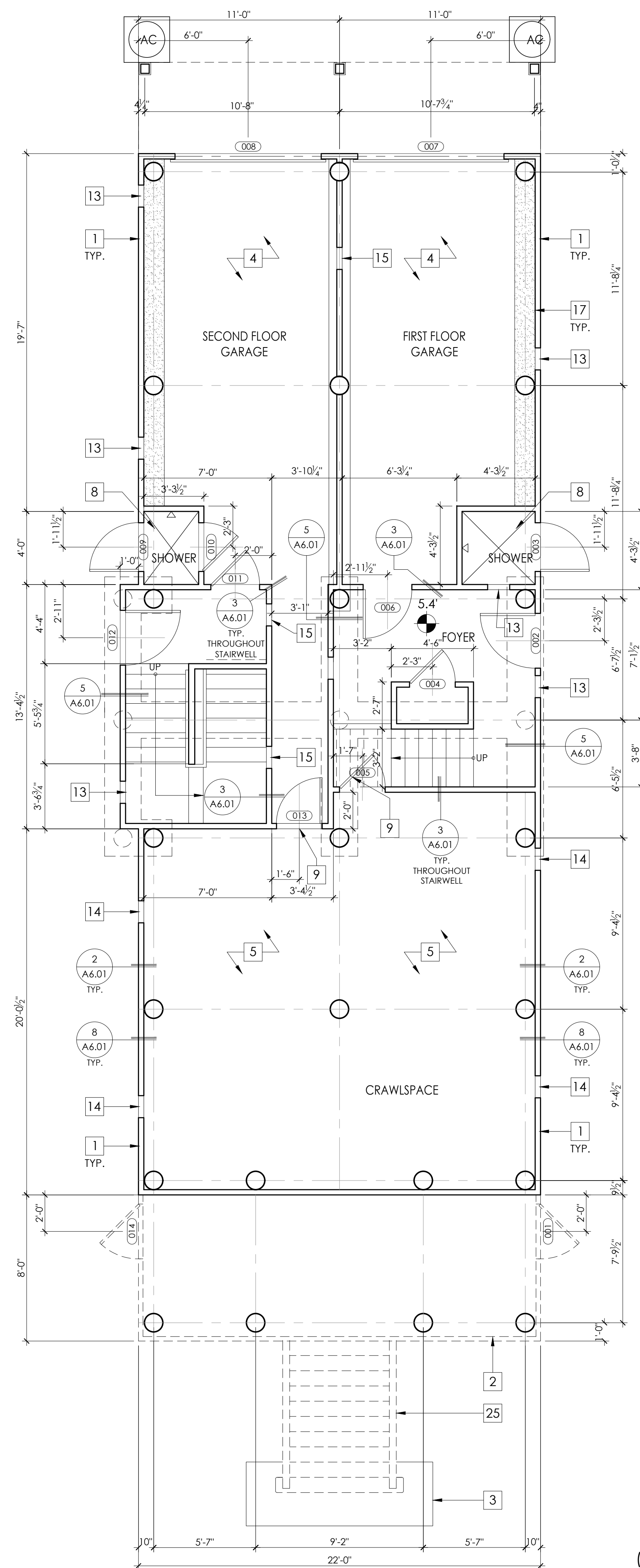
PROJECT ADDRESS: 2432-34 West Avenue Ocean City, NJ 08226

OWNER CONTACT: 2432-34 West LLC Tel: 609.335.1544

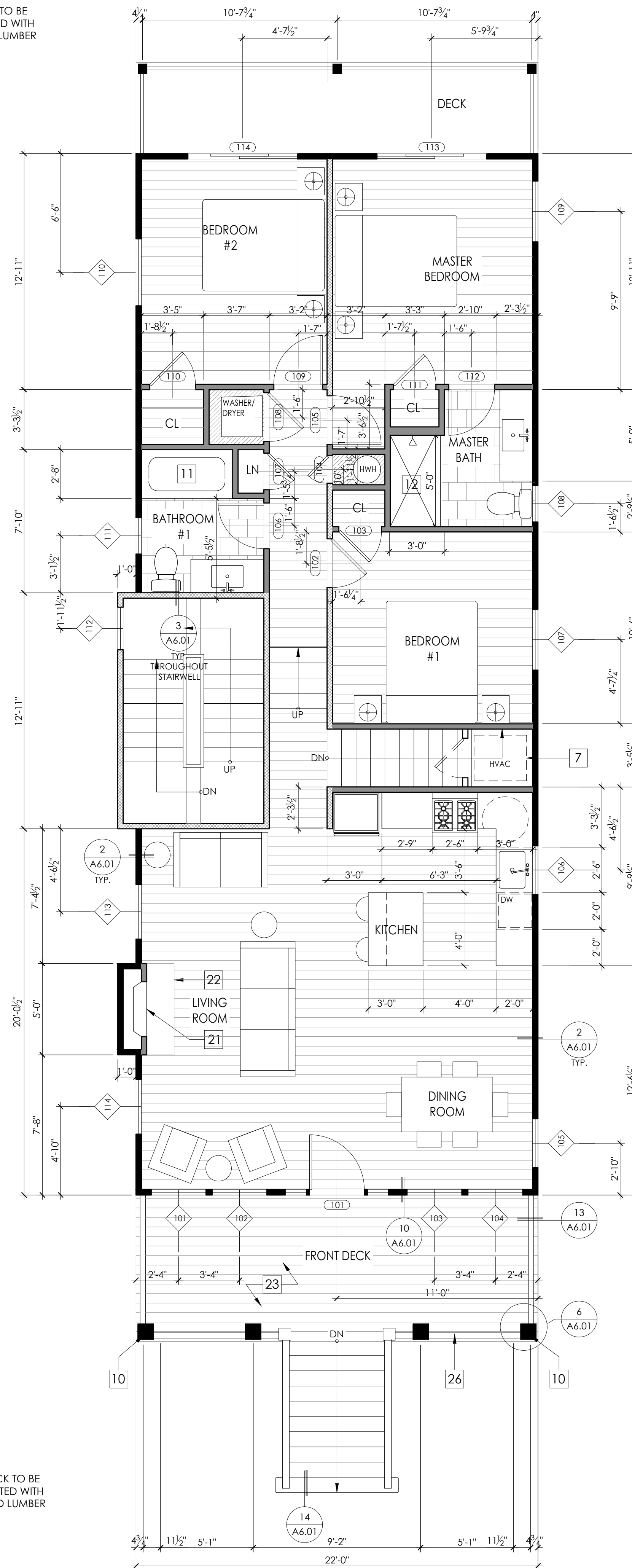
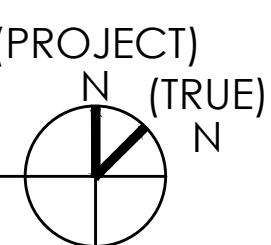
SHEET NUMBER AND NAME:

A0.01

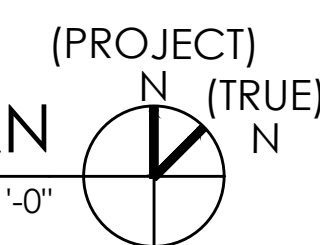
Title Sheet + Code Information Door and Window Schedule



REAR DECK TO BE CONSTRUCTED WITH FIRE TREATED LUMBER



FRONT DECK TO BE CONSTRUCTED WITH FIRE TREATED LUMBER



GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAME UNLESS NOTED OTHERWISE.
2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.
3. ALL EXTERIOR WINDOWS AND DOORS ARE TO BE INSTALLED WITH (2) 2X10 BUILT UP STRUCTURAL HEADER BEARING ON 3 1/2" X 3 1/2" DBL JACKS.
4. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (F.J.).
5. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER.
6. REFER TO DETAIL SHEETS FOR SHEAR WALL AND NAILING DETAILS.
7. REFER TO CONSTRUCTION NOTES ON A0.01 FOR ADDITIONAL INFORMATION
8. SEE SHEETS A6.01 AND A6.02 FOR DETAILS
9. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS DETAILS
10. PILING TO BE CLASS B, 10" BUTT 8" HEAD MIN. W/ A CAPACITY OF 12 TONS THROUGHOUT.
11. ALL HEADERS ARE TO BE 2X10'S UNLESS OTHERWISE NOTED.
12. FIRST FLOOR REAR DECKS IS TO BE CONSTRUCTED W/ FIRE TREATED LUMBER AND TO BE FIRE SPRAYED.

WALL LEGEND

- █ 2X4 EXTERIOR LOAD BEARING WALL WITH 5/8" TYPE X DRYWALL ON THE INTERIOR
 - █ 2X4 INTERIOR WALL
 - █ 2X4 WALL WITH P.T. LUMBER
- *insulation per Rescheck document

KEYNOTES

- 1 (N) SMOOTH TROWELED STUCCO FINISHED WALL AT GARAGE AND CRAWLSPACE. REFER TO EXTERIOR ELEVATIONS.
- 2 (N) 12" VARYING WIDTH VERTICAL AZEK BOARD SCREENING UNDER DECK
- 3 (N) CONCRETE SLAB ON GRADE W/ VISQUIM MESH
- 4 (N) 4" THICK STRUCTURAL CONCRETE SLAB. TO BE POURED ON COMPACTED FILL W/ 6MM VISQUIM
- 5 (N) GRAVEL
- 6 (N) A.C. CONDENSER UNIT W/ AZEK SURROUND; PLATFORM TO BE @ OR ABOVE D.F.E.
- 7 (N) HVAC UNIT
- 8 (N) OUTDOOR SHOWER ENCLOSURE WITH COMPOSITE DECKING FLOOR OVER GRAVEL WITH FRENCH DRAIN
- 9 (N) CRAWLSPACE ACCESS PANEL
- 10 (N) 6"X6" P.T. 1 HR FIRE TREATED STRUCTURAL POST W/ 10" VINYL WRAP CAPITAL AND BASE
- 11 (N) 5'-0" FIBERGLASS SHOWER/TUB INSERT
- 12 (N) TILED SHOWER WITH FIBERGLASS PAN AND GLASS DOOR/ENCLOSURE
- 13 FLOOD VENT: "SMART VENT" MODEL #1540-520, 8 1/2"X14 1/2", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (INSULATED GARAGE)
- 14 FLOOD VENT: "SMART VENT" MODEL #1540-510, 8 1/2"X14 1/2", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (DUAL FUNCTION / CRAWLSPACE)
- 15 (N) INTERIOR SCREEN VENT W/ 1 HOUR FIRE DAMPER
- 16 (N) HORIZONTAL VINYL SIDING, COLOR T.B.D.
- 17 (N) WATER RESISTANT GYP. BOARD BELOW D.F.E. (@ GARAGE AND CRAWL SPACE INTERIOR)
- 18 (N) BOARD AND BATTEN VINYL SIDING, COLOR T.B.D.
- 19 ASPHALT SHINGLE ROOF. COLOR T.B.D.
- 20 GUTTER/DOWNSPOUT, COLOR T.B.D.
- 21 DIRECT VENT GAS FIREPLACE
- 22 NON-COMBUSTIBLE FIREPLACE HEARTH
- 23 COMPOSITE DECKING SECURED TO DECK STRUCTURE. SLOPE AWAY FROM HOUSE @ 2% MIN. COLOR T.B.D.
- 24 (N) FIBERGLASS DECK COATING, SLOPE AWAY FROM HOUSE. (FRAMING TO BE TREATED/ DECKING TO BE FIRE SPRAYED)
- 25 (N) EXTERIOR STAIR TO HAVE 4X4 POSTS (WHERE REQUIRED) W/ 2X12 STRINGERS @ 12" O.C. AND 36" HIGH WHITE VINYL GUARD RAIL AND HAND RAIL
- 26 STAIR/DECK GUARDRAIL, 36" MIN. WHITE VINYL FINISH
- 27 EXTERIOR WALL SCONCE, REFER TO REFLECTED CEILING / POWER PLANS ON A2.01 + A2.02
- 28 PULL DOWN ATTIC STAIR/LADDER, CONTRACTOR TO COORDINATE WITH OPENING WITH FRAMING
- 29 FLOOR DRAIN
- 30 WHITE PVC CORBEL/BRACKET



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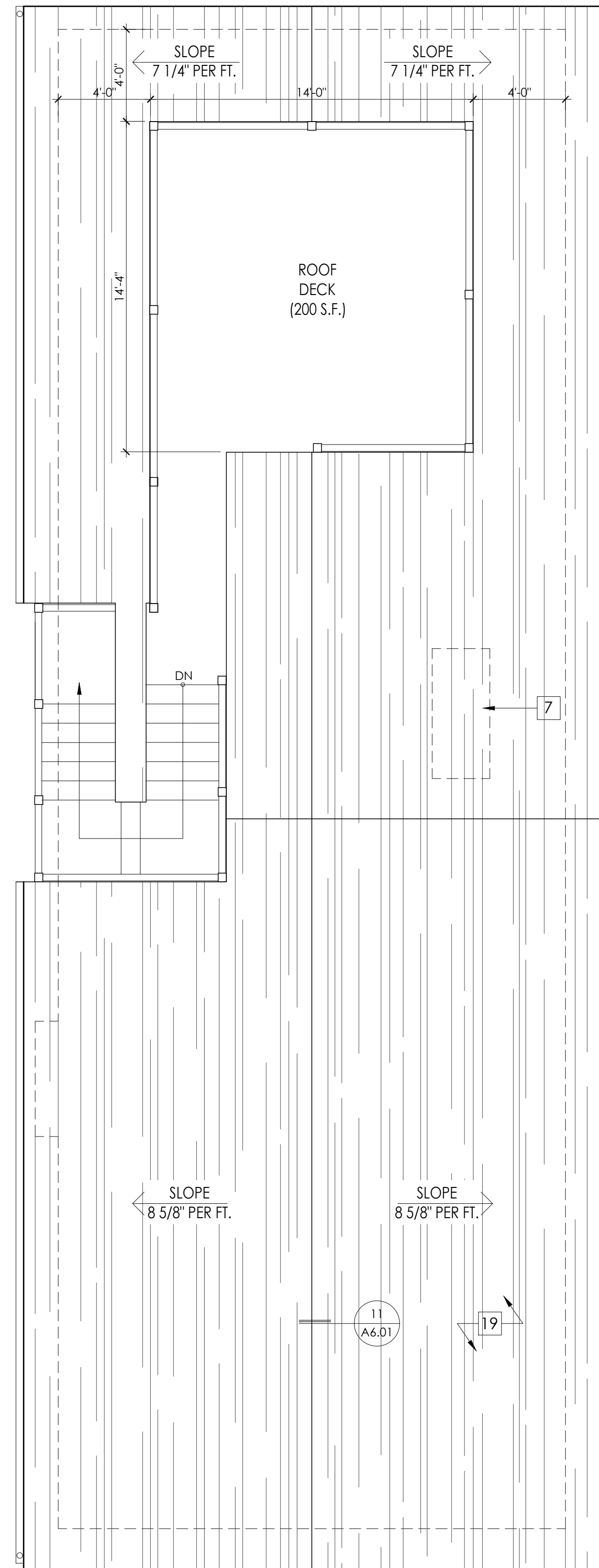
OWNER CONTACT: 2432-34 West LLC
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SHEET NUMBER AND NAME:

