DUPLEX GROUND UP

1446 ASBURY AVE.

DOOR SCHEDULE:

NO.	PAIR	WIDTH	HEIGHT	MATERIAL	FINISH	GLASS	MFR.	TINT	OPERATION	REMARKS
001	-	3'-0"	T.B.D.	AZEK	WHITE	-	CUSTOM		SWING	1 1/2" THICK (2 LAYERS OF 3/4" AZEK) DOOR TO BE FABRICATED BY G.C.
002	-	3'-0"	6'-8"	FIBGLSS	T.B.D.	TEMP	THERMATRU	LOW-E	SWING	FRONT DOOR
003	-	2'-8"	6'-8"	AZEK	WHITE	-	CUSTOM		SWING	1 1/2" THICK (2 LAYERS OF 3/4" AZEK) DOOR TO BE FABRICATED BY G.C.
004	-	2'-6"	6'-8"	FIBGLSS	PAINTED	-	T.B.D.		SWING	
005	-	2'-6"	6'-8"	FIBGLSS	PAINTED	-	T.B.D.		SWING	ONE HOUR FIRE RATED DOOR
006	-	2'-8"	6'-8"	FIBGLSS	T.B.D.	TEMP	THERMATRU	LOW-E	SWING	TOP LITE
007	-	8'-0"	7'-0"	FIBGLSS	T.B.D.	-	T.B.D.		OVERHEAD	GARAGE DOOR WITH TOP LITES
008	-	8'-0"	7'-0"	FIBGLSS	T.B.D.	-	T.B.D.		OVERHEAD	GARAGE DOOR WITH TOP LITES
009	-	2'-8"	6'-8"	AZEK	WHITE	-	CUSTOM		SWING	1 1/2" THICK (2 LAYERS OF 3/4" AZEK) DOOR TO BE FABRICATED BY G.C.
010	-	2'-8"	6'-8"	FIBGLSS	PAINTED	-	T.B.D.		SWING	
011	-	2'-8"	6'-8"	FIBGLSS	PAINTED	-	T.B.D.		SWING	ONE HOUR FIRE RATED DOOR
012	-	3'-0"	6'-8"	FIBGLSS	T.B.D.	TEMP	THERMATRU	LOW-E	SWING	FRONT DOOR
013	-	2'-8"	6'-8"	WOOD	PAINTED	-	T.B.D.		SWING	ONE HOUR FIRE RATED DOOR (CRAWLSPACE ACCESS)
014	-	3'-0"	T.B.D.	AZEK	WHITE	-	CUSTOM		SWING	1 1/2" THICK (2 LAYERS OF 3/4" AZEK) DOOR TO BE FABRICATED BY G.C.
101	-	3'-0"	6'-8"	FIBGLSS	T.B.D.	TEMP	THERMATRU	LOW-E	SWING	3/4 LITE W/ 2 14" SIDE LITES (ENTRY DOOR)
102	-	2'-8"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
103	-	2'-4"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
104	-	1'-6"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
105	-	2'-8"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
106	-	2'-6"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
107	-	2'-0"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
108	-	2'-8"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	LOUVERED DOOR
109	-	2'-8"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
110	-	2'-6"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
111	-	2'-4"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
112	-	2'-6"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
113	-	6'-0"	6'-8"	VINYL	WHITE	TEMP	VIWINCO	LOW-E	SLIDER	
114	-	6'-0"	6'-8"	VINYL	WHITE	TEMP	VIWINCO	LOW-E	SLIDER	
201	-	6'-0"	6'-8"	VINYL	WHITE	TEMP	VIWINCO	LOW-E	SLIDER	
202	-	3'-0"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	ONE HOUR FIRE RATED DOOR
203	-	2'-8"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
204	-	2'-4"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
205	PAIR	2'-4"	6'-8"	MASONITE	PAINTED	-	T.B.D.		FRENCH	LOUVERED DOOR
206	-	2'-6"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
207	-	2'-0"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
208	-	2'-6"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
209	-	2'-8"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
210	-	2'-4"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
211	-	2'-4"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
212	-	2'-6"	6'-8"	MASONITE	PAINTED	-	T.B.D.		POCKET	
213	-	2'-8"	6'-8"	MASONITE	PAINTED	-	T.B.D.		SWING	
214	PAIR	1'-6"	6'-8"	MASONITE	PAINTED	-	T.B.D.		FRENCH	
215	-	6'-0"	6'-8"	VINYL	WHITE	TEMP	VIWINCO	LOW-E	SLIDER	
216	-	6'-0"	6'-8"	VINYL	WHITE	TEMP	VIWINCO	LOW-E	SLIDER	
217	-	2'-8"	6'-8"	THERMATRU	PAINTED	-	T.B.D.	LOW-E	SWING	

GENERAL DOOR NOTES:
1. GENERAL CONTRACTOR TO SUBMIT A DOOR AND WINDOW ORDER SCHEDULE TO ARCHITECT FOR FINAL CONFIRMATION PRIOR TO ORDERING.
2. CONTACT ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE IDENTIFIED.
3. ALL SLIDERS ARE TO BE VIWINCO OR APPROVED EQUAL. PROVIDE SCREENS AT SLIDERS.
4. DOOR HARDWARE SHALL BE BUILDER STANDARD. REVIEW FINAL SELECTION W/ OWNER.
5. SEE TYPICAL WATERPROOFING DETAILS ON 2+3/A6.02

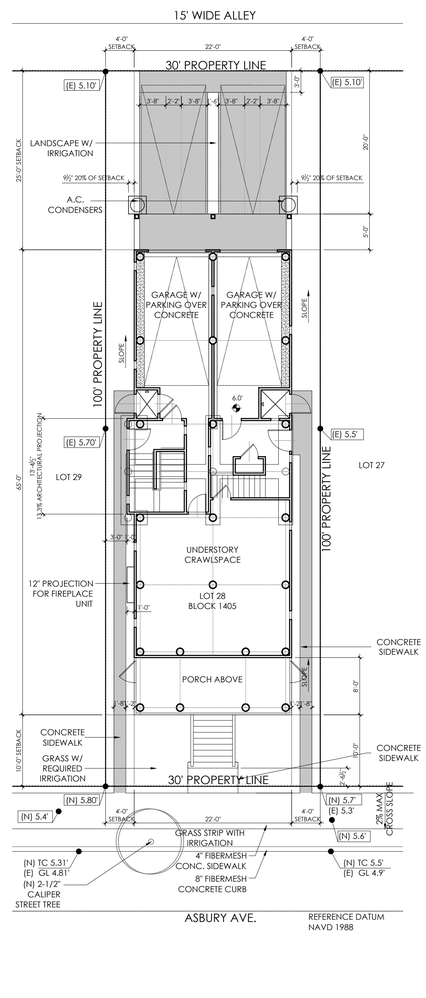
WINDOW SCHEDULE:

NO.	WIDTH	HEIGHT	MATERIAL	FINISH	GLASS	MFR.	HEAD	TINT	OPERATION	REMARKS
101	32"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
102	32"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
103	32"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
104	32"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
105	32"	52"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
106	32"	36"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
107	40"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	EGRESS WINDOW
108	24"	36"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
109	40"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	EGRESS WINDOW
110	40"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	EGRESS WINDOW
111	24"	36"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
112	28"	36"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
113	36"	52"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
114	36"	52"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
201	32"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
202	32"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
203	32"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
204	32"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
205	32"	52"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
206	32"	36"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
207	40"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	EGRESS WINDOW
208	24"	36"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
209	40"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	EGRESS WINDOW
210	40"	60"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	EGRESS WINDOW
211	24"	36"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	TEMPERED
212	36"	52"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
213	36"	52"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	DBL HUNG	
301	28"	42"	VINYL	T.B.D.	DBL PANE	VIWINCO	6'-8"	LOW-E	PICTURE	

GENERAL WINDOW NOTES:
1. GENERAL CONTRACTOR TO SUBMIT A DOOR AND WINDOW ORDER SCHEDULE TO ARCHITECT FOR FINAL CONFIRMATION PRIOR TO ORDERING.
2. CONTACT ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE IDENTIFIED.
3. ALL WINDOWS ARE TO BE VIWINCO "OCEAN VIEW" IMPACT RESISTANT.
4. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.
5. SEE EXTERIOR ELEVATIONS FOR HEAD HEIGHTS AND SWING DIRECTIONS OF CASEMENTS.
6. ALL WINDOWS IN STAIRWELLS AND WITHIN 60" OF PLUMBING HORIZONTALLY AND 36" VERTICALLY ARE TO BE TEMPERED
7. SEE TYPICAL WATERPROOFING DETAILS ON 2+3/A6.02

SITE PLAN

SCALE: 1"=10'



ELECTRICAL NOTES

1. ALL ELECTRICAL WORK TO CONFORM WITH THE 2017 NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.

2. ELECTRICAL CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITIONS AND EQUIPMENT PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES.

3. ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE SERVING ELECTRIC COMPANY AND SHALL COOPERATE WITH THEM IN DETERMINING LOADS, HOOKUPS, TEMPORARY SERVICES, ECT.

4. CONTRACTOR SHALL PROVIDE SMOKE / CARBON MONOXIDE DETECTORS IN EACH LEVEL IN LOCATIONS AS RECOMMENDED BY THE MANUFACTURER AND/ OR AS SHOWN ON THE PLANS. SMOKE DETECTORS TO BE WIRED SO THE SIGNAL IS RELAYED TO ALL LOCATIONS. ALL SMOKE / CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED 110V.

5. ALL WIRE SHALL BE A MINIMUM NO 12. AWG TYPE THW COPPER RATED AT 75 DEGREES C. AND 167 DEGREES F. CONTRACTOR TO PROVIDE CONDUIT WHERE REQUIRED BY MECHANICAL (MIN 1/2" CONDUIT). HOME RUN CIRCUITS MORE THAN 75' FROM PANEL BOARD SHALL BE NO. 10 AWF OR LARGER AS REQUIRED.

6. CONFIRM ALL FIXTURES, DEVICES AND LOCATIONS WITH OWNER/ARCHITECT PRIOR TO WIRING. A JOB WALK THROUGH WITH THE OWNER/ARCHITECT DURING ROUGH ELECTRICAL LAYOUT IS REQUIRED.

7. WHERE SWITCHES, RECEPTACLES AND OTHER OUTLETS ARE SHOWN BACK TO BACK IN INTERIOR PARTITIONS, THEY SHALL BE STAGGERED TO PREVENT THE TRANSMISSION OF SOUND THROUGH THE PARTITION. WHEN OUTLETS ARE BACK TO BACK IN A FIRE RATED WALL ASSEMBLY, LOCATE EACH OUTLET IN A SEPARATE AND ADJACENT STUD BAY TO AVOID OPENINGS IN BOTH FACES OF FIRE RATED WALL IN A SINGLE STUD FACE (ALWAYS FOLLOW FIRE RATED PARTITION ASSEMBLY GUIDELINES)

8. DO NOT SCALE DRAWINGS. VERIFY LOCATION OF EQUIPMENT AND FIXTURES ON THE JOB SITE WITH THE GENERAL CONTRACTOR, ARCHITECT AND OTHER TRADES.

9. CIRCUIT THE LIGHTING AND RECEPTACLES ON DIFFERENT CIRCUITS SO THAT EACH SPACE CONTAINS PARTS OF AT LEAST TWO CIRCUITS.

10. PROVIDE A MAXIMUM OF 8 CONVENIENCE ON ANY ONE 20 AMP CIRCUIT, MAXIMUM 7 ON ANY 15 AMP CIRCUIT AND MAXIMUM 2 KITCHEN APPLIANCE RECEPTACLES ON ANY 20 AMP CIRCUIT.

11. CABLE TELEVISION, CAT5 AND TELEPHONE OUTLETS SHALL BE PREWIRED DURING CONSTRUCTION WITH WALL OUTLETS.

12. ALL RECESSED LIGHTS SHALL BE RATED FOR INSULATION CONTACT AND COORDINATED BY CONTRACTOR W/ THE STRUCTURAL FRAMING.

13. ELECTRICAL CONTRACTOR TO PROVIDE POWER AT WATER HEATER AND HVAC EQUIPMENT PER EQUIPMENT MANUFACTURERS GUIDELINES.

14. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

15. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.

16. CONTRACTOR TO PROVIDE ALL NECESSARY OUTLETS PER CODE.

17. OVERCURRENT DEVICES SHALL NOT BE LOCATED IN CLOSETS OR BATHROOMS

18. ARC-FAULT CIRCUIT INTERRUPTERS TO COMPLY WITH CURRENT ELECTRICAL CODE.

19. GROUND FAULT CIRCUIT INTERRUPTER (GFI) PROTECTION
A. ALL READILY ACCESSIBLE RECEPTACLES IN GARAGES SHALL HAVE GFCI PROTECTION. EXCEPT FOR RECEPTACLES DEDICATED FOR CORD- AND PLUG-CONNECTION APPLIANCES.
B. RECEPTACLES IN CRAWL SPACES SHALL HAVE GFI PROTECTION.
C. ALL BATHROOM, POWDER ROOM AND KITCHEN OUTLETS SHALL BE GROUND FAULT CIRCUIT INTERRUPT TYPE (GFI).
D. EXTERIOR OUTLETS SHALL BE GROUND FAULT CIRCUIT INTERRUPT TYPE AND WEATHERPROOF.

20. CONFIRM ALL FIXTURES, DEVICES AND LOCATIONS WITH OWNER/ARCHITECT PRIOR TO WIRING. A JOB WALK THROUGH WITH THE OWNER/ARCHITECT DURING ROUGH ELECTRICAL LAYOUT IS REQUIRED.

MECHANICAL NOTES:

1. ALL DUCTWORK TO BE LOCATED ABOVE D.F.E.
FIRST FLOOR DUCTWORK TO BE LOCATED IN GARAGE CEILING/ CRAWLSPACE.
SECOND FLOOR DUCTWORK TO BE LOCATED IN SECOND FLOOR CEILING SYSTEM.

2. MECHANICAL EQUIPMENT TO BE LOCATED ABOVE D.F.E. ELEVATION. IF DUCTS ARE LOCATED BELOW D.F.E. THEY ARE REQUIRED TO BE WATER PROOF.

3. ALL EXTERIOR VENTS ARE TO BE RUN TO EXTERIOR SOFFIT OR ROOF WHERE POSSIBLE.

4. EACH CONDO UNIT IS TO HAVE AN INDEPENDENT HVAC SYSTEM ONE LOCATED IN THE ATTIC AND ONE LOCATED IN GARAGE.

5. ALL MECHANICAL WORK IS TO COMPLY WITH THE 2018 INTERNATIONAL MECHANICAL CODE

PLUMBING NOTES:

1. ALL FIXTURES AND FINISHES ARE TO BE APPROVED BY OWNER PRIOR TO THE INSTALLATION.

2. PLUMBER TO INSTALL ALL PLUMBING PER THE 2018 NATIONAL STANDARD PLUMBING CODE

Owner:	Alley Oop LLC
Address:	1446 Asbury Avenue Ocean City, NJ 08226
Code:	2018 International Residential Code, New Jersey Edition
Use Group:	R-5
Construction Type:	VB
Flood Zone:	A
Base Flood Elevation:	9'-0" BFE
Design Flood Elevation:	11'-0" DFE
Zoning Flood Elevation:	12'-0" ZFE
Zone	R-2-30
Lot	28
Block	1405
Lot Square Footage	3,000 sf
Coverage	1,156 (38.5%) [40% ALLOWED]
Impervious Coverage	2,099 sf (70%) [70% ALLOWED]

Ground Floor SF
Garage/Foyer: 769 sf
Crawlspace: 463 sf
Ground Fl. Total: 1,232 sf

First Floor SF
Living Area 1,156 sf
Covered Porches 176 sf
Rear Decks 110 sf
1st Fl. Total: 1,442 sf

Second Floor SF
Living Area 1,156 sf
Covered Deck 176 sf
Rear Decks 110 sf
2nd Fl. Total: 1,442 sf

Roof SF 1,676 sf (including roof deck)
Decks 200 sf roof deck
Percentage under 4/12 (11.9%)
(all slopes are > 4/12)

Total Building Volume:

Ground Floor:	6,948 cubic feet
First Floor:	9,476 cubic feet
Second Floor:	9,686 cubic feet
Attic:	2,310 cubic feet
Total:	28,420 cubic feet

SHEET INDEX

ARCHITECTURAL DRAWINGS

A0.01	Title Sheet/ Project Data/ Door and Window Schedule
A1.01	Ground and First Floor Plans
A1.02	Second Floor and Roof Plan
A2.01	First Floor Reflected Ceiling Plan
A2.02	Second Floor Reflected Ceiling Plan
A3.01	Front Elevation and Side Elevation
A3.02	Rear Elevation and Side Elevation
A6.01	Construction Details
A6.02	Architectural Details
S.01	Piling Stringer Plan and First + Second Floor Framing Plans
S.02	Ceiling Framing Plan and Roof Framing Plan

CONSTRUCTION NOTES

1. FLOOD VENT REQUIREMENTS: 1" OF FLOOD VENT PER S.F. ("SMART VENT" MODEL #1540-520 AND #1540-510 FLOOD VENTS, 8 $\frac{1}{2}$"X14 $\frac{1}{2}$", PROVIDING COVERAGE FOR 200 SQUARE FEET). SEE KEYNOTES.

Garage/Foyer/Stair: 769 S.F.(4 VENTs REQ/ 4 VENTS PROVIDED)

Crawlspace: 463 S.F.(4 VENTS REQ/ 4 VENTS PROVIDED)

2. ALL EXTERIOR WALLS AND OVERHANGS WITHIN 5'-0" OF OF THE SIDE YARD SETBACKS TO HAVE 1 HR FIRE RATING WITH EXTERIOR GRADE TYPE "X" DRYWALL ON THE OUTSIDE OF THE SHEATHING AND TYPICAL TYPE "X" INTERIOR DRYWALL WHERE APPLICABLE (SEE PARTITION DETAIL).

3. SHEAR PANELS TO HAVE 8D GALVANIZED NAILS @ 4" O.C. (ONE LAYER)(REFER TO STRUCTURAL DRAWINGS).

4. ALL FINISH WALLBOARD LOCATED UNDER D.F.E. TO BE WATER RESISTANT.

5. HOME IS TO BE CONSTRUCTED WITH ONE LEVEL FOR PARKING, LIMITED STORAGE AND BUILDING ACCESS AND TWO LEVELS OF LIVING ABOVE. UNDER THE SEPTEMBER 4, 2013 "GRADE LEVEL FLOOD ELEVATION MEMO," THIS STRUCTURE COMPLIES WITH THE VB CONSTRUCTION TYPE DEFINITION.

6. PILING TO BE 8" TIP MIN. W/ A NATURAL TAPER (CAPACITY OF 12 TONS THROUGHOUT). PRESERVATIVE AND MINIMUM FINAL RETENTION SHALL BE IN ACCORDANCE WITH AWPA U12 FOR ROUND TIMBER PILES. ALLOWABLE STRESSES SHALL BE IN ACCORDANCE WITH THE AF&PA NDS.

7. ALL EXTERIOR HARDSCAPES INCLUDING CURBS, SIDEWALKS, & DRIVEWAYS ARE TO BE NEW

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21A101936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

[PROJECT]
1446 Asbury Avenue

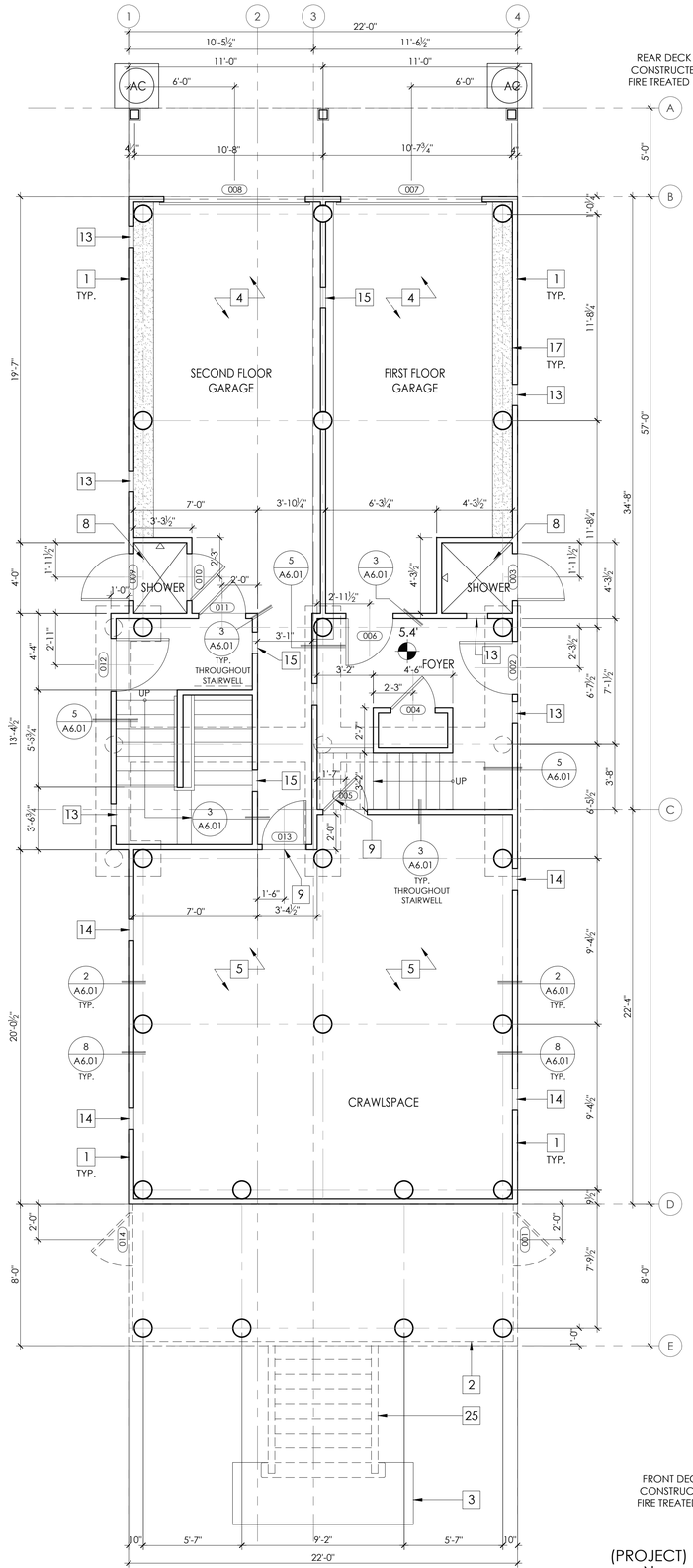
[PROJECT ADDRESS]
1446 Asbury Avenue
Ocean City, NJ
08226