A1.01

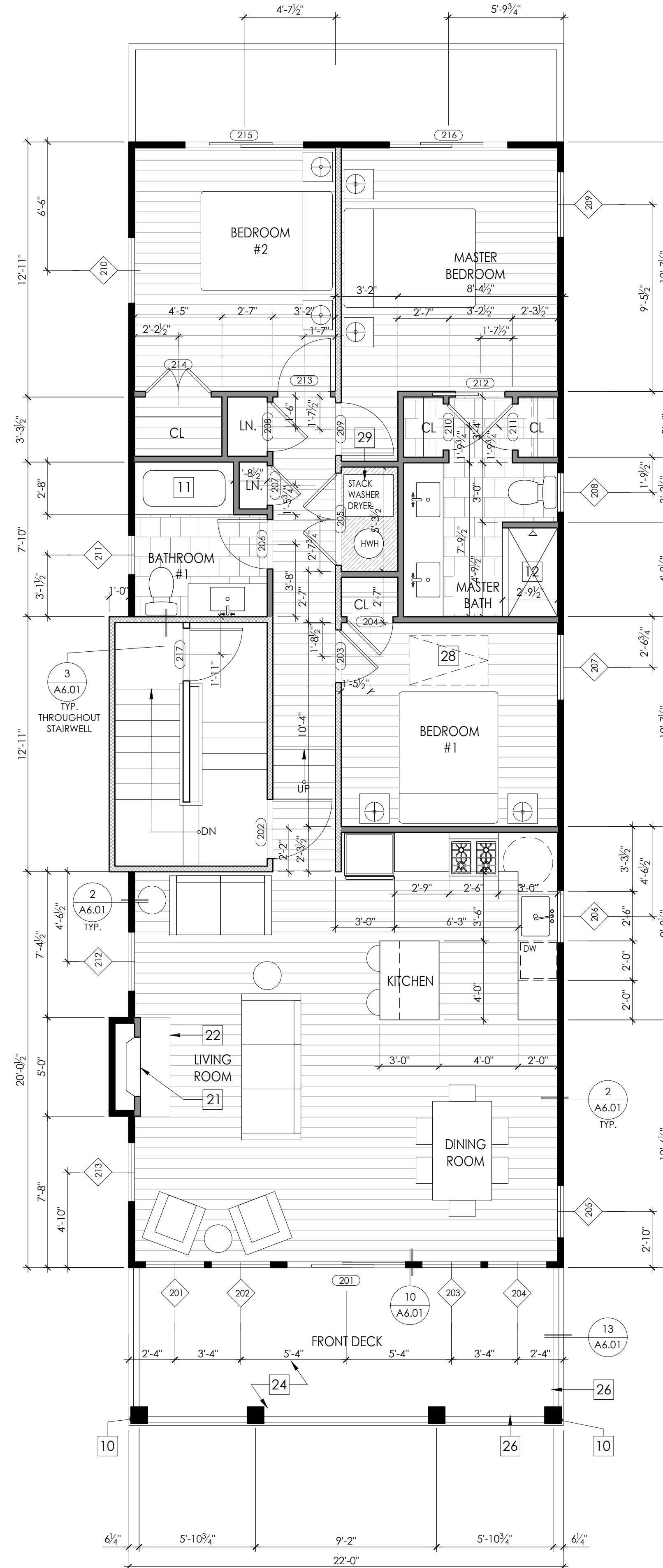
Foundation & First Floor Plans

REAR DECK TO BE
CONSTRUCTED WITH
FIRE TREATED LUMBER



(PROJECT)
N (TRUE)
N
ROOF PLAN
scale: 1/4" = 1'-0"

FRONT DECK TO BE
CONSTRUCTED WITH
FIRE TREATED LUMBER



(PROJECT)
N (TRUE)
N
PROPOSED SECOND FLOOR PLAN
scale: 1/4" = 1'-0"

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAME UNLESS NOTED OTHERWISE.
2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.
3. ALL EXTERIOR WINDOWS AND DOORS ARE TO BE INSTALLED WITH (2) 2X10 BUILT UP STRUCTURAL HEADER BEARING ON 3 1/2" X 3 1/2" DBL JACKS.
4. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (F.J.).
5. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER.
6. REFER TO DETAIL SHEETS FOR SHEAR WALL AND NAILING DETAILS.
7. REFER TO CONSTRUCTION NOTES ON A0.01 FOR ADDITIONAL INFORMATION
8. SEE SHEETS A6.01 AND A6.02 FOR DETAILS
9. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS DETAILS
10. PILING TO BE CLASS B, 10" BUTT 8" HEAD MIN. W/ A CAPACITY OF 12 TONS THROUGHOUT.
11. ALL HEADERS ARE TO BE 2X10'S UNLESS OTHERWISE NOTED.
12. FIRST FLOOR REAR DECKS IS TO BE CONSTRUCTED W/ FIRE TREATED LUMBER AND TO BE FIRE SPRAYED.

WALL LEGEND

- █ 2X4 EXTERIOR LOAD BEARING WALL WITH 5/8" TYPE X DRYWALL ON THE INTERIOR
- █ 2X4 INTERIOR WALL
- █ 2X4 WALL WITH P.T. LUMBER

*insulation per Rescheck document

KEYNOTES

- 1 (N) SMOOTH TROWELED STUCCO FINISHED WALL AT GARAGE AND CRAWLSPACE. REFER TO EXTERIOR ELEVATIONS.
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- 3 (N) CONCRETE SLAB ON GRADE W/ VISQUIM MESH
- 4 (N) 4" THICK STRUCTURAL CONCRETE SLAB. TO BE POURED ON COMPACTED FILL W/ 6MM VISQUIM
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- 8 (N) OUTDOOR SHOWER ENCLOSURE WITH COMPOSITE DECKING FLOOR OVER GRAVEL WITH FRENCH DRAIN
- 9 (N) CRAWLSPACE ACCESS PANEL
- 10 (N) 6"X6" P.T. 1 HR FIRE TREATED STRUCTURAL POST W/ 10" VINYL WRAP CAPITAL AND BASE
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- 12 (N) TILED SHOWER WITH FIBERGLASS PAN AND GLASS DOOR/ENCLOSURE
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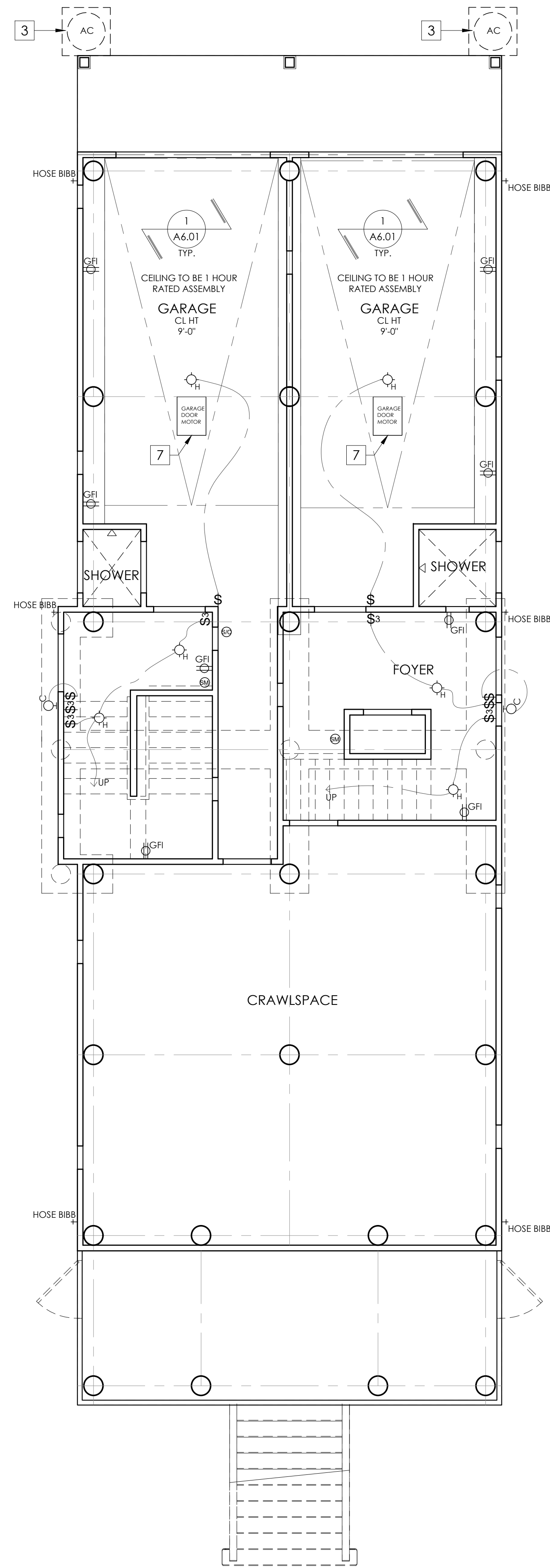
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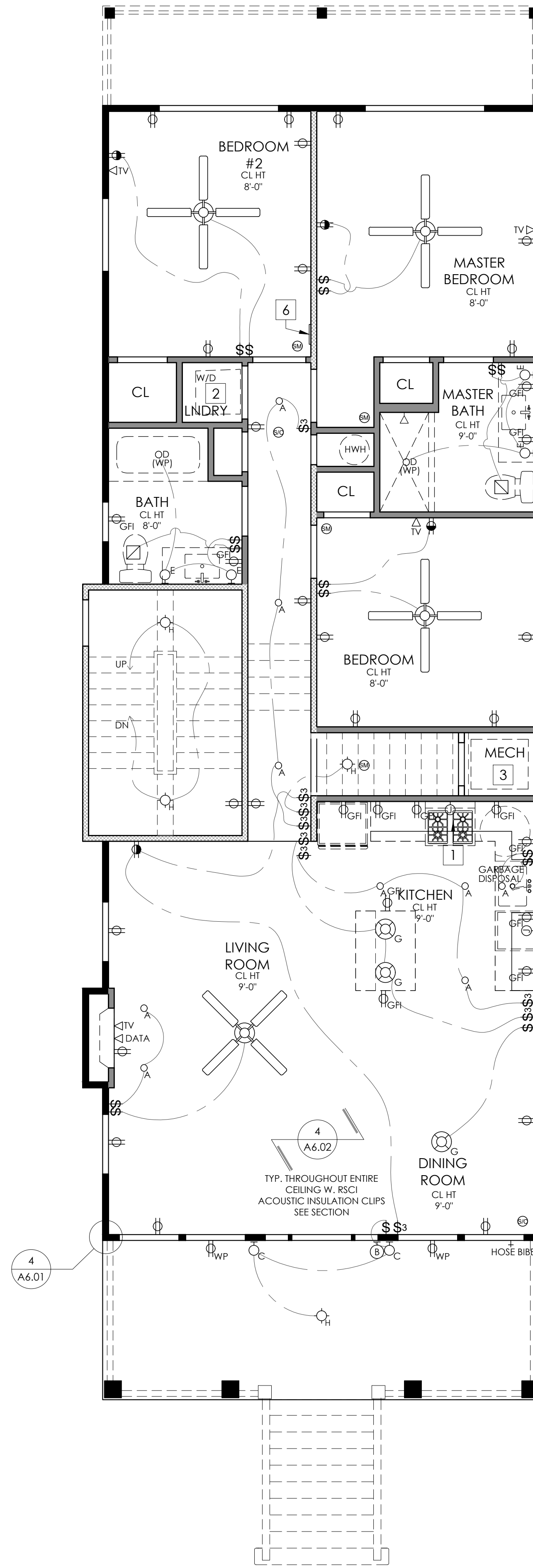
SHEET NUMBER AND NAME:

A1.02

Second Floor
Plan & Roof Plan



(PROJECT)
 N (TRUE)
 N
GROUND FLOOR REFLECTED CEILING PLAN
 scale: 1/4" = 1'-0"



(PROJECT)
 N (TRUE)
 N
FIRST FLOOR REFLECTED CEILING PLAN
 scale: 1/4" = 1'-0"

GENERAL ELECTRICAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.
3. CONTRACTOR TO PROVIDE ALL NECESSARY OUTLETS PER CODE.
4. REFER TO TITLE SHEET FOR ALL ELECTRICAL NOTES

RCP KEYNOTES

- 1 (N) KITCHEN HOOD AND RANGE (PROVIDE GAS AND OR ELECTRICAL AS REQUIRED)
- 2 (N) ELECTRICAL SERVICE FOR WASHER/ DRYER TO BE CONNECTED TO INDIVIDUAL, PROPERLY GROUNDED BRANCH CIRCUIT WITH 120/240V OR 120/208V SINGLE PHASE 60 HZ ELECTRICAL SERVICE AND SHOULD BE PROTECTED BY 30 AMP TIME DELAY FUSES OR CIRCUIT BREAKERS KW RATING PER VOLTAGE (240/208.)
- 3 (N) ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT (AS REQUIRED)
- 4 (N) WALL SCONCE LOCATED ABOVE THE VANITY AND MIRROR CENTERED ON THE VANITY (FIXTURE TO BE SELECTED BY OWNER)
- 5 (N) ATTIC ACCESS
- 6 FLUSH MOUNTED ELECTRICAL PANEL
- 7 GARAGE DOOR MOTOR TO BE EQUIPPED WITH POWER