[OWNER CONTACT]
Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

A0.01

Title Sheet
+
Code Information
Door and
Window
Schedule

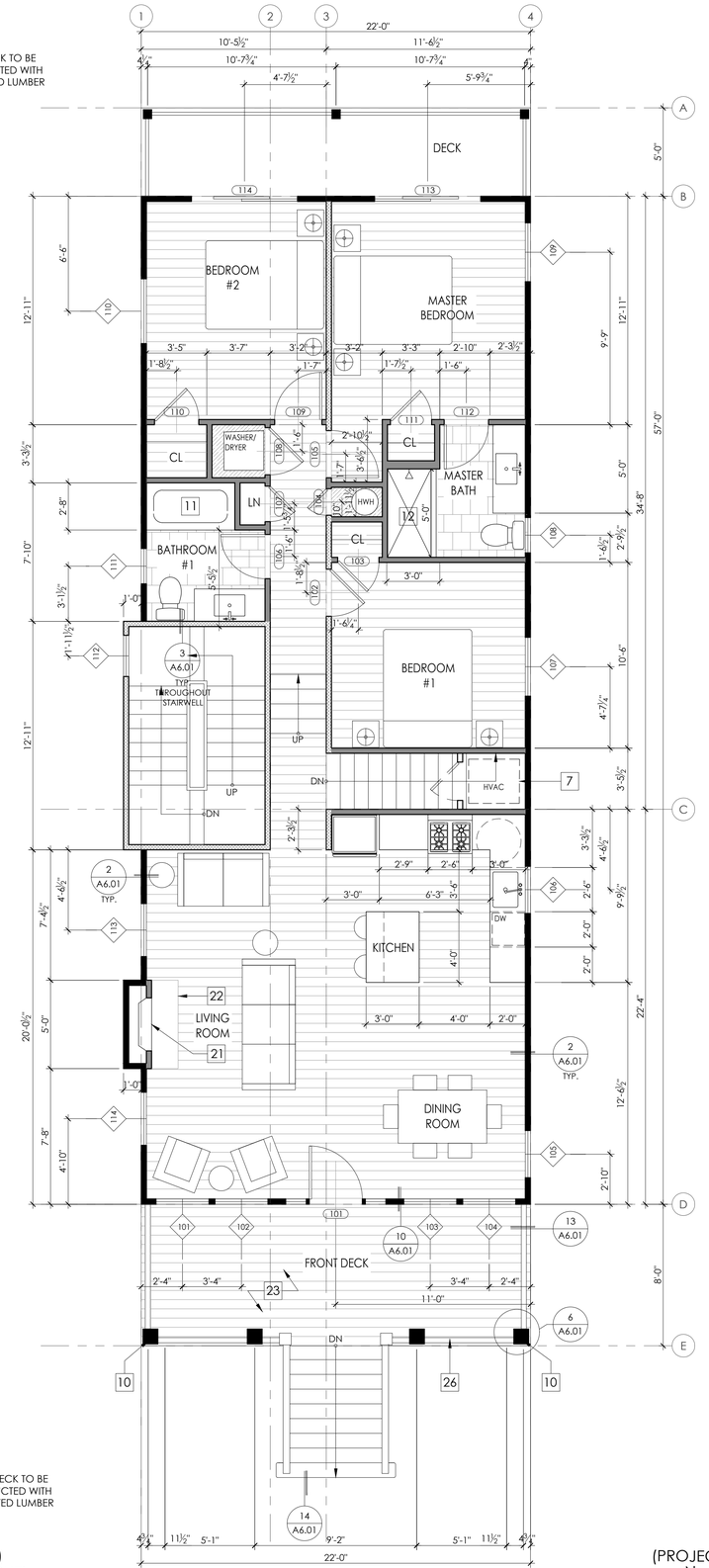


REAR DECK TO BE CONSTRUCTED WITH FIRE TREATED LUMBER

FRONT DECK TO BE CONSTRUCTED WITH FIRE TREATED LUMBER

PROPOSED GROUND FLOOR PLAN

scale: 1/4" - 1'-0"



PROPOSED FIRST FLOOR PLAN

scale: 1/4" - 1'-0"

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAME UNLESS NOTED OTHERWISE.

2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.

3. ALL EXTERIOR WINDOWS AND DOORS ARE TO BE INSTALLED WITH (2) 2X10 BUILT UP STRUCTURAL HEADER BEARING ON 3 1/2" X 3 1/2" DBL JACKS.

4. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (F.J).

5. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER.

6. REFER TO DETAIL SHEETS FOR SHEAR WALL AND NAILING DETAILS.

7. REFER TO CONSTRUCTION NOTES ON A0.01 FOR ADDITIONAL INFORMATION

5. SEE SHEETS A6.01 AND A6.02 FOR DETAILS

6. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS DETAILS

7. PILING TO BE CLASS B, 10" BUTT 8" HEAD MIN. W/ A CAPACITY OF 12 TONS THROUGHOUT.

8. ALL HEADERS ARE TO BE 2X10'S UNLESS OTHERWISE NOTED.

9. FIRST FLOOR REAR DECKS IS TO BE CONSTRUCTED W/ FIRE TREATED LUMBER AND TO BE FIRE SPRAYED.

WALL LEGEND

- 2X4 EXTERIOR LOAD BEARING WALL WITH 5/8" TYPE X DRYWALL ON THE INTERIOR
- 2X4 INTERIOR WALL
- 2X4 WALL WITH P.T. LUMBER

*insulation per Rescheck document

KEYNOTES

1. (N) SMOOTH TROWELED STUCCO FINISHED WALL AT GARAGE AND CRAWLSPACE. REFER TO EXTERIOR ELEVATIONS.
2. (N) 12"/4" VARYING WIDTH VERTICAL AZEK BOARD SCREENING UNDER DECK
3. (N) CONCRETE SLAB ON GRADE W/ VISQUIM MESH
4. (N) 4" THICK STRUCTURAL CONCRETE SLAB, TO BE POURED ON COMPACTED FILL W/ 6MM VISIQUIM
5. (N) GRAVEL
6. (N) A.C. CONDENSER UNIT W/ AZEK SURROUND; PLATFORM TO BE @ OR ABOVE D.F.E.
7. (N) HVAC UNIT
8. (N) OUTDOOR SHOWER ENCLOSURE WITH COMPOSITE DECKING FLOOR OVER GRAVEL WITH FRENCH DRAIN
9. (N) CRAWLSPACE ACCESS PANEL
10. (N) 6"X6" P.T. 1 HR FIRE TREATED STRUCTURAL POST W/ 10" VINYL WRAP CAPITAL AND BASE
11. (N) 5'-0" FIBERGLASS SHOWER/TUB INSERT
12. (N) TILED SHOWER WITH FIBERGLASS PAN AND GLASS DOOR/ENCLOSURE
13. FLOOD VENT: "SMART VENT" MODEL #1540-520, 8 1/2"X14 1/2", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (INSULATED GARAGE)
14. FLOOD VENT: "SMART VENT" MODEL #1540-510, 8 1/2"X14 1/2", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (DUAL FUNCTION / CRAWLSPACE)
15. (N) INTERIOR SCREEN VENT W/ 1 HOUR FIRE DAMPER
16. (N) HORIZONTAL VINYL SIDING, COLOR T.B.D.
17. (N) WATER RESISTANT GYP. BOARD BELOW D.F.E. (@ GARAGE AND CRAWL SPACE INTERIOR))
18. (N) BOARD AND BATTEN VINYL SIDING, COLOR T.B.D.
19. ASPHALT SHINGLE ROOF. COLOR T.B.D.
20. GUTTER/DOWNSPOUT, COLOR T.B.D.
21. DIRECT VENT GAS FIREPLACE
22. NON-COMBUSTIBLE FIREPLACE HEARTH
23. COMPOSITE DECKING SECURED TO DECK STRUCTURE, SLOPE AWAY FROM HOUSE @ 2% MIN. COLOR T.B.D.
24. (N) FIBERGLASS DECK COATING, SLOPE AWAY FROM HOUSE. (FRAMING TO BE TREATED/ DECKING TO BE FIRE SPRAYED)
25. (N) EXTERIOR STAIR TO HAVE 4X4 POSTS (WHERE REQUIRED) W/ 2X12 STRINGERS @ 12" O.C. AND 36" HIGH WHITE VINYL GUARD RAIL AND HAND RAIL
26. STAIR/DECK GUARDRAIL, 36" MIN. WHITE VINYL FINISH
27. EXTERIOR WALL SCONCE, REFER TO REFLECTED CEILING / POWER PLANS ON A2.01 + A2.02
28. PULL DOWN ATTIC STAIR/LADDER, CONTRACTOR TO COORDINATE WITH OPENING WITH FRAMING
29. FLOOR DRAIN
30. WHITE PVC CORBEL/BRACKET