ELECTRICAL SYMBOL LEGEND

- A (N) "PROGRESS" 4" ZERO SIGHT LINE RECESSED DOWN LIGHT DIMMABLE
- B (N) "PROGRESS" EXTERIOR 4" ZERO SIGHT LINE RECESSED DOWN LIGHT
- C (N) EXTERIOR WALL MOUNTED SCONCE (TO BE SELECTED)
- D WP (N) WATERPROOF FIXTURE
- E (N) WALL MOUNTED SCONCE (TO BE SELECTED)
- ⌈ F (N) FLORESCENT TUBE LIGHT WITH SHIELD LOCATED ON INTERIOR CLOSET WALL ABOVE THE DOOR
- G (N) CEILING HUNG PENDENT/ CHANDELIER TO BE SELECTED
- H (N) SURFACE MOUNTED CLNG. FIXTURE (TO BE SELECTED)
- \$ (N) SINGLE POLE SWITCH
- \$3 (N) THREE-WAY SWITCH
- \$D (N) SINGLE POLE DIMMER
- \$M (N) MANUAL ON MOTION SENSOR SWITCH
- △ M (N) MOTION SENSOR - WET RATED, TO BE PROVIDED BY OWNER
- ⊖ T (N) THERMOSTAT
- ⊖ C (N) DOORBELL CHIMES
- ⊖ B (N) DOORBELL BUTTON
- ⊖ P (N) PUSH BUTTON GARAGE DOOR OPERATION SWITCH
- ⊖ (N) EXHAUST FAN BY PANASONIC: GREEN WHISPER FAN (NO LIGHT)
- ⊖ S/C (N) CEILING MOUNTED SMOKE AND CARBON MONOXIDE DETECTORS WITH BATTERY BACKUP
- ⊖ SM (N) CEILING MOUNTED SMOKE DETECTORS WITH BATTERY BACKUP
- DATA ⊢ (N) CAT5 DATA CABLE HOOKUP
- TV ⊢ (N) TELEVISION CABLE HOOKUP
- ⊖ (N) TELEPHONE OUTLET
- ⊖ (N) 120 V DUPLEX OUTLET
- ⊖ GFI (N) 120 V GROUND FAULT INTERRUPTER
- ⊖ AFCI (N) 120 V ARC FAULT CIRCUIT INTERRUPTER
- ⊖ (N) 120 V DUPLEX OUTLET TOP HALF SWITCH
- ⊖ WP (N) 120 V WEATHERPROOF DUPLEX OUTLET
- ⊖ (N) CEILING FAN W/ INTEGRAL LIGHT (SPECIFICATION TO BE SELECTED BY OWNER)



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PROJECT TEAM:

SIGNATURE L# 21A101936000

PROJECT INFORMATION: 2192

DATE: 11.23.2021 DRAWN BY: CMH
 PROJECT
 2432-34 West Avenue

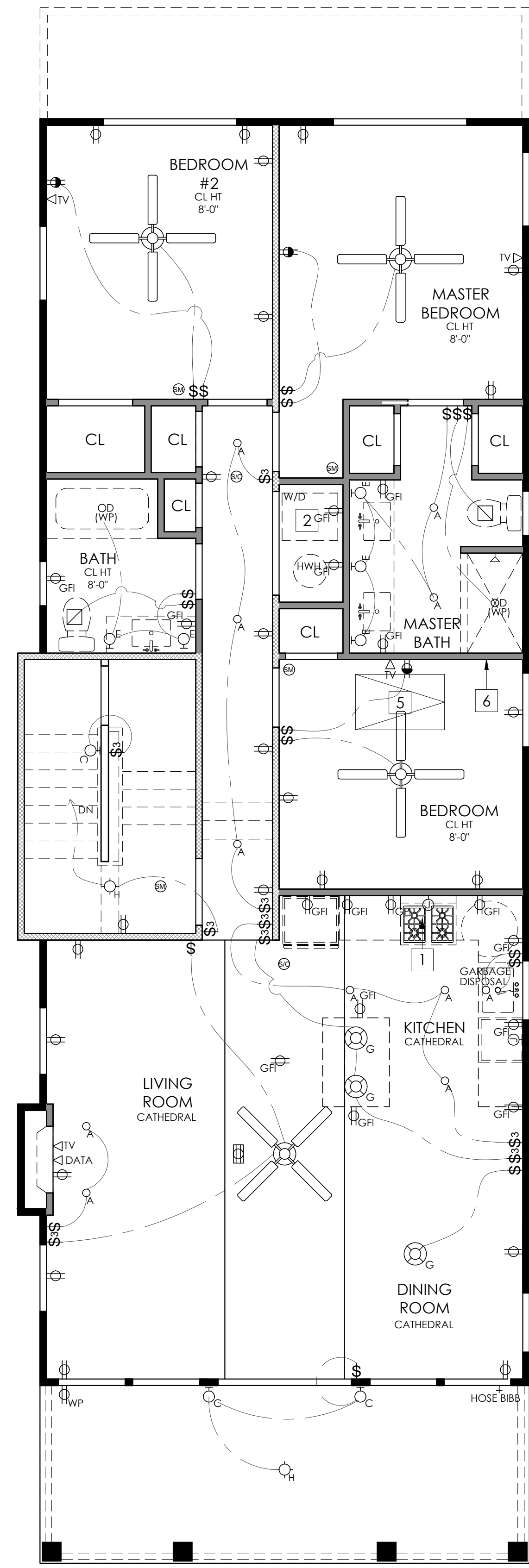
PROJECT ADDRESS
 2432-34 West Avenue
 Ocean City, NJ
 08226

OWNER CONTACT:
 2432-34 West LLC
 Tel: 609.335.1544

SHEET NUMBER AND NAME:

A2.01

Foundation &
 First Floor Reflected
 Ceiling Plans



SECOND FLOOR REFLECTED CEILING PLAN
 scale: 1/4" = 1'-0"
 (PROJECT) N (TRUE)
 N

GENERAL ELECTRICAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.
3. CONTRACTOR TO PROVIDE ALL NECESSARY OUTLETS PER CODE.
4. REFER TO TITLE SHEET FOR ALL ELECTRICAL NOTES

RCP KEYNOTES

- 1 (N) KITCHEN HOOD AND RANGE (PROVIDE GAS AND OR ELECTRICAL AS REQUIRED)
- 2 (N) ELECTRICAL SERVICE FOR WASHER/ DRYER TO BE CONNECTED TO INDIVIDUAL, PROPERLY GROUNDED BRANCH CIRCUIT WITH 120/240V OR 120/208V SINGLE PHASE 60 HZ ELECTRICAL SERVICE AND SHOULD BE PROTECTED BY 30 AMP TIME DELAY FUSES OR CIRCUIT BREAKERS KW RATING PER VOLTAGE (240/208.)
- 3 (N) ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT (AS REQUIRED)
- 4 (N) WALL SCONCE LOCATED ABOVE THE VANITY AND MIRROR CENTERED ON THE VANITY (FIXTURE TO BE SELECTED BY OWNER)
- 5 (N) ATTIC ACCESS
- 6 FLUSH MOUNTED ELECTRICAL PANEL
- 7 GARAGE DOOR MOTOR TO BE EQUIPPED WITH POWER

ELECTRICAL SYMBOL LEGEND

- A (N) "PROGRESS" 4" ZERO SIGHT LINE RECESSED DOWN LIGHT DIMMABLE
- B (N) "PROGRESS" EXTERIOR 4" ZERO SIGHT LINE RECESSED DOWN LIGHT
- C (N) EXTERIOR WALL MOUNTED SCONCE (TO BE SELECTED)
- WP (N) WATERPROOF FIXTURE
- E (N) WALL MOUNTED SCONCE (TO BE SELECTED)
- F (N) FLORESCENT TUBE LIGHT WITH SHIELD LOCATED ON INTERIOR CLOSET WALL ABOVE THE DOOR
- G (N) CEILING HUNG PENDENT/ CHANDELIER TO BE SELECTED
- H (N) SURFACE MOUNTED CLNG. FIXTURE (TO BE SELECTED)
- \$ SINGLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$D SINGLE POLE DIMMER
- \$M MANUAL ON MOTION SENSOR SWITCH
- M MOTION SENSOR - WET RATED, TO BE PROVIDED BY OWNER
- T THERMOSTAT
- C DOORBELL CHIMES
- B DOORBELL BUTTON
- P PUSH BUTTON GARAGE DOOR OPERATION SWITCH
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 Tel: 609.335.1544

SHEET NUMBER AND NAME:

A2.02

Second Floor &
 Roof Reflected
 Ceiling Plan



WEST AVENUE (FRONT) ELEVATION
scale: 1/4" = 1'-0"



SIDE ELEVATION
scale: 1/4" = 1'-0"

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6. REFER TO DETAIL SHEETS FOR SHEAR WALL AND NAILING DETAILS.
7. REFER TO CONSTRUCTION NOTES ON A0.01 FOR ADDITIONAL INFORMATION
8. SEE SHEETS A6.01 AND A6.02 FOR DETAILS
9. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS DETAILS
10. PILING TO BE CLASS B, 10" BUTT 8" HEAD MIN. W/ A CAPACITY OF 12 TONS THROUGHOUT.
11. ALL HEADERS ARE TO BE 2X10'S UNLESS OTHERWISE NOTED.
12. FIRST FLOOR REAR DECKS IS TO BE CONSTRUCTED W/ FIRE TREATED LUMBER AND TO BE FIRE SPRAYED.

WALL LEGEND

- 2X4 EXTERIOR LOAD BEARING WALL WITH 5/8" TYPE X DRYWALL ON THE INTERIOR
 - ▨ 2X4 INTERIOR WALL
 - ▤ 2X4 WALL WITH P.T. LUMBER
- *insulation per Rescheck document

KEYNOTES

- 1 (N) SMOOTH TROWELED STUCCO FINISHED WALL AT GARAGE AND CRAWLSPACE. REFER TO EXTERIOR ELEVATIONS.
- 2 (N) 12"/4" VARYING WIDTH VERTICAL AZEK BOARD SCREENING UNDER DECK
- 3 (N) CONCRETE SLAB ON GRADE W/ VISQUIM MESH
- 4 (N) 4" THICK STRUCTURAL CONCRETE SLAB. TO BE POURED ON COMPACTED FILL W/ 6MM VISQUIM
- 5 (N) GRAVEL
- 6 (N) A.C. CONDENSER UNIT W/ AZEK SURROUND; PLATFORM TO BE @ OR ABOVE D.F.E.
- 7 (N) HVAC UNIT
- 8 (N) OUTDOOR SHOWER ENCLOSURE WITH COMPOSITE DECKING FLOOR OVER GRAVEL WITH FRENCH DRAIN
- 9 (N) CRAWLSPACE ACCESS PANEL
- 10 (N) 6"x6" P.T. 1 HR FIRE TREATED STRUCTURAL POST W/ 10" VINYL WRAP CAPITAL AND BASE
- 11 (N) 5'-0" FIBERGLASS SHOWER/TUB INSERT
- 12 (N) TILED SHOWER WITH FIBERGLASS PAN AND GLASS DOOR/ENCLOSURE
- 13 FLOOD VENT: "SMART VENT" MODEL #1540-520, 8 1/2"x14 1/2"; PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (INSULATED GARAGE)
- 14 FLOOD VENT: "SMART VENT" MODEL #1540-510, 8 1/2"x14 1/2"; PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (DUAL FUNCTION / CRAWLSPACE)
- 15 (N) INTERIOR SCREEN VENT W/ 1 HOUR FIRE DAMPER
- 16 (N) HORIZONTAL VINYL SIDING, COLOR T.B.D.
- 17 (N) WATER RESISTANT GYP. BOARD BELOW D.F.E. (@ GARAGE AND CRAWL SPACE INTERIOR)
- 18 (N) BOARD AND BATTEN VINYL SIDING, COLOR T.B.D.
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- 20 GUTTER/DOWNSPOUT, COLOR T.B.D.
- 21 DIRECT VENT GAS FIREPLACE
- 22 NON-COMBUSTIBLE FIREPLACE HEARTH
- 23 COMPOSITE DECKING SECURED TO DECK STRUCTURE. SLOPE AWAY FROM HOUSE @ 2% MIN. COLOR T.B.D.
- 24 (N) FIBERGLASS DECK COATING, SLOPE AWAY FROM HOUSE. (FRAMING TO BE TREATED/ DECKING TO BE FIRE SPRAYED)
- 25 (N) EXTERIOR STAIR TO HAVE 4X4 POSTS (WHERE REQUIRED) W/ 2X12 STRINGERS @ 12" O.C. AND 36" HIGH WHITE VINYL GUARD RAIL AND HAND RAIL
- 26 STAIR/DECK GUARDRAIL, 36" MIN. WHITE VINYL FINISH
- 27 EXTERIOR WALL SCONCE, REFER TO REFLECTED CEILING / POWER PLANS ON A2.01 + A2.02
- 28 PULL DOWN ATTIC STAIR/LADDER, CONTRACTOR TO COORDINATE WITH OPENING WITH FRAMING
- 29 FLOOR DRAIN
- 30 WHITE PVC CORBEL/BRACKET



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Ocean City, NJ 08226

OWNER CONTACT: 2432-34 West LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

A3.01

Elevations



ALLEY ELEVATION 2
scale: 1/4" = 1'-0"

ROOF DECK AREA SHALL NOT EXCEED 20% OF THE HORIZONTAL ROOF AREA WITHIN WHICH IT IS LOCATED, OR TWO HUNDRED SQUARE FEET (200) WHICHEVER IS LESS. SEE ROOF PLAN A1.02 FOR CALCULATION.

NO OTHER STRUCTURE OR ACCESSORY IS PERMITTED ABOVE A ROOF DECK INCLUDING WITHOUT LIMITATION, AWNINGS ANCHORED OR OTHERWISE, CANOPIES, PERGOLAS OR OTHER STRUCTURES PERMANENT OR TEMPORARY.