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

|PROJECT|
1446 Asbury Avenue

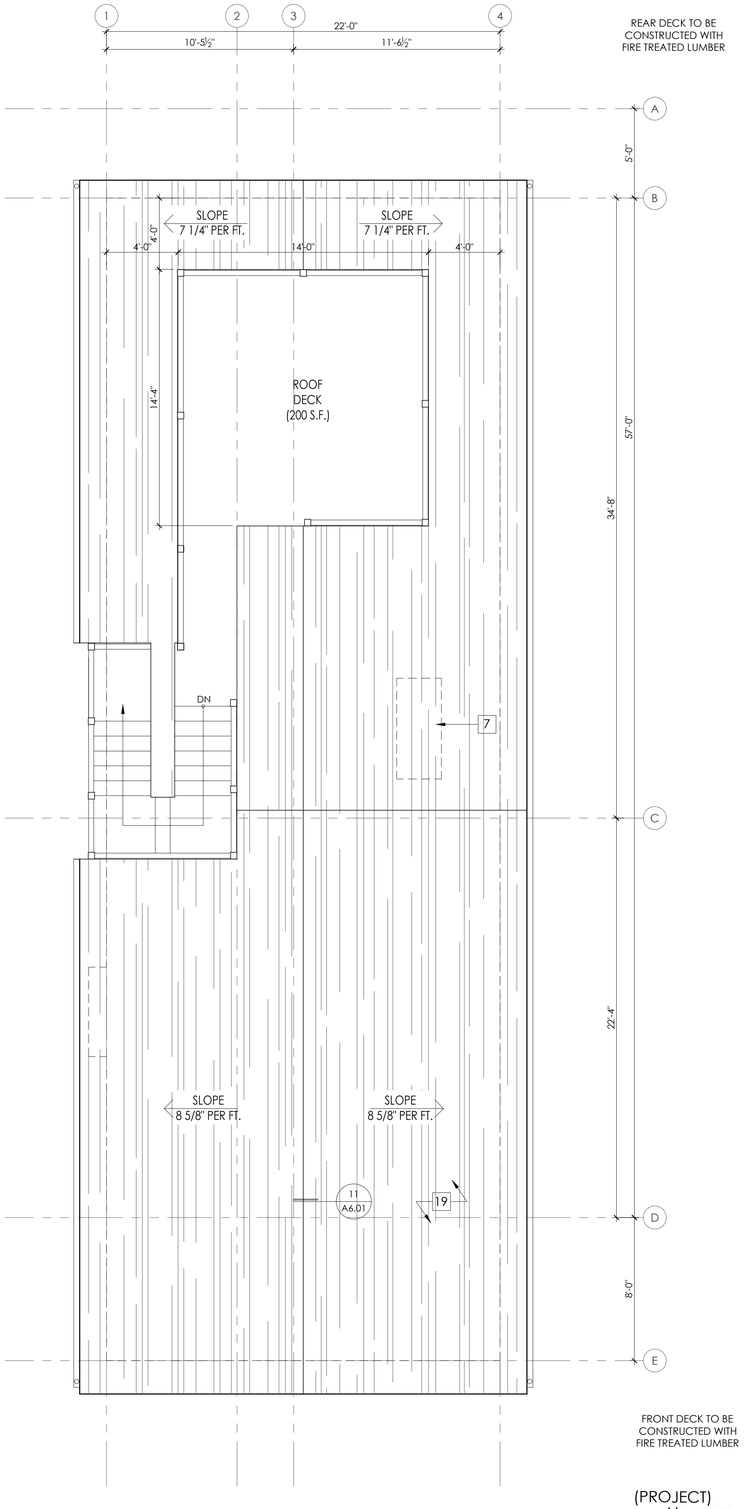
|PROJECT ADDRESS|
1446 Asbury Avenue
Ocean City, NJ
08226

|OWNER CONTACT|
Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

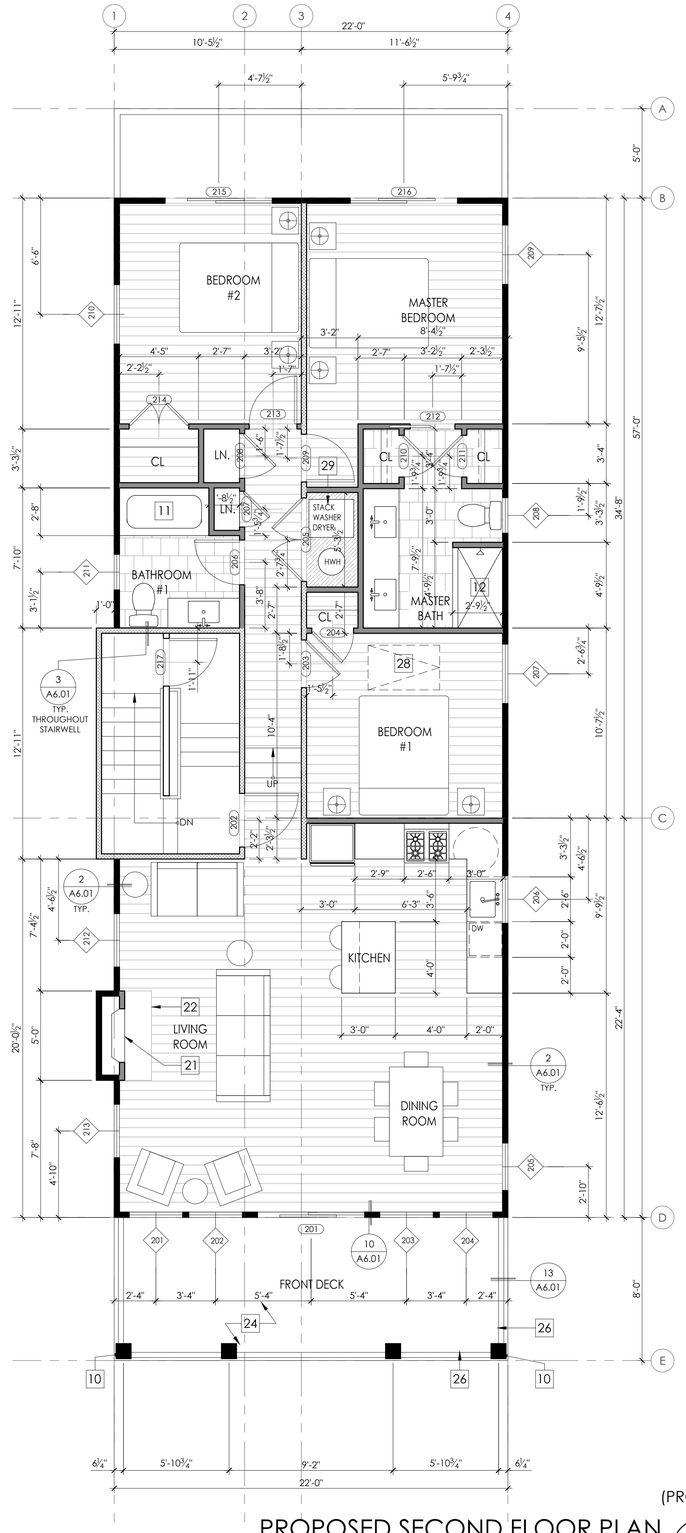
A1.01

Foundation & First Floor Plans



ROOF PLAN

scale: 1/4" - 1'-0"



PROPOSED SECOND FLOOR PLAN

scale: 1/4" - 1'-0"

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAME UNLESS NOTED OTHERWISE.

2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.

3. ALL EXTERIOR WINDOWS AND DOORS ARE TO BE INSTALLED WITH (2) 2X10 BUILT UP STRUCTURAL HEADER BEARING ON 3 1/2" X 3 1/2" DBL JACKS.

4. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (FJ).

5. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER.

6. REFER TO DETAIL SHEETS FOR SHEAR WALL AND NAILING DETAILS.

7. REFER TO CONSTRUCTION NOTES ON A0.01 FOR ADDITIONAL INFORMATION

5. SEE SHEETS A6.01 AND A6.02 FOR DETAILS

6. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS DETAILS

7. PILING TO BE CLASS B, 10" BUTT 8" HEAD MIN. W/ A CAPACITY OF 12 TONS THROUGHOUT.

8. ALL HEADERS ARE TO BE 2X10'S UNLESS OTHERWISE NOTED.

9. FIRST FLOOR REAR DECKS IS TO BE CONSTRUCTED W/ FIRE TREATED LUMBER AND TO BE FIRE SPRAYED.

WALL LEGEND

- 2X4 EXTERIOR LOAD BEARING WALL WITH 5/8" TYPE X DRYWALL ON THE INTERIOR
- 2X4 INTERIOR WALL
- 2X4 WALL WITH P.T. LUMBER

*insulation per Rescheck document

KEYNOTES

1. (N) SMOOTH TROWELED STUCCO FINISHED WALL AT GARAGE AND CRAWLSPACE. REFER TO EXTERIOR ELEVATIONS.
2. (N) 12"/4" VARYING WIDTH VERTICAL AZEK BOARD SCREENING UNDER DECK
3. (N) CONCRETE SLAB ON GRADE W/ VISQUIM MESH
4. (N) 4" THICK STRUCTURAL CONCRETE SLAB, TO BE POURED ON COMPACTED FILL W/ 6MM VISIQUIM
5. (N) GRAVEL
6. (N) A.C. CONDENSER UNIT W/ AZEK SURROUND; PLATFORM TO BE @ OR ABOVE D.F.E.
7. (N) HVAC UNIT
8. (N) OUTDOOR SHOWER ENCLOSURE WITH COMPOSITE DECKING FLOOR OVER GRAVEL WITH FRENCH DRAIN
9. (N) CRAWLSPACE ACCESS PANEL
10. (N) 6"X6" P.T. 1 HR FIRE TREATED STRUCTURAL POST W/ 10" VINYL WRAP CAPITAL AND BASE
11. (N) 5'-0" FIBERGLASS SHOWER/TUB INSERT
12. (N) TILED SHOWER WITH FIBERGLASS PAN AND GLASS DOOR/ENCLOSURE
13. FLOOD VENT: "SMART VENT" MODEL #1540-520, 8 $\frac{1}{2}$"X14 $\frac{1}{2}$", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (INSULATED GARAGE)
14. FLOOD VENT: "SMART VENT" MODEL #1540-510, 8 $\frac{1}{2}$"X14 $\frac{1}{2}$", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (DUAL FUNCTION / CRAWLSPACE)
15. (N) INTERIOR SCREEN VENT W/ 1 HOUR FIRE DAMPER
16. (N) HORIZONTAL VINYL SIDING, COLOR T.B.D.
17. (N) WATER RESISTANT GYP. BOARD BELOW D.F.E. (@ GARAGE AND CRAWL SPACE INTERIOR))
18. (N) BOARD AND BATTEN VINYL SIDING, COLOR T.B.D.
19. ASPHALT SHINGLE ROOF. COLOR T.B.D.
20. GUTTER/DOWNSPOUT, COLOR T.B.D.
21. DIRECT VENT GAS FIREPLACE
22. NON-COMBUSTIBLE FIREPLACE HEARTH
23. COMPOSITE DECKING SECURED TO DECK STRUCTURE, SLOPE AWAY FROM HOUSE @ 2% MIN. COLOR T.B.D.
24. (N) FIBERGLASS DECK COATING, SLOPE AWAY FROM HOUSE. (FRAMING TO BE TREATED/ DECKING TO BE FIRE SPRAYED)
25. (N) EXTERIOR STAIR TO HAVE 4X4 POSTS (WHERE REQUIRED) W/ 2X12 STRINGERS @ 12" O.C. AND 36" HIGH WHITE VINYL GUARD RAIL AND HAND RAIL
26. STAIR/DECK GUARDRAIL, 36" MIN. WHITE VINYL FINISH
27. EXTERIOR WALL SCONCE, REFER TO REFLECTED CEILING / POWER PLANS ON A2.01 + A2.02
28. PULL DOWN ATTIC STAIR/LADDER, CONTRACTOR TO COORDINATE WITH OPENING WITH FRAMING
29. FLOOR DRAIN
30. WHITE PVC CORBEL/BRACKET