SIDE ELEVATION 1
scale: 1/4" = 1'-0"

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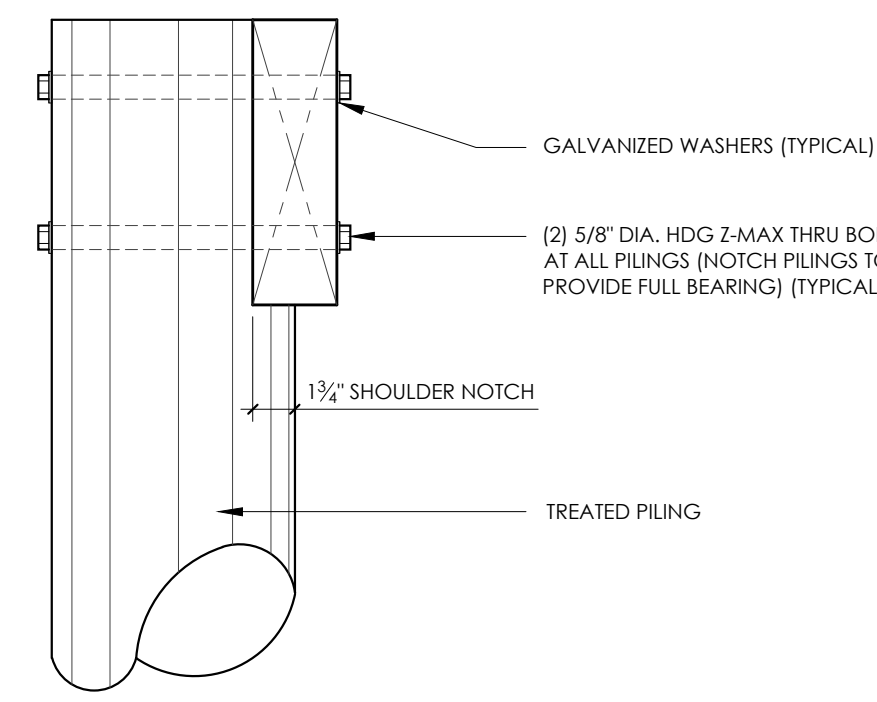
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A3.02

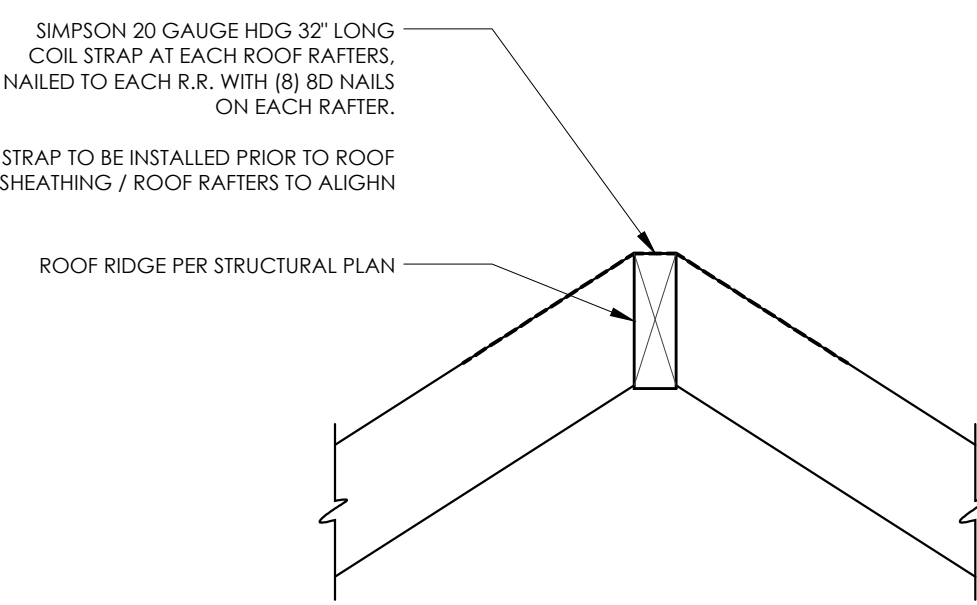
Elevations

NOTES

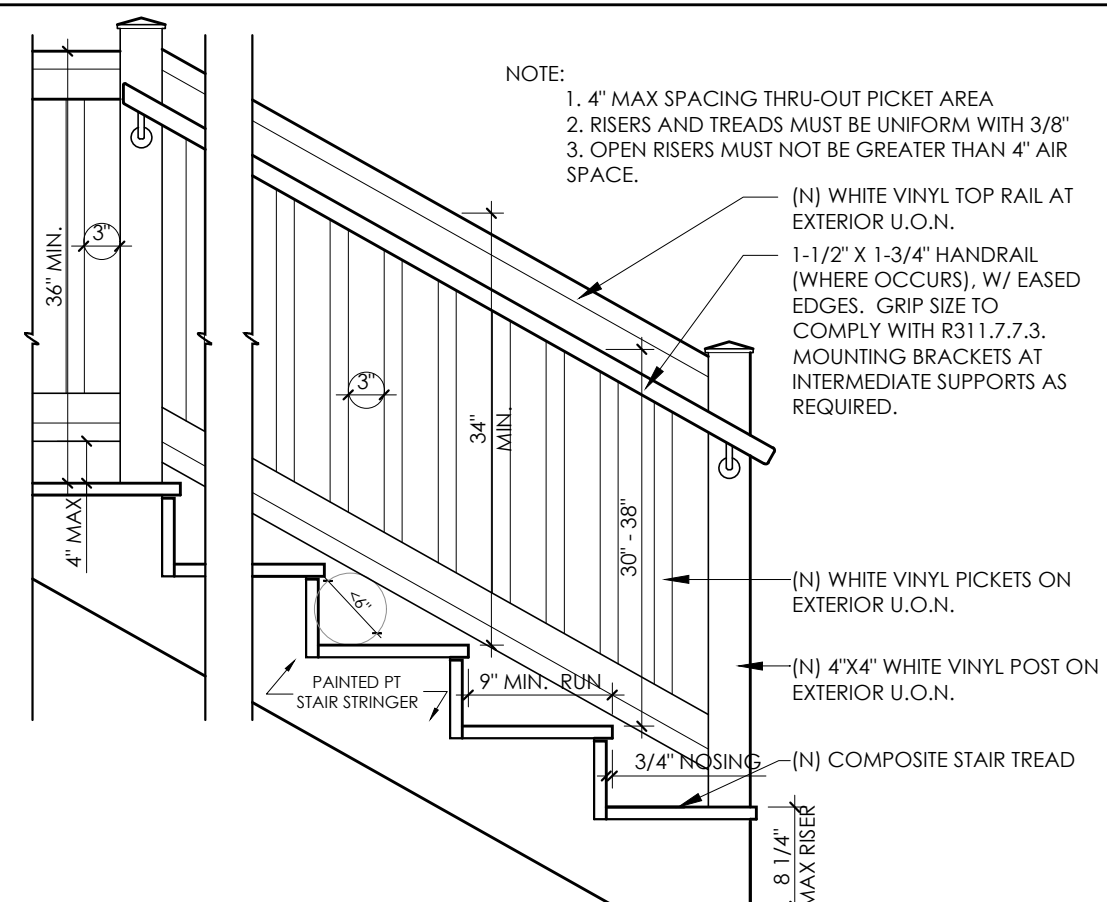
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2. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (FJ).
3. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER (RR).
4. **HANDRAILS AND GUARDRAILS**
ALL HANDRAILS AND GUARDRAILS SHALL BE CAPABLE OF RESISTING A CONCENTRATED LOAD OF 200 LBS APPLIED TO ANY POINT AND IN ANY DIRECTION. HANDRAILS AND GUARDRAILS IN USE SHALL ALSO BE CAPABLE OF RESISTING A UNIFORM LOAD OF 50 LB/FT APPLIED IN ANY DIRECTION. THE CONCENTRATION AND UNIFORM LOADING CONDITIONS SHALL NOT BE APPLIED SIMULTANEOUSLY. THE INFILL AREA (GUARDS) SHALL BE CAPABLE OF RESISTING A CONCENTRATED LOAD OF 200 LBS APPLIED AT ANY POINT AND IN ANY DIRECTION ALONG TO RAILING MEMBER.
STAIRWAY HANDRAILS SHALL HAVE A CROSS SECTION OF NO LESS THAN 1 1/4" AND NOT GREATER THAN 2". ANY OTHER SHAPE IS PERMITTED WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT GREATER THAN 6 1/4" WITH THE CROSS-SECTIONAL DIMENSION NOT EXCEEDING 2 1/4". OPEN SIDE STAIRWAYS PROVIDED WITH GUARDRAILS WHICH ARE INTENDED TO SERVE DOUBLE DUTY AS HANDRAILS MUST MEET THE DIMENSIONAL AND STRENGTH REQUIREMENTS FOR BOTH. IF THE GUARDRAIL DESIGN PRECLUDES ITS ACCEPTABILITY AS A HANDRAIL, THEN A SEPARATE HANDRAIL MUST BE INSTALLED FOR THIS PURPOSE.
5. **DESIGN LOAD DATA (MINIMUM PER NJ 2018 IRC)**
FLOORS: 50 PSF LL
DECKS: 60 PSF LL
ROOF: 15 PSF LL
SNOW LOAD: 20 PSF LL
WIND SPEED: 130 MPH
WIND LOAD: 35 PSF LL (WIND EXPOSURE: 130 MPH)
6. ALL LUMBER LOCATED BELOW THE BASE FLOOD ELEVATION SHALL BE PRESSURE TREATED. ALL SHEATHING BELOW THE BFE SHALL BE WATER RESISTANT PLYWOOD. ALL INTERIOR SHEATHING BELOW B.F.E. SHALL BE WATER RESISTANT FIBER CEMENT BOARDS. ALL INSULATION BELOW B.F.E. SHALL BE CLOSED CELL WATER RESISTANT/ MOLD RESISTANT INSULATION.
7. PER THE RES CHECK DOCUMENT ALL WALLS ARE TO BE EQUIPPED WITH R-15 INSULATION.
FLOORS FLOORS R-30 INSULATION.
ROOF RAFTERS ARE TO BE EQUIPPED WITH R-38 INSULATION.
8. ALL FLOOR JOIST TO BE EQUIPPED WITH CROSS METAL BRACING AT SPANS LARGER THAN 5'-0". CENTERED.
9. STAIR WELLS ARE TO BE EQUIPPED WITH 1 HOUR FIRE RATED WALLS (TYPICAL)
10. APPLIANCES AND GAS FIREPLACES ARE TO BE INSTALLED TO MEET MANUFACTURERS AND CODE REQUIREMENTS (WHICHEVER IS MORE STRINGENT).
11. ALL STRUCTURAL HANGERS AND STRAPS ARE TO BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS WITH THE RECOMMENDED GALVANIZED OR STAINLESS STEEL FASTENERS.