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

[PROJECT]
1446 Asbury Avenue

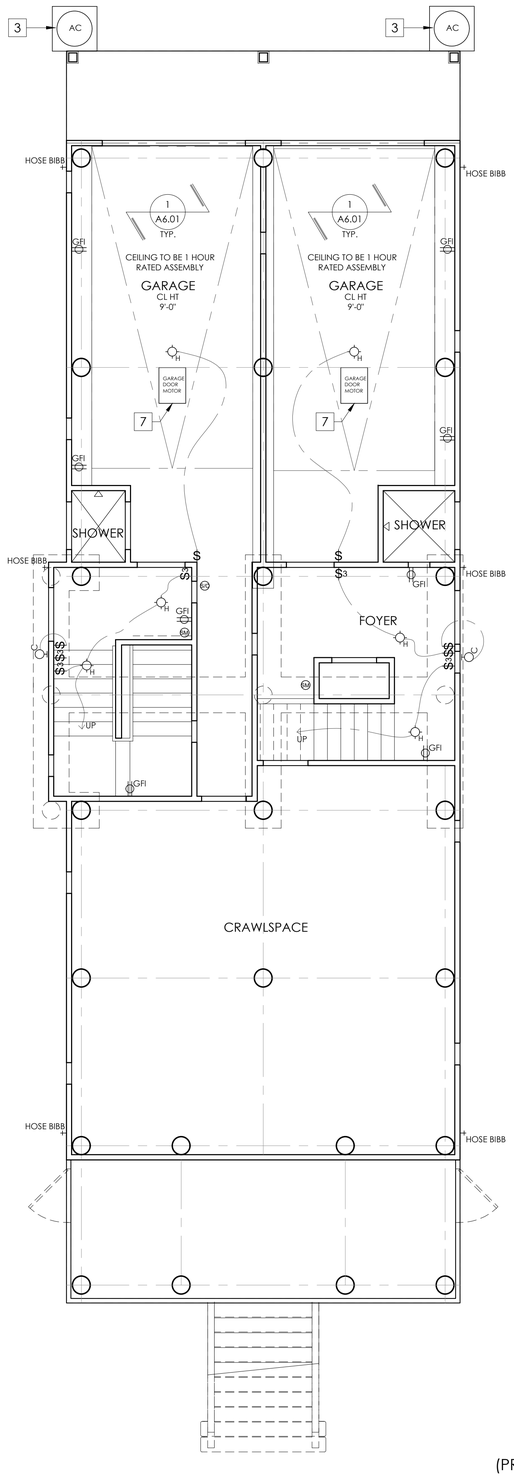
[PROJECT ADDRESS]
1446 Asbury Avenue
Ocean City, NJ
08226

[OWNER CONTACT]
Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

A1.02

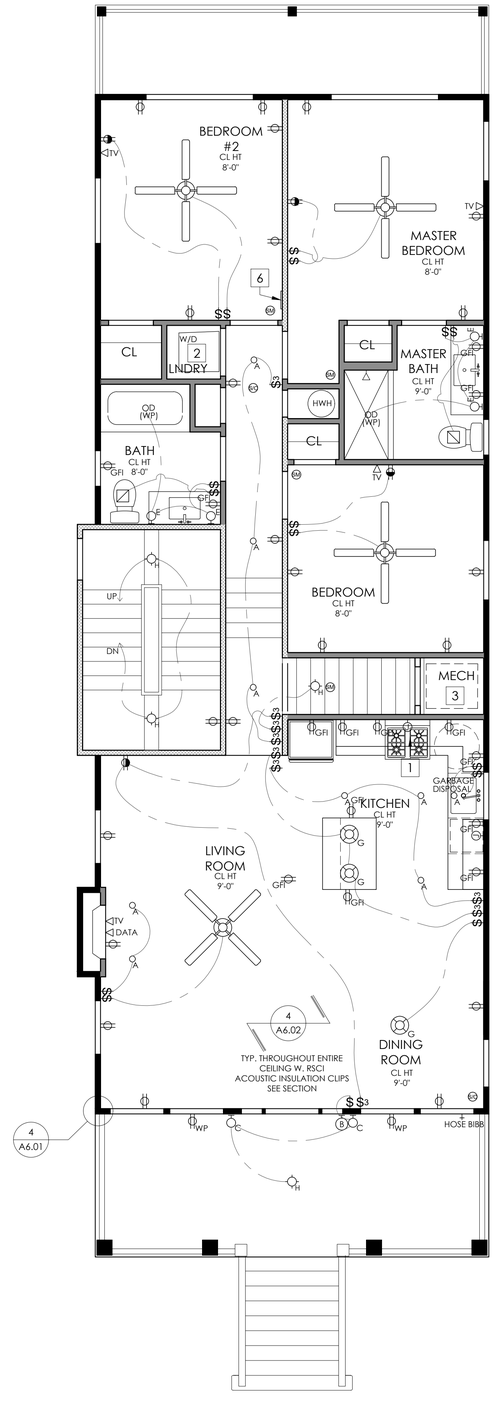
Second Floor
Plan & Roof Plan



GROUND FLOOR REFLECTED CEILING PLAN

scale: 1/4" - 1'-0"

(PROJECT) N (TRUE) N



FIRST FLOOR REFLECTED CEILING PLAN

scale: 1/4" - 1'-0"

(PROJECT) N (TRUE) N

GENERAL ELECTRICAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.

3. CONTRACTOR TO PROVIDE ALL NECESSARY OUTLETS PER CODE.

4. REFER TO TITLE SHEET FOR ALL ELECTRICAL NOTES

RCP KEYNOTES

1. (N) KITCHEN HOOD AND RANGE (PROVIDE GAS AND OR ELECTRICAL AS REQUIRED)
2. (N) ELECTRICAL SERVICE FOR WASHER/ DRYER TO BE CONNECTED TO INDIVIDUAL, PROPERLY GROUNDED BRANCH CIRCUIT WITH 120/240V OR 120/208V SINGLE PHASE 60 HZ ELECTRICAL SERVICE AND SHOULD BE PROTECTED BY 30 AMP TIME DELAY FUSES OR CIRCUIT BREAKERS KW RATING PER VOLTAGE (240/208.)
3. (N) ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT (AS REQUIRED)
4. (N) WALL SCONCE LOCATED ABOVE THE VANITY AND MIRROR CENTERED ON THE VANITY (FIXTURE TO BE SELECTED BY OWNER)
5. (N) ATTIC ACCESS
6. FLUSH MOUNTED ELECTRICAL PANEL
7. GARAGE DOOR MOTOR TO BE EQUIPPED WITH POWER

ELECTRICAL SYMBOL LEGEND

A	(N) "PROGRESS" 4" ZERO SIGHT LINE RECESSED DOWN LIGHT DIMMABLE
B	(N) "PROGRESS" EXTERIOR 4" ZERO SIGHT LINE RECESSED DOWN LIGHT
C	(N) EXTERIOR WALL MOUNTED SCONCE (TO BE SELECTED)
D WP	(N)WATERPROOF FIXTURE
E	(N) WALL MOUNTED SCONCE (TO BE SELECTED)
F	(N) FLORESCENT TUBE LIGHT WITH SHIELD LOCATED ON INTERIOR CLOSET WALL ABOVE THE DOOR
G	(N) CEILING HUNG PENDENT/ CHANDELIER TO BE SELECTED
H	(N) SURFACE MOUNTED CLNG. FIXTURE (TO BE SELECTED)
$	SINGLE POLE SWITCH
$3	THREE-WAY SWITCH
$D	SINGLE POLE DIMMER
$M	MANUAL ON MOTION SENSOR SWITCH
M	MOTION SENSOR - WET RATED, TO BE PROVIDED BY OWNER
T	THERMOSTAT
C	DOORBELL CHIMES
B	DOORBELL BUTTON
P	PUSH BUTTON GARAGE DOOR OPERATION SWITCH
	(N) EXHAUST FAN BY PANASONIC: GREEN WHISPER FAN (NO LIGHT)
S/C	(N) CEILING MOUNTED SMOKE AND CARBON MONOXIDE DETECTORS WITH BATTERY BACKUP
SM	(N) CEILING MOUNTED SMOKE DETECTORS WITH BATTERY BACKUP
DATA	(N) CAT5 DATA CABLE HOOKUP
TV	(N) TELEVISION CABLE HOOKUP
	(N) TELEPHONE OUTLET
	(N) 120 V DUPLEX OUTLET
GFI	(N) 120 V GROUND FAULT INTERRUPTER
AFCI	(N) 120 V ARC FAULT CIRCUT INTERRUPTER
	(N) 120 V DUPLEX OUTLET TOP HALF SWITCH
WP	(N) 120 V WEATHERPROOF DUPLEX OUTLET
	(N) CEILING FAN W/ INTEGRAL LIGHT (SPECIFICAITON TO BE SELECTED BY OWNER)

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

PROJECT

1446 Asbury Avenue

PROJECT ADDRESS

1446 Asbury Avenue
Ocean City, NJ
08226

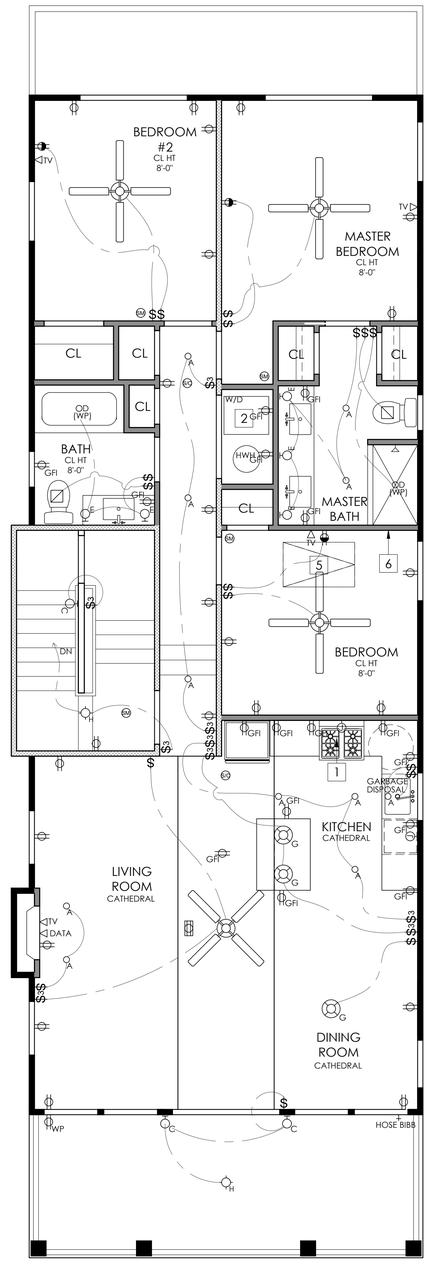
OWNER CONTACT

Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

A2.01

Foundation &
First Floor Reflected
Ceiling Plans



SECOND FLOOR REFLECTED CEILING PLAN

scale: 1/4" - 1'-0"

(PROJECT) N
(TRUE) N

GENERAL ELECTRICAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.

3. CONTRACTOR TO PROVIDE ALL NECESSARY OUTLETS PER CODE.

4. REFER TO TITLE SHEET FOR ALL ELECTRICAL NOTES

RCP KEYNOTES

1. (N) KITCHEN HOOD AND RANGE (PROVIDE GAS AND OR ELECTRICAL AS REQUIRED)
2. (N) ELECTRICAL SERVICE FOR WASHER/ DRYER TO BE CONNECTED TO INDIVIDUAL, PROPERLY GROUNDED BRANCH CIRCUIT WITH 120/240V OR 120/208V SINGLE PHASE 60 HZ ELECTRICAL SERVICE AND SHOULD BE PROTECTED BY 30 AMP TIME DELAY FUSES OR CIRCUIT BREAKERS KW RATING PER VOLTAGE (240/208.)
3. (N) ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT (AS REQUIRED)
4. (N) WALL SCONCE LOCATED ABOVE THE VANITY AND MIRROR CENTERED ON THE VANITY (FIXTURE TO BE SELECTED BY OWNER)
5. (N) ATTIC ACCESS
6. FLUSH MOUNTED ELECTRICAL PANEL
7. GARAGE DOOR MOTOR TO BE EQUIPPED WITH POWER

ELECTRICAL SYMBOL LEGEND

A	(N) "PROGRESS" 4" ZERO SIGHT LINE RECESSED DOWN LIGHT DIMMABLE
B	(N) "PROGRESS" EXTERIOR 4" ZERO SIGHT LINE RECESSED DOWN LIGHT
C	(N) EXTERIOR WALL MOUNTED SCONCE (TO BE SELECTED)
D WP	(N)WATERPROOF FIXTURE
E	(N) WALL MOUNTED SCONCE (TO BE SELECTED)
F	(N) FLORESCENT TUBE LIGHT WITH SHIELD LOCATED ON INTERIOR CLOSET WALL ABOVE THE DOOR
G	(N) CEILING HUNG PENDENT/ CHANDELIER TO BE SELECTED
H	(N) SURFACE MOUNTED CLNG. FIXTURE (TO BE SELECTED)
$	SINGLE POLE SWITCH
$3	THREE-WAY SWITCH
$D	SINGLE POLE DIMMER
$M	MANUAL ON MOTION SENSOR SWITCH
M	MOTION SENSOR - WET RATED, TO BE PROVIDED BY OWNER
T	THERMOSTAT
C	DOORBELL CHIMES
B	DOORBELL BUTTON
P	PUSH BUTTON GARAGE DOOR OPERATION SWITCH
	(N) EXHAUST FAN BY PANASONIC: GREEN WHISPER FAN (NO LIGHT)
S/C	(N) CEILING MOUNTED SMOKE AND CARBON MONOXIDE DETECTORS WITH BATTERY BACKUP
SM	(N) CEILING MOUNTED SMOKE DETECTORS WITH BATTERY BACKUP
DATA ▷	(N) CAT5 DATA CABLE HOOKUP
TV ▷	(N) TELEVISION CABLE HOOKUP
◀	(N) TELEPHONE OUTLET
	(N) 120 V DUPLEX OUTLET
GFI	(N) 120 V GROUND FAULT INTERRUPTER
AFCI	(N) 120 V ARC FAULT CIRCUT INTERRUPTER
	(N) 120 V DUPLEX OUTLET TOP HALF SWITCH
WP	(N) 120 V WEATHERPROOF DUPLEX OUTLET
	(N) CEILING FAN W/ INTEGRAL LIGHT (SPECIFICAITON TO BE SELECTED BY OWNER)

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

[PROJECT]
1446 Asbury Avenue

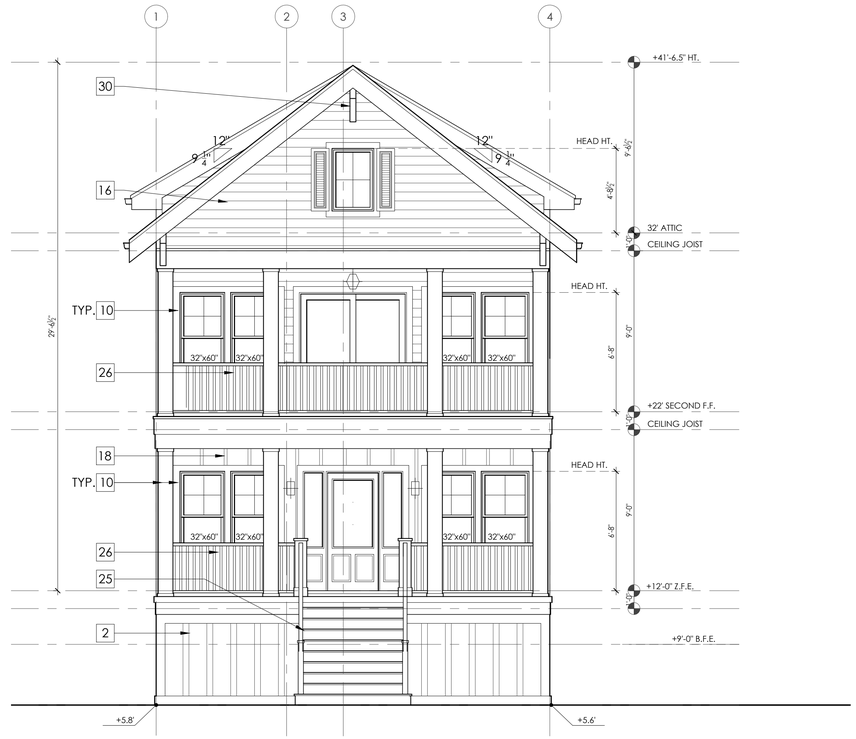
[PROJECT ADDRESS]
1446 Asbury Avenue
Ocean City, NJ
08226

[OWNER CONTACT]
Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

A2.02

Second Floor &
Roof Reflected
Ceiling Plan



ASBURY AVENUE (FRONT) ELEVATION 2

scale: 1/4" - 1'-0"

SIDE ELEVATION 1

scale: 1/4" - 1'-0"

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAME UNLESS NOTED OTHERWISE.

2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.

3. ALL EXTERIOR WINDOWS AND DOORS ARE TO BE INSTALLED WITH (2) 2X10 BUILT UP STRUCTURAL HEADER BEARING ON 3 1/2" X 3 1/2" DBL JACKS.

4. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (F.J).

5. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER.

6. REFER TO DETAIL SHEETS FOR SHEAR WALL AND NAILING DETAILS.

7. REFER TO CONSTRUCTION NOTES ON A0.01 FOR ADDITIONAL INFORMATION

5. SEE SHEETS A6.01 AND A6.02 FOR DETAILS

6. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS DETAILS

7. PILING TO BE CLASS B, 10" BUTT 8" HEAD MIN. W/ A CAPACITY OF 12 TONS THROUGHOUT.

8. ALL HEADERS ARE TO BE 2X10'S UNLESS OTHERWISE NOTED.

9. FIRST FLOOR REAR DECKS IS TO BE CONSTRUCTED W/ FIRE TREATED LUMBER AND TO BE FIRE SPRAYED.

WALL LEGEND

- 2X4 EXTERIOR LOAD BEARING WALL WITH 5/8" TYPE X DRYWALL ON THE INTERIOR
- 2X4 INTERIOR WALL
- 2X4 WALL WITH P.T. LUMBER

*insulation per Rescheck document

KEYNOTES

1	(N) SMOOTH TROWELED STUCCO FINISHED WALL AT GARAGE AND CRAWLSPACE. REFER TO EXTERIOR ELEVATIONS.
2	(N) 12"/4" VARYING WIDTH VERTICAL AZEK BOARD SCREENING UNDER DECK
3	(N) CONCRETE SLAB ON GRADE W/ VISQUIM MESH
4	(N) 4" THICK STRUCTURAL CONCRETE SLAB, TO BE POURED ON COMPACTED FILL W/ 6MM VISIQUIM
5	(N) GRAVEL
6	(N) A.C. CONDENSER UNIT W/ AZEK SURROUND; PLATFORM TO BE @ OR ABOVE D.F.E.
7	(N) HVAC UNIT
8	(N) OUTDOOR SHOWER ENCLOSURE WITH COMPOSITE DECKING FLOOR OVER GRAVEL WITH FRENCH DRAIN
9	(N) CRAWLSPACE ACCESS PANEL
10	(N) 6"X6" P.T. 1 HR FIRE TREATED STRUCTURAL POST W/ 10" VINYL WRAP CAPITAL AND BASE
11	(N) 5'-0" FIBERGLASS SHOWER/TUB INSERT
12	(N) TILED SHOWER WITH FIBERGLASS PAN AND GLASS DOOR/ENCLOSURE
13	FLOOD VENT: "SMART VENT" MODEL #1540-520, 8 1/2"X14 1/2", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (INSULATED GARAGE)
14	FLOOD VENT: "SMART VENT" MODEL #1540-510, 8 1/2"X14 1/2", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (DUAL FUNCTION / CRAWLSPACE)
15	(N) INTERIOR SCREEN VENT W/ 1 HOUR FIRE DAMPER
16	(N) HORIZONTAL VINYL SIDING, COLOR T.B.D.
17	(N) WATER RESISTANT GYP. BOARD BELOW D.F.E. (@ GARAGE AND CRAWL SPACE INTERIOR))
18	(N) BOARD AND BATTEN VINYL SIDING, COLOR T.B.D.
19	ASPHALT SHINGLE ROOF. COLOR T.B.D.
20	GUTTER/DOWNSPOUT, COLOR T.B.D.
21	DIRECT VENT GAS FIREPLACE
22	NON-COMBUSTIBLE FIREPLACE HEARTH
23	COMPOSITE DECKING SECURED TO DECK STRUCTURE, SLOPE AWAY FROM HOUSE @ 2% MIN, COLOR T.B.D.
24	(N) FIBERGLASS DECK COATING, SLOPE AWAY FROM HOUSE. (FRAMING TO BE TREATED/ DECKING TO BE FIRE SPRAYED)
25	(N) EXTERIOR STAIR TO HAVE 4X4 POSTS (WHERE REQUIRED) W/ 2X12 STRINGERS @ 12" O.C. AND 36" HIGH WHITE VINYL GUARD RAIL AND HAND RAIL
26	STAIR/DECK GUARDRAIL, 36" MIN. WHITE VINYL FINISH
27	EXTERIOR WALL SCONCE, REFER TO REFLECTED CEILING / POWER PLANS ON A2.01 + A2.02
28	PULL DOWN ATTIC STAIR/LADDER, CONTRACTOR TO COORDINATE WITH OPENING WITH FRAMING
29	FLOOR DRAIN
30	WHITE PVC CORBEL/BRACKET

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

| PROJECT |

1446 Asbury Avenue

| PROJECT ADDRESS |

1446 Asbury Avenue
Ocean City, NJ
08226

| OWNER CONTACT |

Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

A3.01

Elevations

ROOF DECK AREA SHALL NOT EXCEED 20% OF THE HORIZONTAL ROOF AREA WITHIN WHICH IT IS LOCATED, OR TWO HUNDRED SQUARE FEET (200) WHICHEVER IS LESS. SEE ROOF PLAN A1.02 FOR CALCULATION.

NO OTHER STRUCTURE OR ACCESSORY IS PERMITTED ABOVE A ROOF DECK INCLUDING WITHOUT LIMITATION, AWNINGS ANCHORED OR OTHERWISE, CANOPIES, PERGOLAS OR OTHER STRUCTURES PERMANENT OR TEMPORARY.

ALLEY ELEVATION 2

scale: 1/4" - 1'-0"

SIDE ELEVATION 1

scale: 1/4" - 1'-0"

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAME UNLESS NOTED OTHERWISE.

2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.

3. ALL EXTERIOR WINDOWS AND DOORS ARE TO BE INSTALLED WITH (2) 2X10 BUILT UP STRUCTURAL HEADER BEARING ON 3 1/2" X 3 1/2" DBL JACKS.

4. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (FJ).

5. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER.