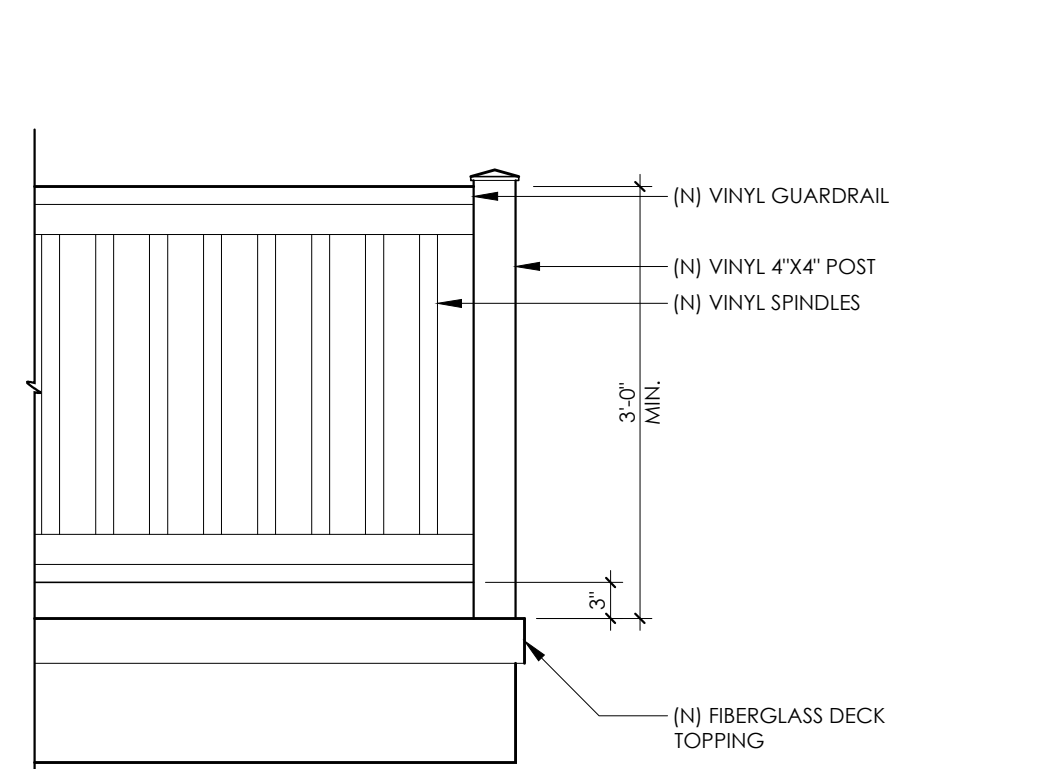
PILE BEAM DETAIL 12
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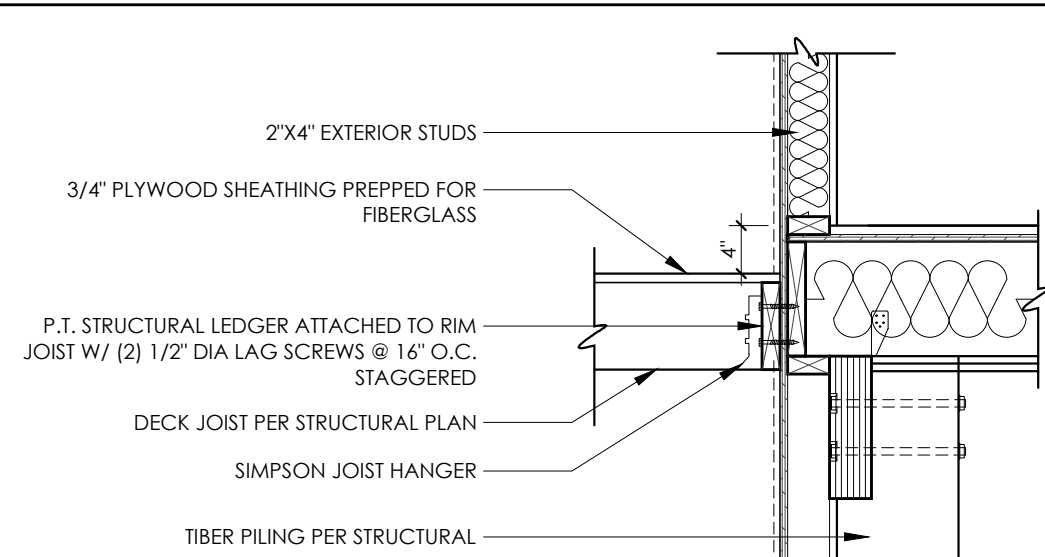
RIDGE STRUCTURAL DETAIL 11
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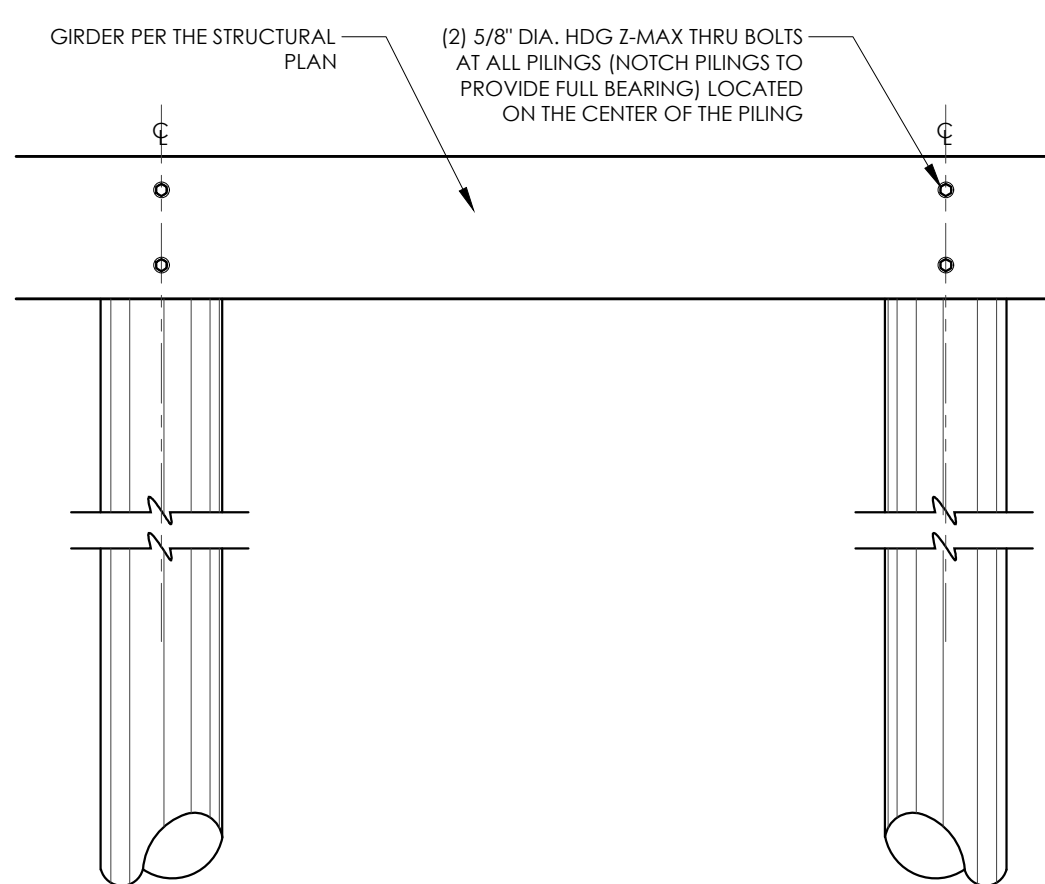
STAIR SECTION DETAIL 14
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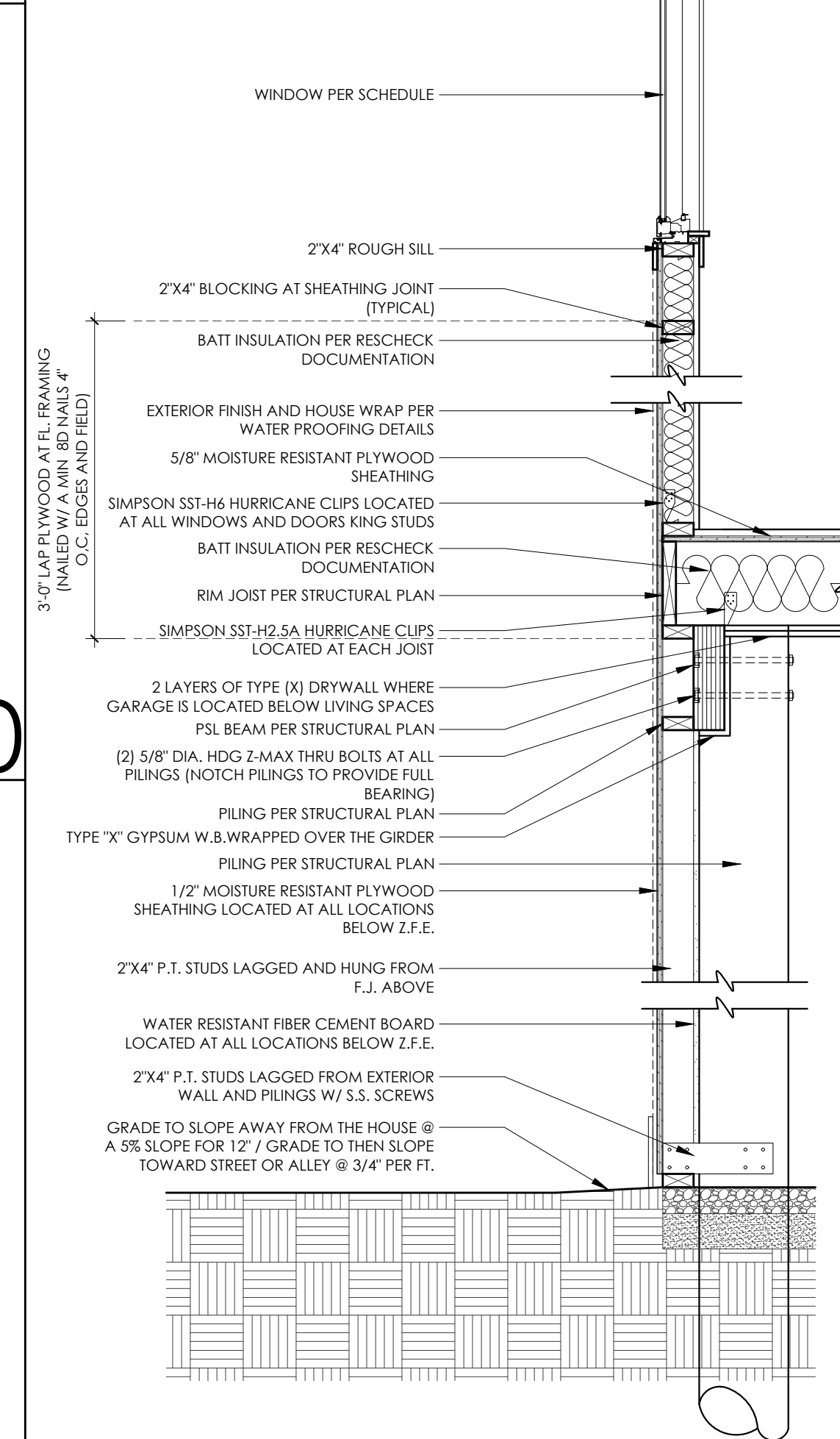
GUARDRAIL @ DECK 13
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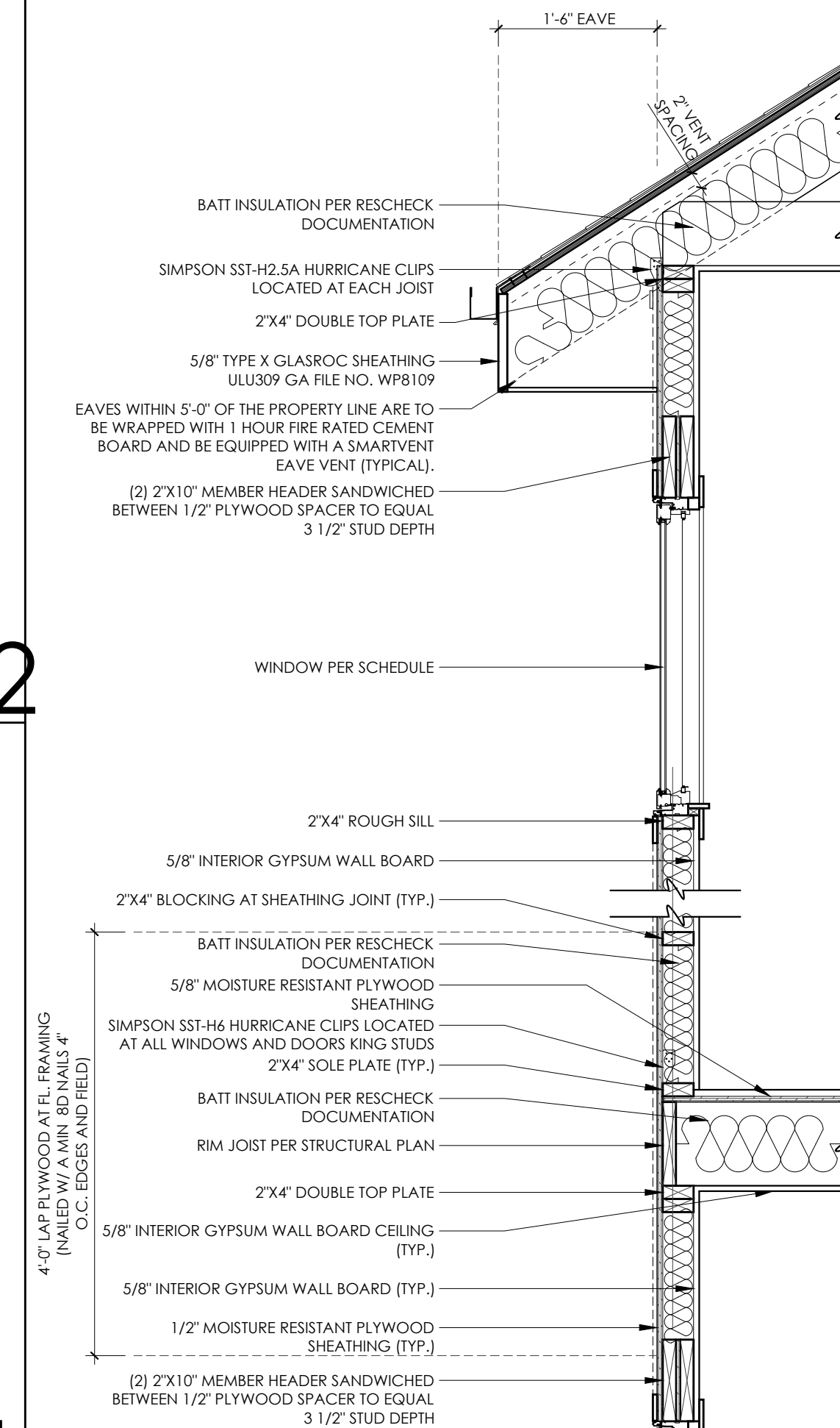
DECK CONNECTION DETAIL 10
scale: 3/4" - 1'-0"



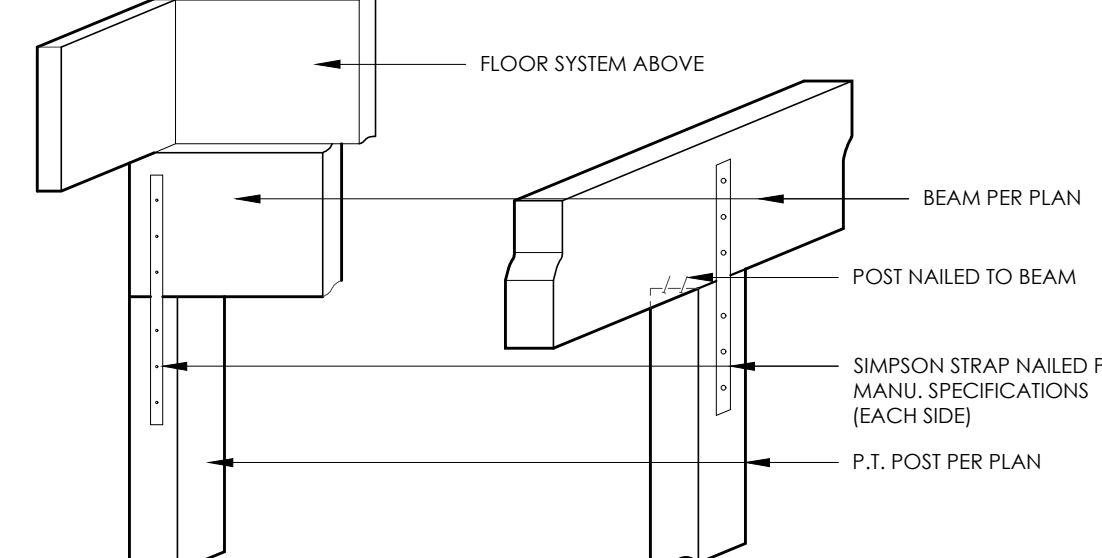
PILE & BEAM DETAIL 9
scale: 3/4" - 1'-0"