6. REFER TO DETAIL SHEETS FOR SHEAR WALL AND NAILING DETAILS.

7. REFER TO CONSTRUCTION NOTES ON A0.01 FOR ADDITIONAL INFORMATION

5. SEE SHEETS A6.01 AND A6.02 FOR DETAILS

6. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS DETAILS

7. PILING TO BE CLASS B, 10" BUTT 8" HEAD MIN. W/ A CAPACITY OF 12 TONS THROUGHOUT.

8. ALL HEADERS ARE TO BE 2X10'S UNLESS OTHERWISE NOTED.

9. FIRST FLOOR REAR DECKS IS TO BE CONSTRUCTED W/ FIRE TREATED LUMBER AND TO BE FIRE SPRAYED.

WALL LEGEND

- 2X4 EXTERIOR LOAD BEARING WALL WITH 5/8" TYPE X DRYWALL ON THE INTERIOR
- 2X4 INTERIOR WALL
- 2X4 WALL WITH P.T. LUMBER

*insulation per Rescheck document

KEYNOTES

1. (N) SMOOTH TROWELED STUCCO FINISHED WALL AT GARAGE AND CRAWLSPACE. REFER TO EXTERIOR ELEVATIONS.
2. (N) 12"/4" VARYING WIDTH VERTICAL AZEK BOARD SCREENING UNDER DECK
3. (N) CONCRETE SLAB ON GRADE W/ VISQUIM MESH
4. (N) 4" THICK STRUCTURAL CONCRETE SLAB, TO BE POURED ON COMPACTED FILL W/ 6MM VISIQUIM
5. (N) GRAVEL
6. (N) A.C. CONDENSER UNIT W/ AZEK SURROUND; PLATFORM TO BE @ OR ABOVE D.F.E.
7. (N) HVAC UNIT
8. (N) OUTDOOR SHOWER ENCLOSURE WITH COMPOSITE DECKING FLOOR OVER GRAVEL WITH FRENCH DRAIN
9. (N) CRAWLSPACE ACCESS PANEL
10. (N) 6"X6" P.T. 1 HR FIRE TREATED STRUCTURAL POST W/ 10" VINYL WRAP CAPITAL AND BASE
11. (N) 5'-0" FIBERGLASS SHOWER/TUB INSERT
12. (N) TILED SHOWER WITH FIBERGLASS PAN AND GLASS DOOR/ENCLOSURE
13. FLOOD VENT: "SMART VENT" MODEL #1540-520, 8 1/2"X14 1/2", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (INSULATED GARAGE)
14. FLOOD VENT: "SMART VENT" MODEL #1540-510, 8 1/2"X14 1/2", PROVIDING COVERAGE FOR 200 SQUARE FEET EA. (DUAL FUNCTION / CRAWLSPACE)
15. (N) INTERIOR SCREEN VENT W/ 1 HOUR FIRE DAMPER
16. (N) HORIZONTAL VINYL SIDING, COLOR T.B.D.
17. (N) WATER RESISTANT GYP. BOARD BELOW D.F.E. (@ GARAGE AND CRAWL SPACE INTERIOR))
18. (N) BOARD AND BATTEN VINYL SIDING, COLOR T.B.D.
19. ASPHALT SHINGLE ROOF. COLOR T.B.D.
20. GUTTER/DOWNSPOUT, COLOR T.B.D.
21. DIRECT VENT GAS FIREPLACE
22. NON-COMBUSTIBLE FIREPLACE HEARTH
23. COMPOSITE DECKING SECURED TO DECK STRUCTURE. SLOPE AWAY FROM HOUSE @ 2% MIN, COLOR T.B.D.
24. (N) FIBERGLASS DECK COATING, SLOPE AWAY FROM HOUSE. (FRAMING TO BE TREATED/ DECKING TO BE FIRE SPRAYED)
25. (N) EXTERIOR STAIR TO HAVE 4X4 POSTS (WHERE REQUIRED) W/ 2X12 STRINGERS @ 12" O.C. AND 36" HIGH WHITE VINYL GUARD RAIL AND HAND RAIL
26. STAIR/DECK GUARDRAIL, 36" MIN. WHITE VINYL FINISH
27. EXTERIOR WALL SCONCE, REFER TO REFLECTED CEILING / POWER PLANS ON A2.01 + A2.02
28. PULL DOWN ATTIC STAIR/LADDER, CONTRACTOR TO COORDINATE WITH OPENING WITH FRAMING
29. FLOOR DRAIN
30. WHITE PVC CORBEL/BRACKET

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21A101936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

|PROJECT|
1446 Asbury Avenue

|PROJECT ADDRESS|
1446 Asbury Avenue
Ocean City, NJ
08226

|OWNER CONTACT|
Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

A3.02

Elevations

NOTES

1. ALL EXTERIOR WINDOWS AND DOORS ARE TO BE INSTALLED WITH (2) 2X10 BUILT UP STRUCTURAL HEADER BEARING ON 3 1/2" X 3 1/2" DBL JACKS.

2. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (FJ).

3. HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER (RR).

4. **HANDRAILS AND GUARDRAILS**
ALL HANDRAILS AND GUARDRAILS SHALL BE CAPABLE OF RESISTING A CONCENTRATED LOAD OF 200 LBS APPLIED TO ANY POINT AND IN ANY DIRECTION. HANDRAILS AND GUARD RAILS IN USE SHALL ALSO BE CAPABLE OF RESISTING A UNIFORM LOAD OF 50 LB/FT APPLIED IN ANY DIRECTION. THE CONCENTRATION AND UNIFORM LOADING CONDITIONS SHALL NOT BE APPLIED SIMULTANEOUSLY. THE INFILL AREA (GUARDS) SHALL BE CAPABLE OF RESISTING A CONCENTRATED LOAD OF 200 LBS APPLIED AT ANY POINT AND IN ANY DIRECTION ALONG TO RAILING MEMBER.
STAIRWAY HANDRAILS SHALL HAVE A CROSS SECTION OF NO LESS THAN 1 1/4" AND NOT GREATER THAN 2". ANY OTHER SHAPE IS PERMITTED WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT GREATER THAN 6 1/4" WITH THE CROSS-SECTIONAL DIMENSION NOT EXCEEDING 2 1/4". OPEN SIDE STAIRWAYS PROVIDED WITH GUARDRAILS WHICH ARE INTENDED TO SERVE DOUBLE DUTY AS HANDRAILS MUST MEET THE DIMENSIONAL AND STRENGTH REQUIREMENTS FOR BOTH. IF THE GUARDRAIL DESIGN PRECLUDES IUTS ACCEPTABILITY AS A HANDRAIL, THEN A SEPARATE HANDRAIL MUSH BE INSTALLED FOR THIS PURPOSE.

5. **DESIGN LOAD DATA (MINIMUM PER NJ 2018 IRC)**

FLOORS: 50 PSF LL
DECKS: 60 PSF LL
ROOF: 15 PSF LL
SNOW LOAD: 20 PSF LL
WIND SPEED: 130 MPH
WIND LOAD: 35 PSF LL (WIND EXPOSURE: 130 MPH)

6. ALL LUMBER LOCATED BELOW THE BASE FLOOD ELEVATION SHALL BE PRESSURE TREATED. ALL SHEATHING BELOW THE BFE SHALL BE WATER RESISTANT PLYWOOD. ALL INTERIOR SHEATHING BELOW B.F.E. SHALL BE WATER RESISTANT FIBER CEMENT BOARDS. ALL INSULATION BELOW B.F.E. SHALL BE CLOSED CELL WATER RESISTANT/ MOLD RESISTANT INSULATION.

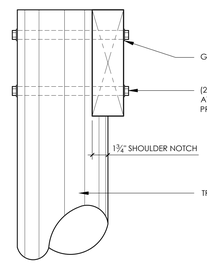
7. PER THE RES CHECK DOCUMENT ALL WALLS ARE TO BE EQUIPPED WITH R-15 INSULATION.
FLOORS FLOORS R-30 INSULATION.
ROOF RAFTERS ARE TO BE EQUIPPED WITH R-38 INSULATION.

8. ALL FLOOR JOIST TO BE EQUIPPED WITH CROSS METAL BRACING AT SPANS LARGER THAN 5'-0", CENTERED.

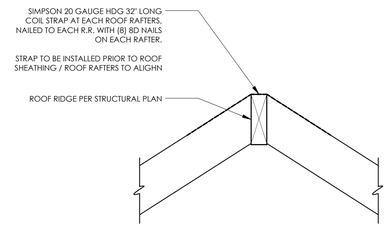
9. STAIR WELLS ARE TO BE EQUIPPED WITH 1 HOUR FIRE RATED WALLS (TYPICAL)

10. APPLIANCES AND GAS FIREPLACES ARE TO BE INSTALLED TO MEET MANUFACTURERS AND CODE REQUIREMENTS (WHICHEVER IS MORE STRINGENT).

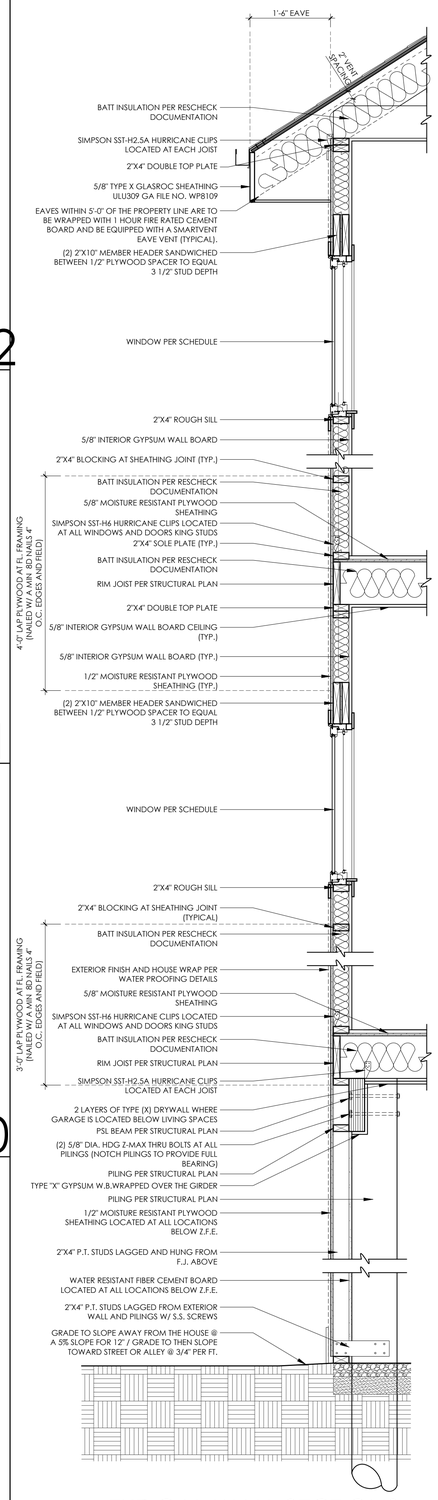
11. ALL STRUCTURAL HANGERS AND STRAPS ARE TO BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS WITH THE RECOMMENDED GALVANIZED OR STAINLESS STEEL FASTENERS.