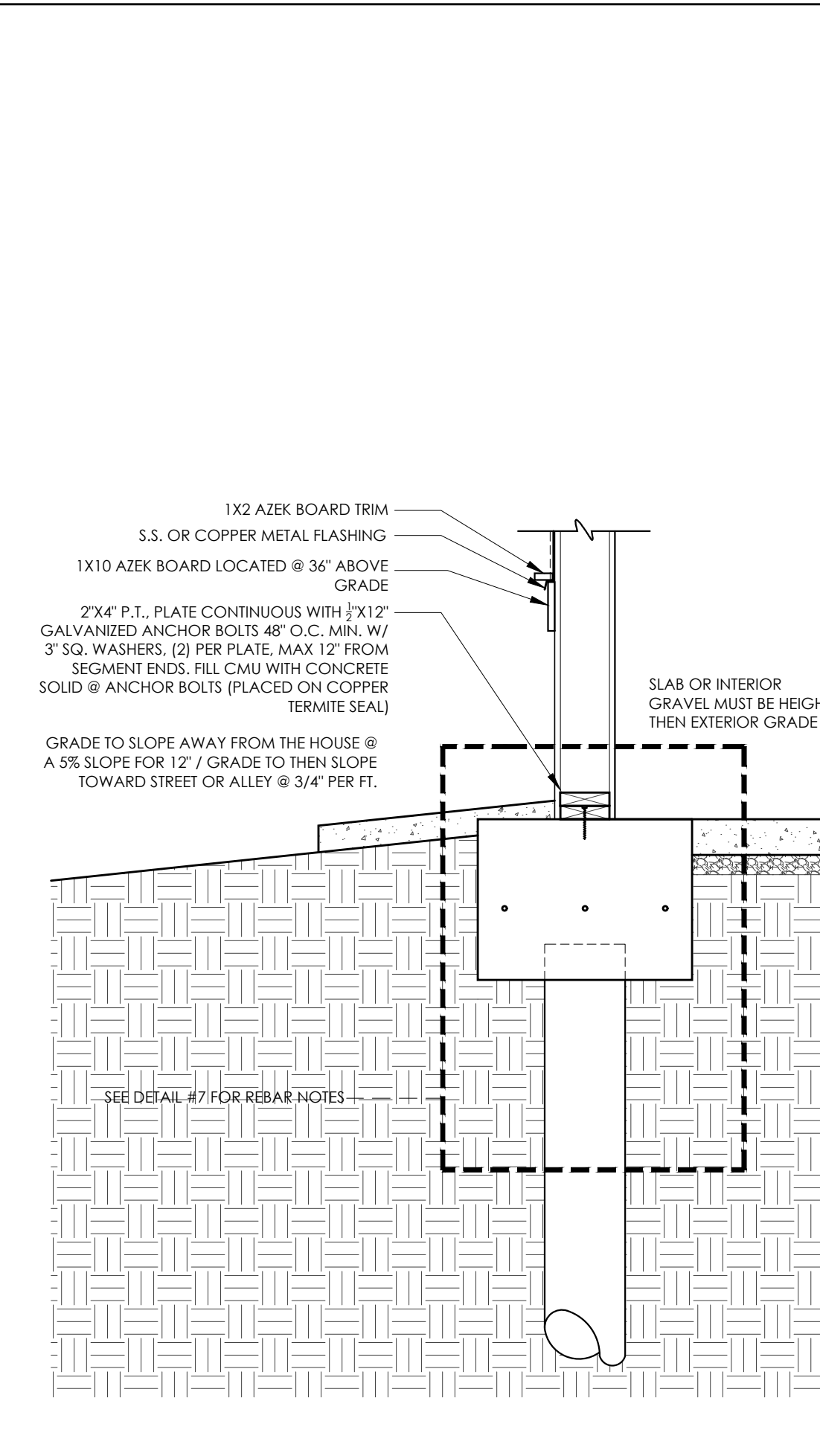
TYPICAL WALL SECTIONS 8
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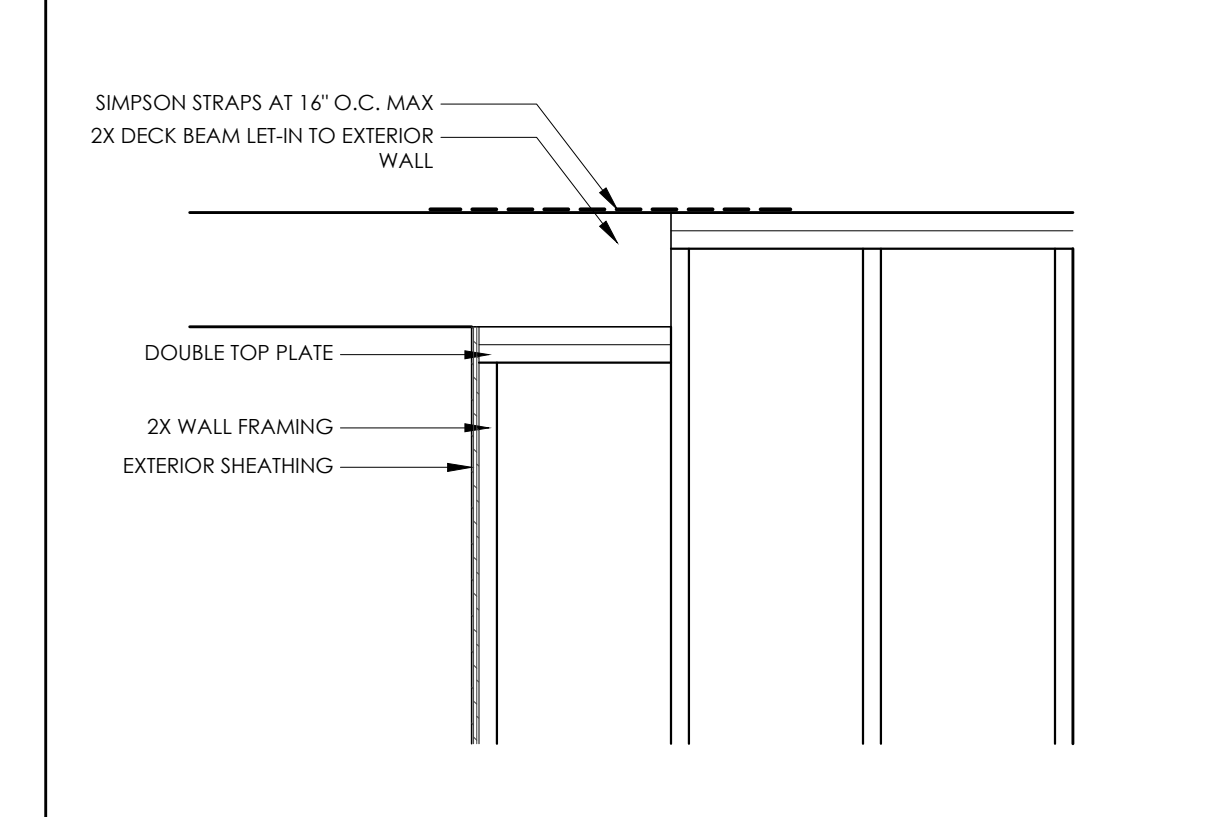
GRADE BEAM POST DETAIL 7
scale: 1" - 1'-0"



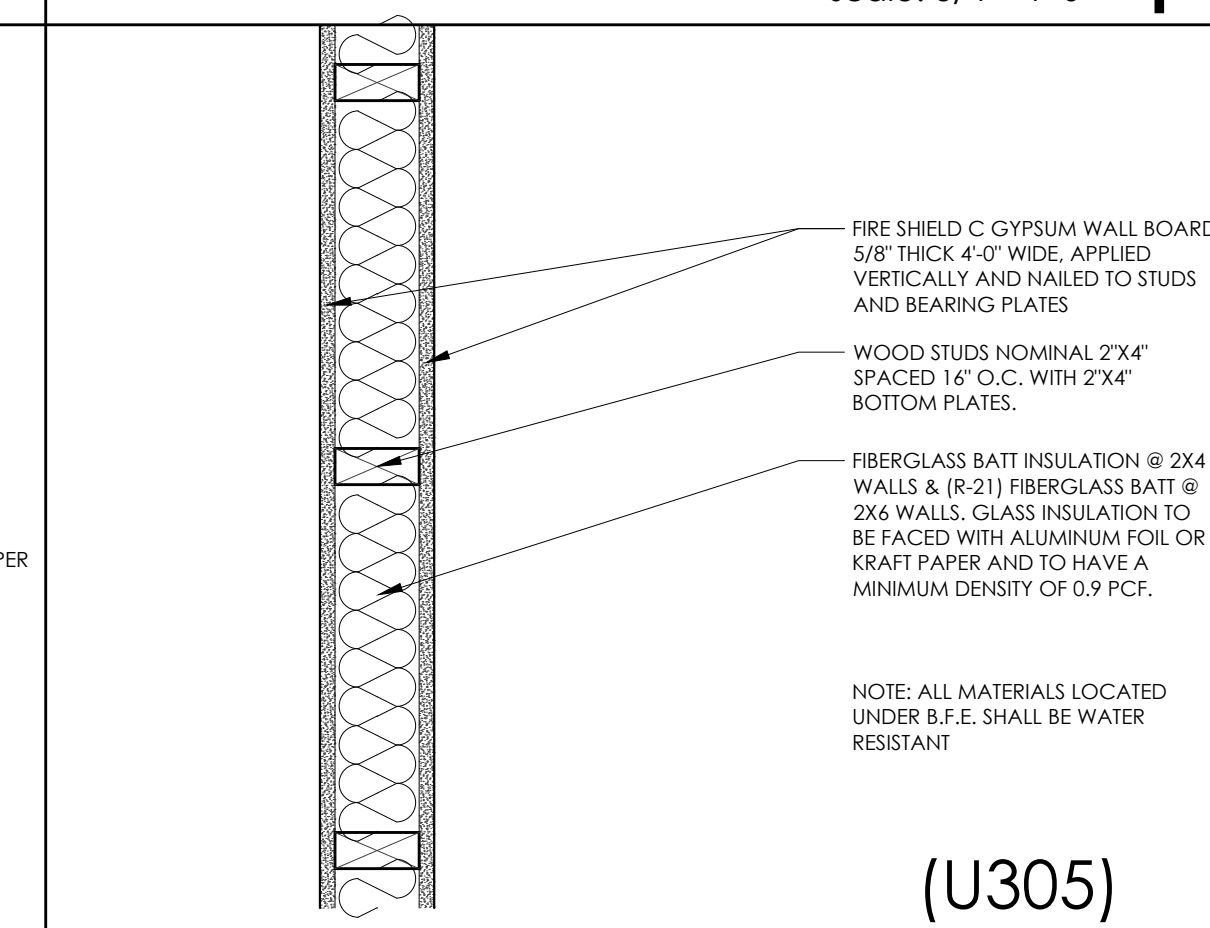
DROP BEAM CONNECTION 6
scale: 3/4" - 1'-0"



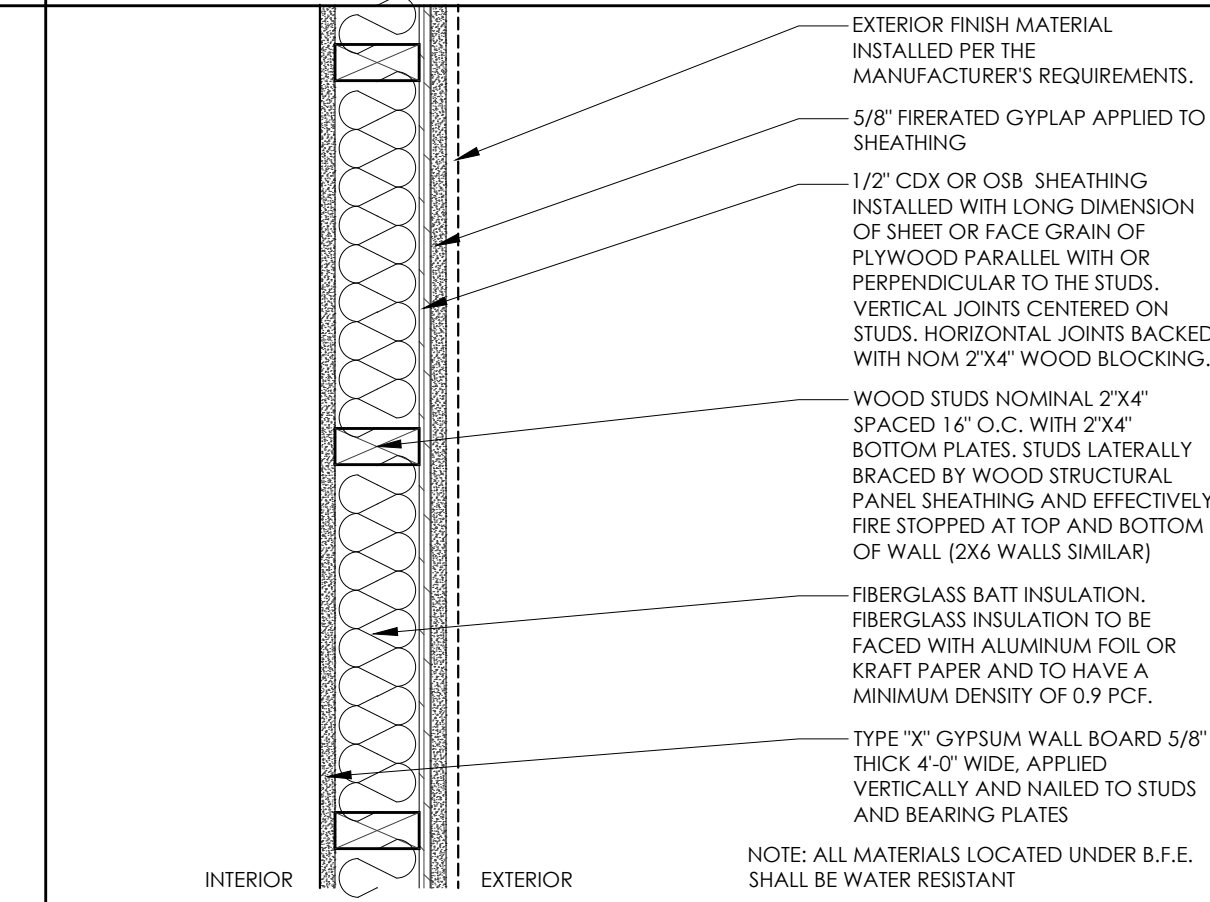
TYPICAL PILE GRADE BEAM 5
scale: 3/4" - 1'-0"



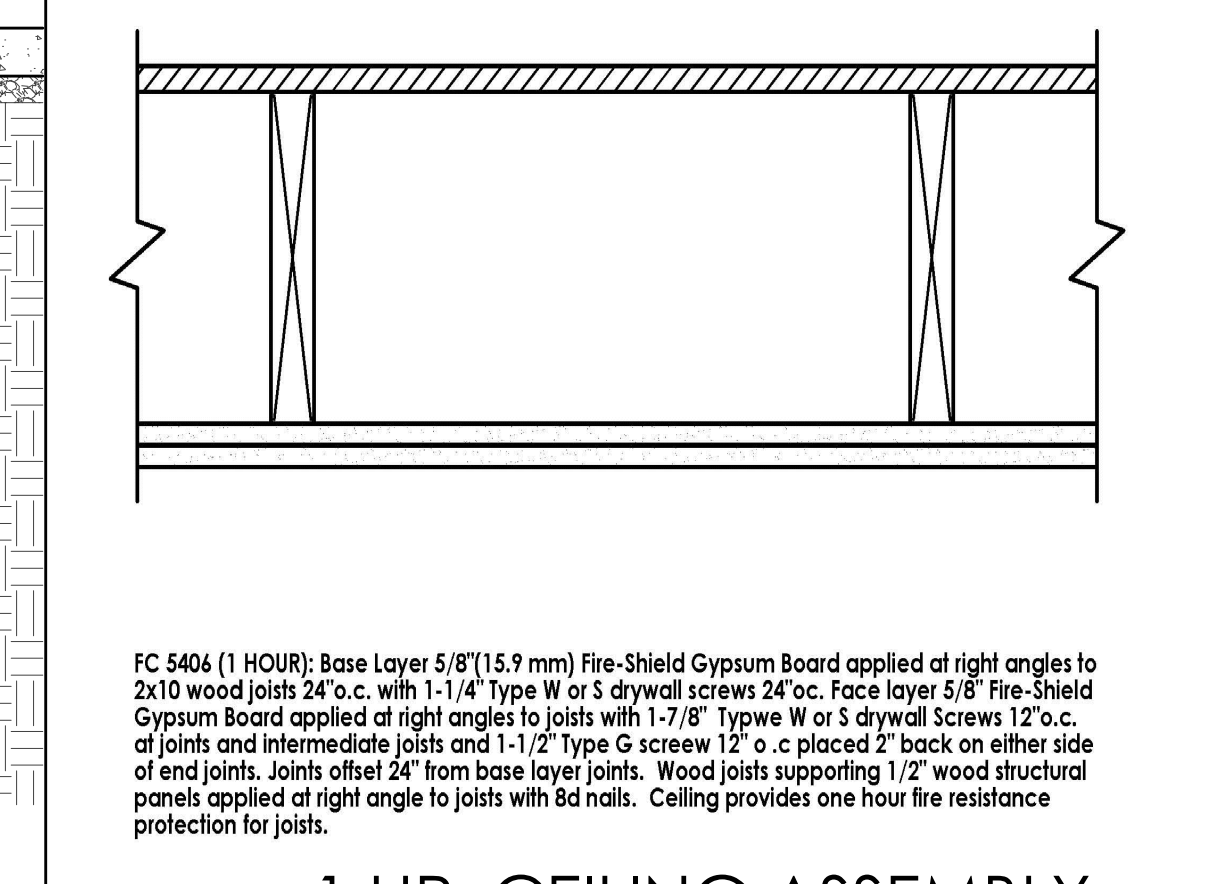
BEAM LET-IN DETAIL 4
scale: 3/4" - 1'-0"



1 HR. INTERIOR WALL ASSEMBLY 3
scale: 1 1/2" - 1'-0"



1 HR. EXTERIOR WALL ASSEMBLY 2
scale: 1 1/2" - 1'-0"



1 HR. CEILING ASSEMBLY 1
scale: NTS



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A6.01

Details

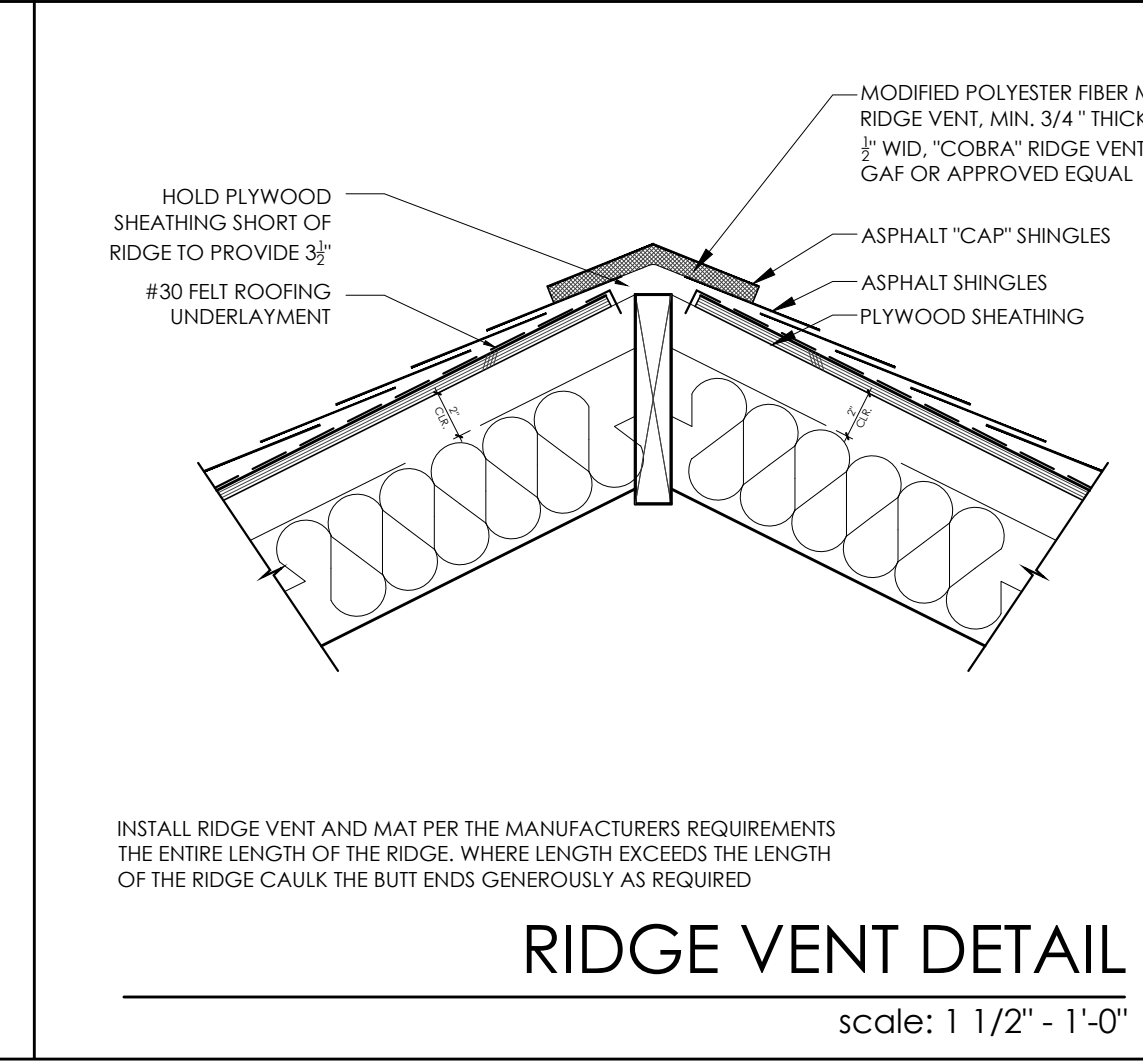
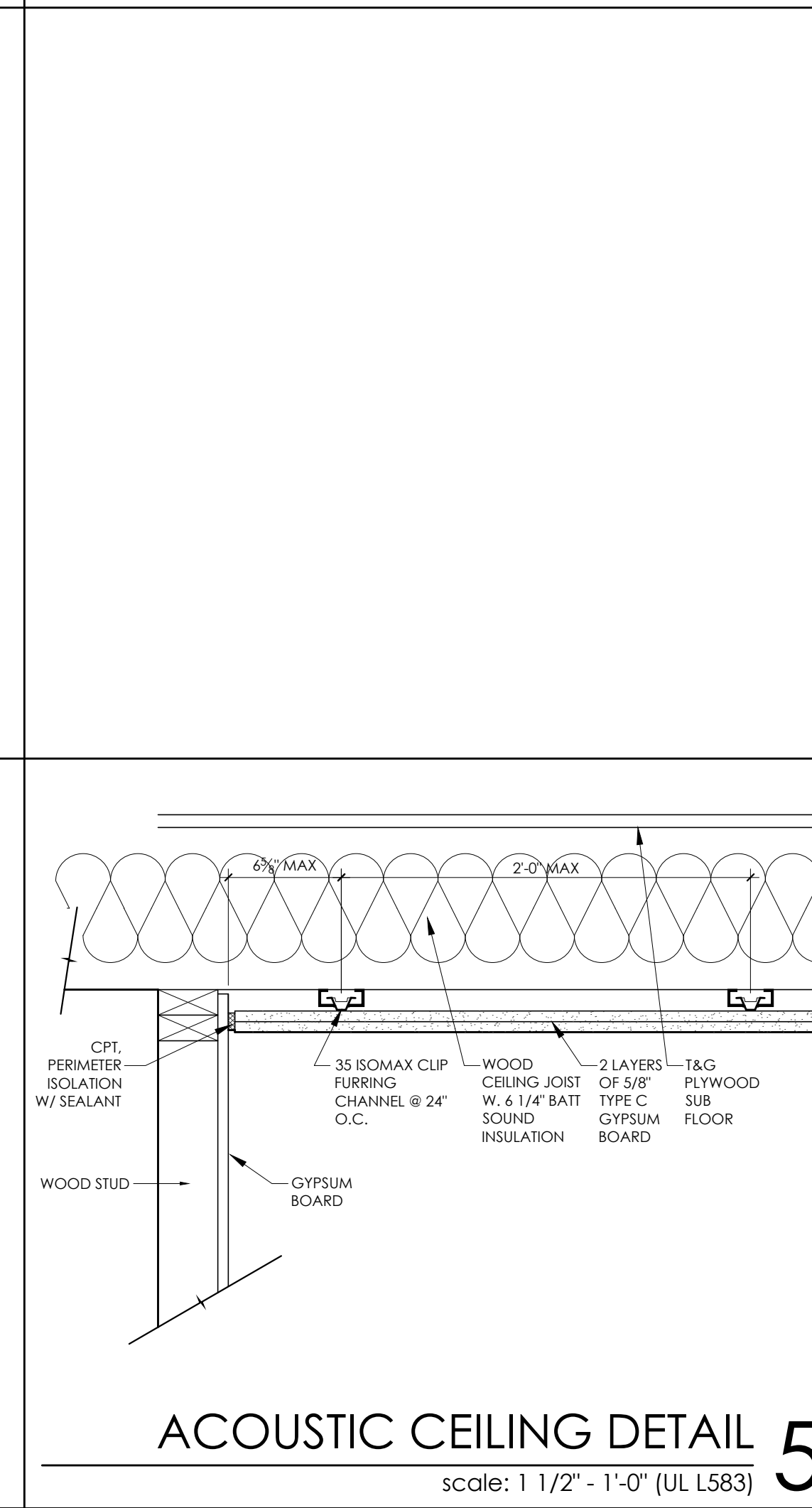
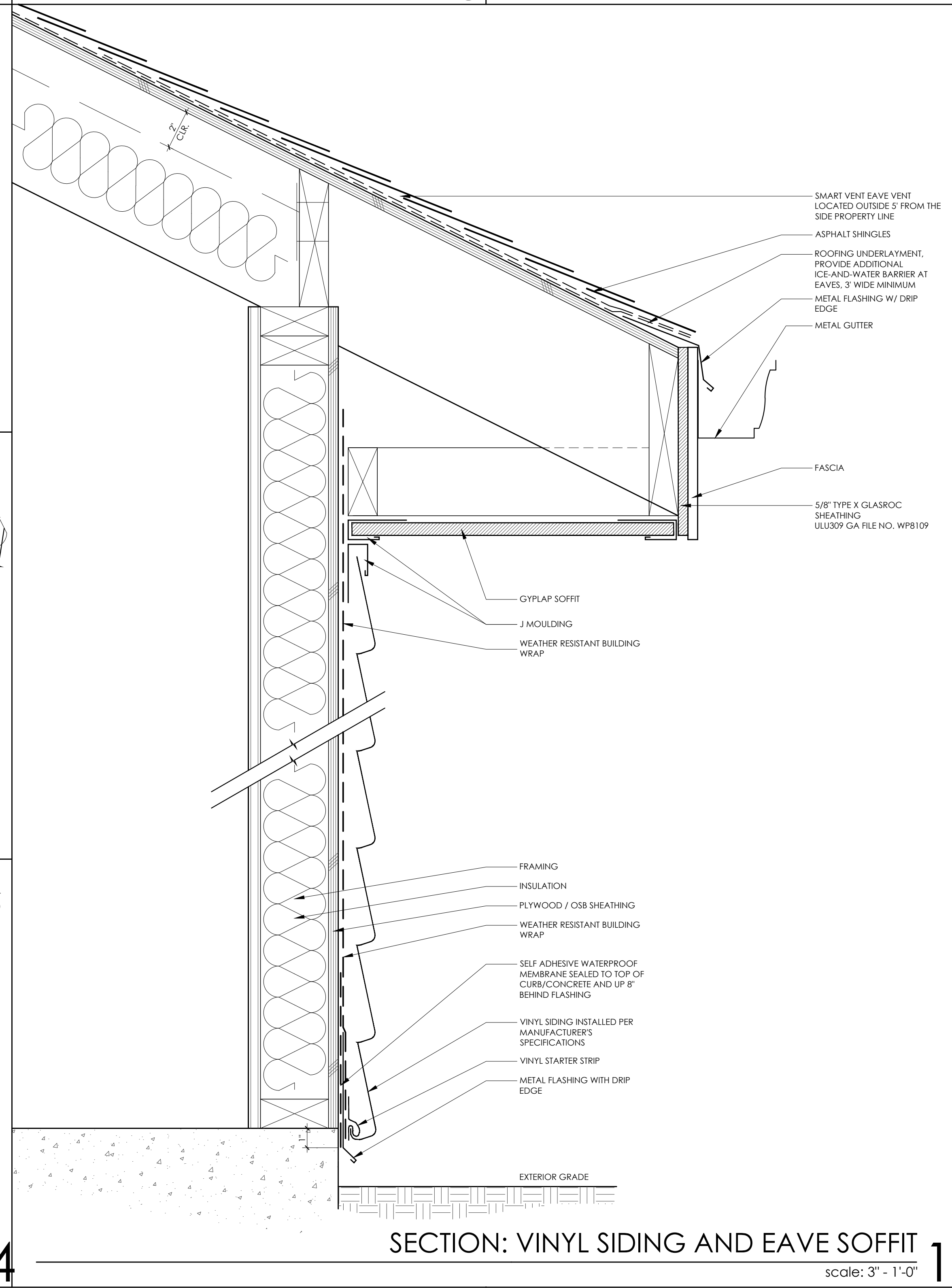
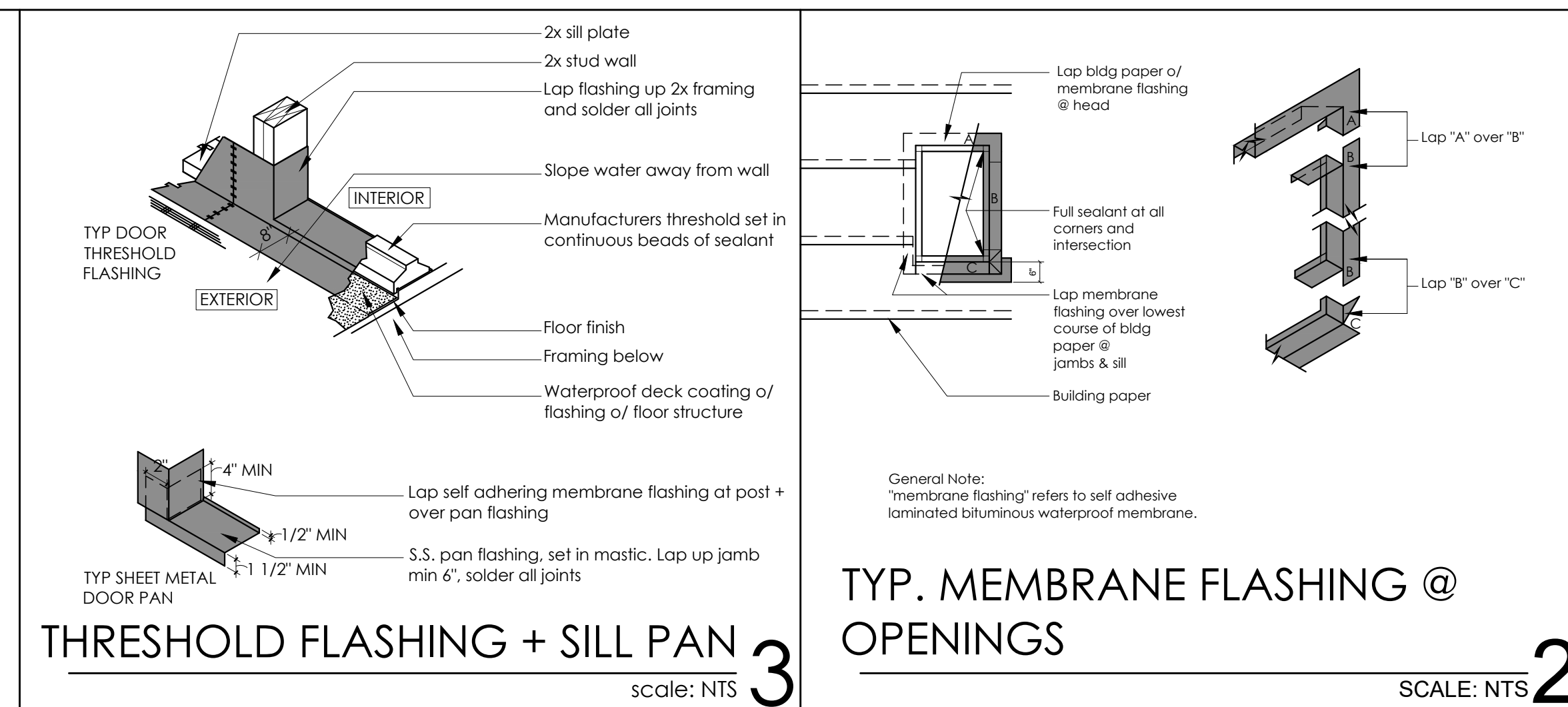


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PROJECT TEAM:



SIGNATURE LIP21A101936000

PROJECT INFORMATION: 2192

DATE: 11.23.2021 DRAWN BY: CMH
PROJECT: 2432-34 West Avenue

PROJECT ADDRESS: 2432-34 West Avenue
Ocean City, NJ 08226

OWNER CONTACT: 2432-34 West LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

A6.02

Details



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PROJECT TEAM:

SIGNATURE _____ L# 21A101936000

PROJECT INFORMATION: 2192

DATE: 11.23.2021 DRAWN BY: CMH

PROJECT:

2432-34 West Avenue

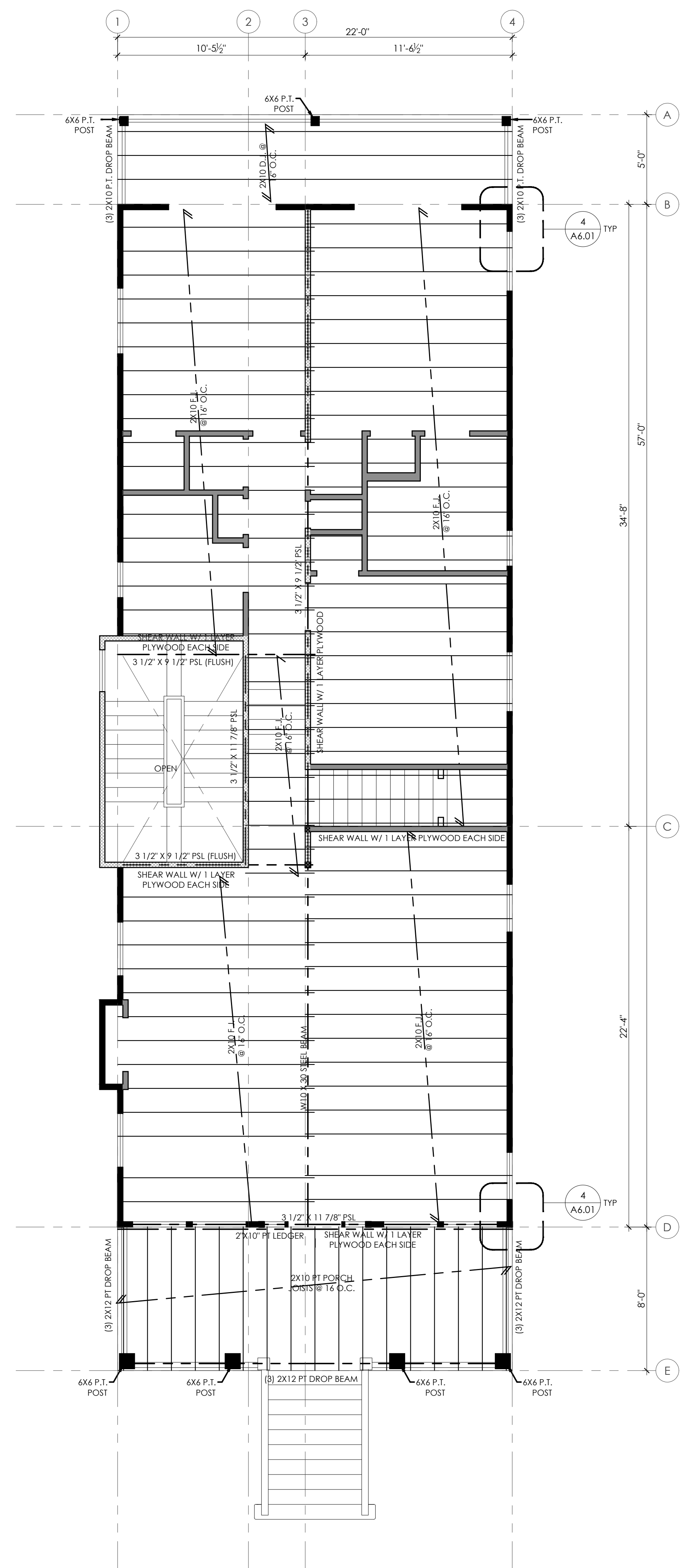
PROJECT ADDRESS:
2432-34 West Avenue
Ocean City, NJ
08226

OWNER CONTACT:
2432-34 West LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

S.01

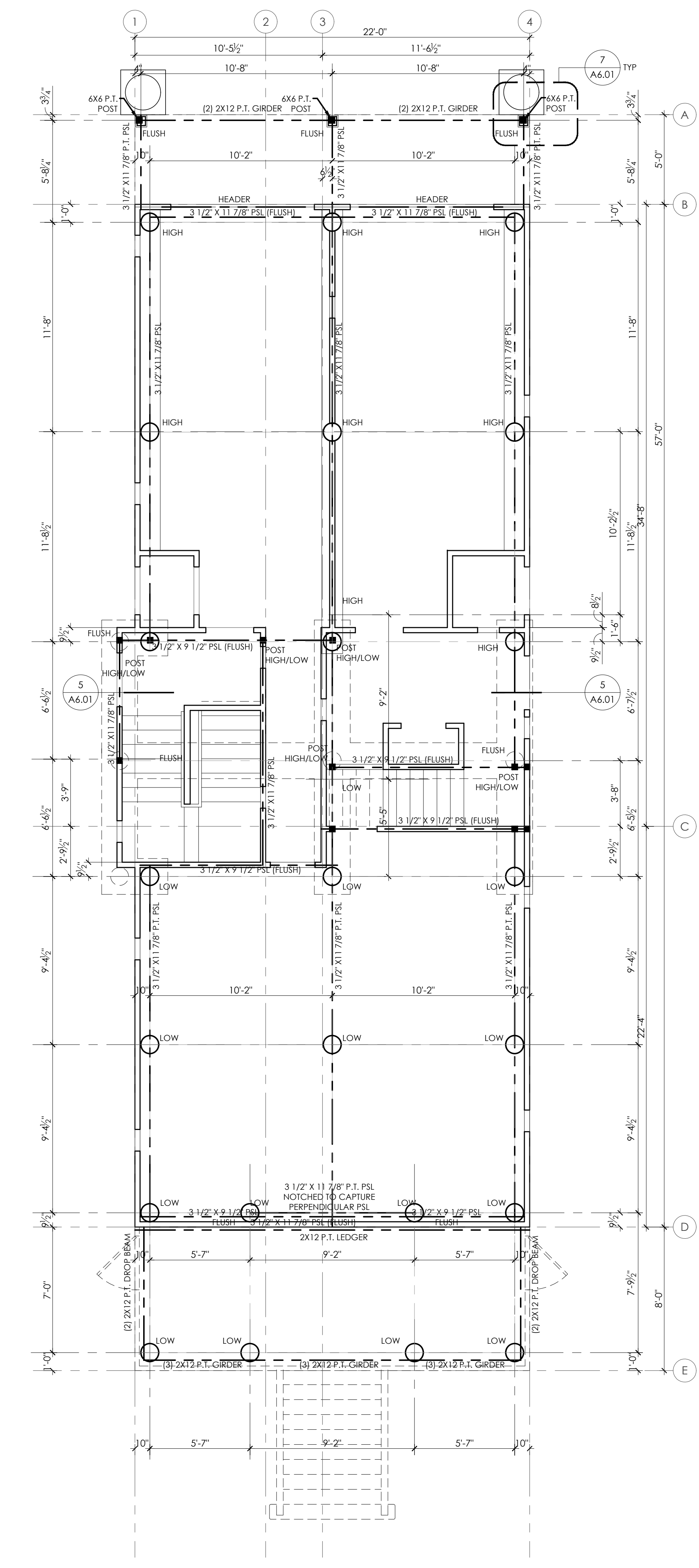
Framing Plans



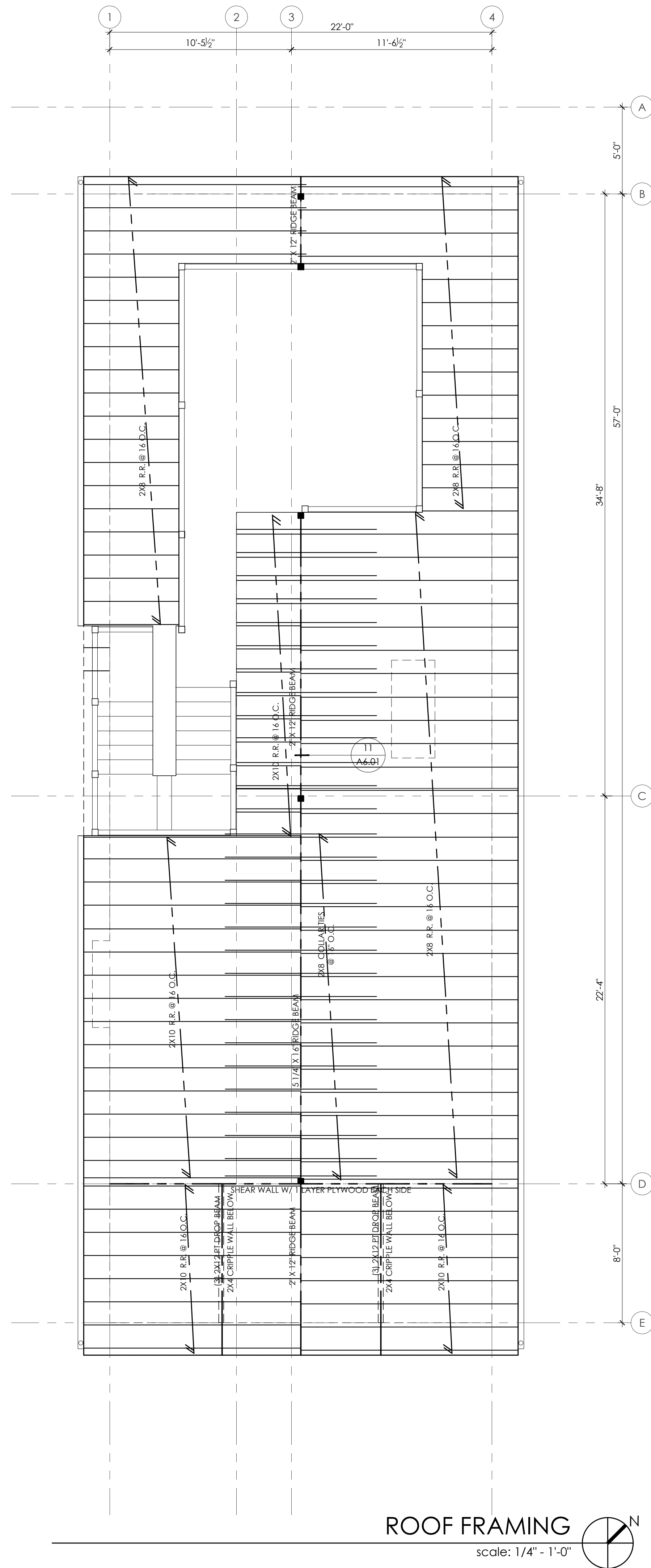
SECOND FLOOR FRAMING
scale: 1/4" = 1'-0"



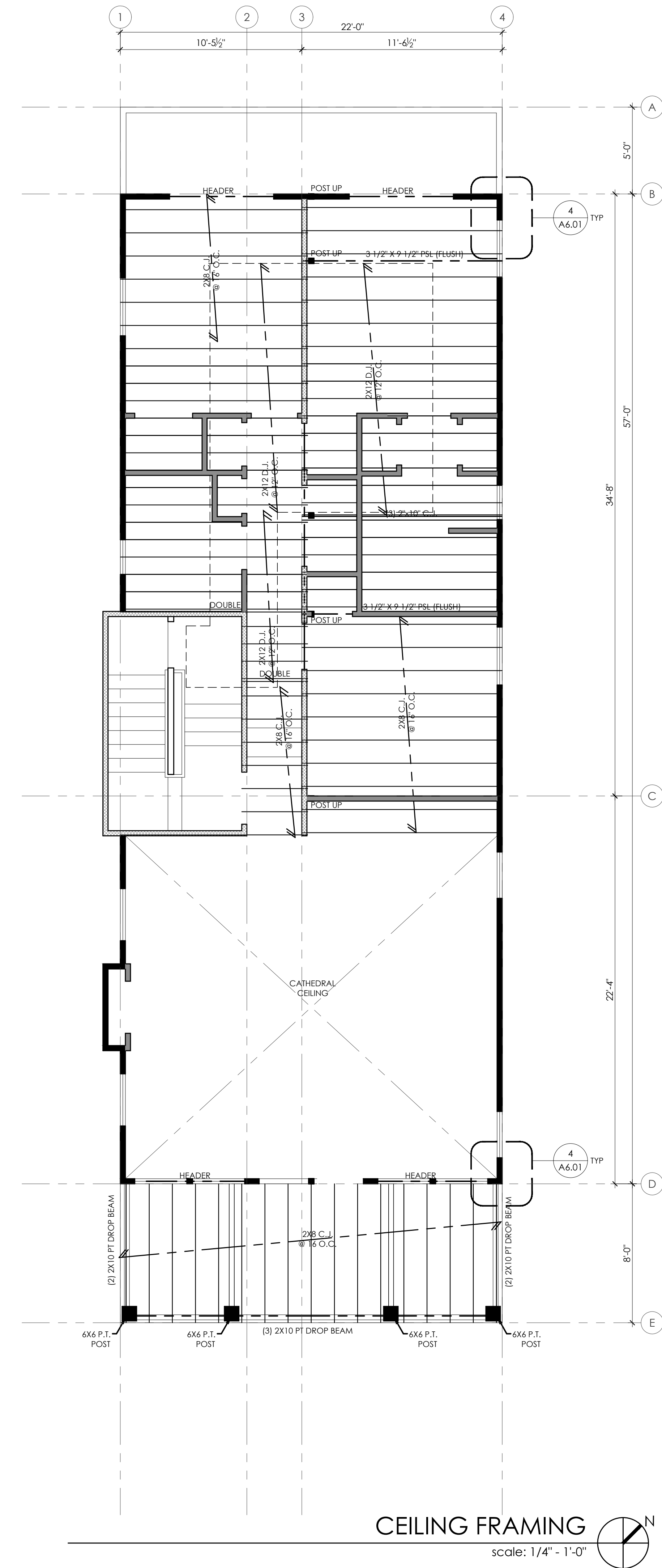
FIRST FLOOR FRAMING
scale: 1/4" = 1'-0"



PILING PLAN
scale: 1/4" = 1'-0"



ROOF FRAMING
scale: 1/4" = 1'-0"



CEILING FRAMING
scale: 1/4" = 1'-0"



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S.02

Framing Plans