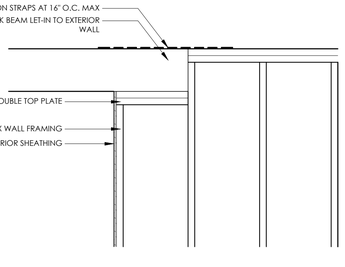


PILE BEAM DETAIL 12
scale: 1 1/2" - 1'-0"



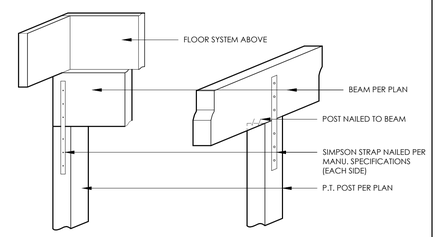
RIDGE STRUCTURAL DETAIL 11
scale: 3/4" - 1'-0"



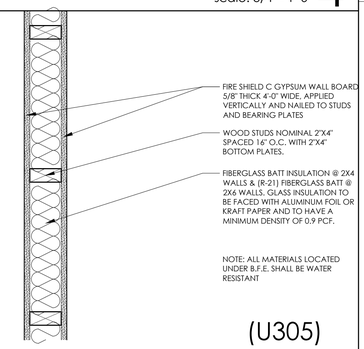


GRADE BEAM POST DETAIL 7
scale: 1" - 1'-0"

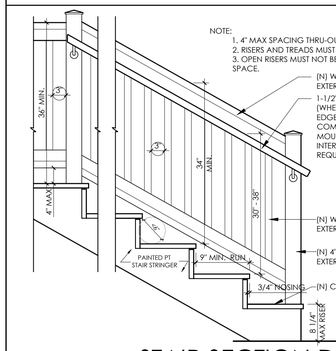
BEAM LET-IN DETAIL 4
scale: 3/4" - 1'-0"



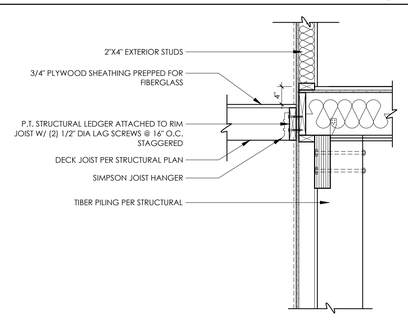
DROP BEAM CONNECTION 6
scale: 3/4" - 1'-0"



(U305)
1 HR. INTERIOR WALL ASSEMBLY 3
scale: 1 1/2" - 1'-0"

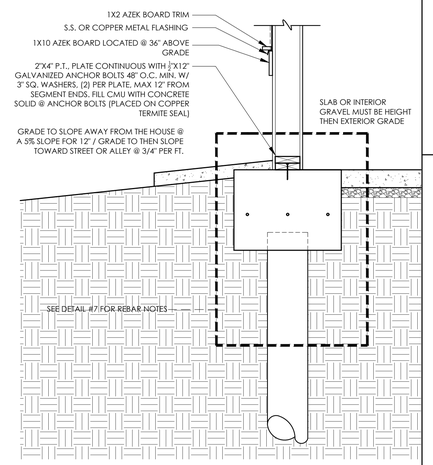


STAIR SECTION DETAIL 14
scale: 3/4" - 1'-0"

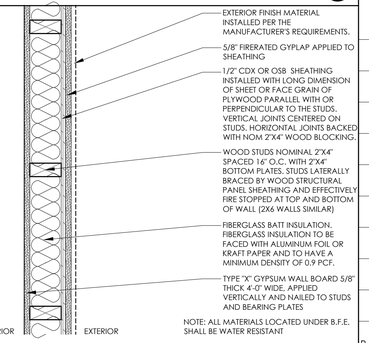


DECK CONNECTION DETAIL 10
scale: 3/4" - 1'-0"

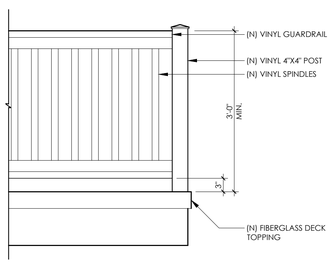
TYPICAL WALL SECTIONS 8
scale: 3/4" - 1'-0"



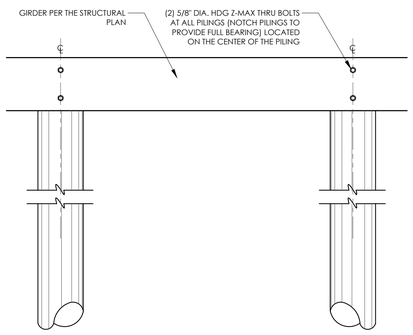
TYPICAL PILE GRADE BEAM 5
scale: 3/4" - 1'-0"



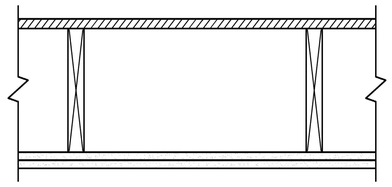
1 HR. EXTERIOR WALL ASSEMBLY 2
scale: 1 1/2" - 1'-0"



GUARDRAIL @ DECK 13
scale: 3/4" - 1'-0"



PILE & BEAM DETAIL 9
scale: 3/4" - 1'-0"



FC 5406 (1 HOUR): Base Layer 5/8"(15.9 mm) Fire-Shield Gypsum Board applied at right angles to 2x10 wood joists 24"o.c. with 1-1/4" Type W or S drywall screws 24"oc. Face layer 5/8" Fire-Shield Gypsum Board applied at right angles to joists with 1-7/8" Typwe W or S drywall Screws 12"o.c. at joints and intermediate joists and 1-1/2" Type G screew 12" o .c placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" wood structural panels applied at right angle to joists with 8d nails. Ceiling provides one hour fire resistance protection for joists.

1 HR. CEILING ASSEMBLY 1
scale: NTS

Halliday Architects
email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

|PROJECT|
1446 Asbury Avenue

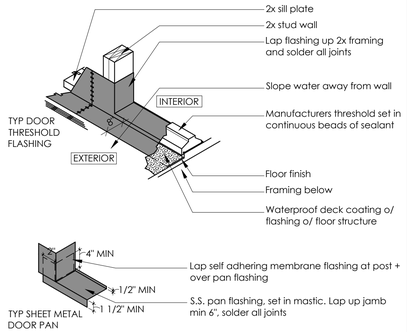
|PROJECT ADDRESS|
1446 Asbury Avenue
Ocean City, NJ
08226

|OWNER CONTACT|
Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

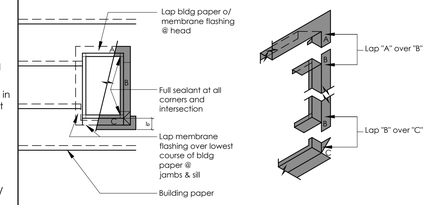
A6.01

Details



THRESHOLD FLASHING + SILL PAN 3

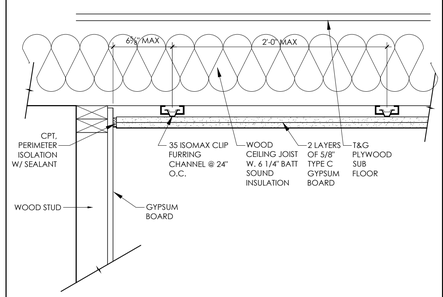
scale: NTS



General Note:
"membrane flashing" refers to self adhesive laminated bituminous waterproof membrane.

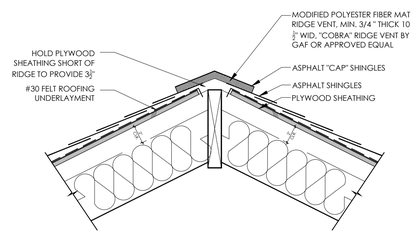
TYP. MEMBRANE FLASHING @ OPENINGS 2

SCALE: NTS



ACOUSTIC CEILING DETAIL 5

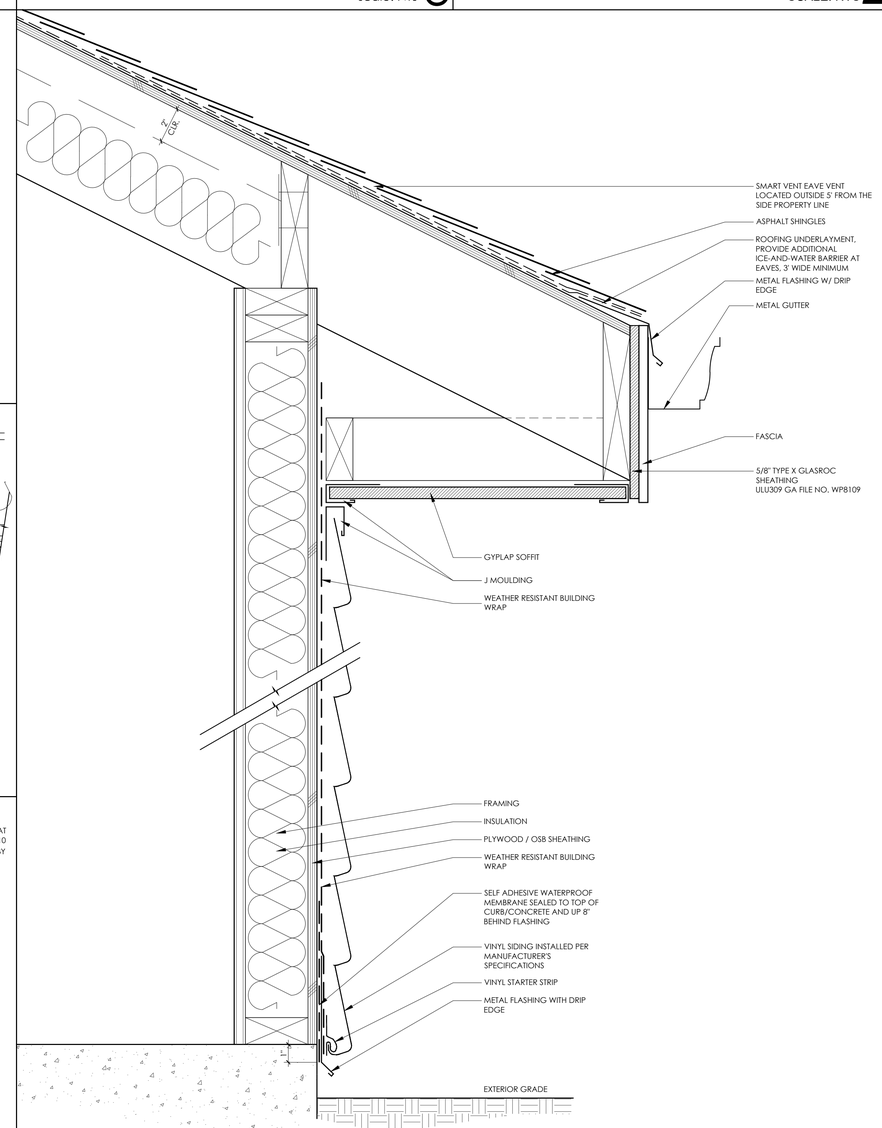
scale: 1 1/2" - 1'-0" (UL L583)



INSTALL RIDGE VENT AND MAT PER THE MANUFACTURERS REQUIREMENTS THE ENTIRE LENGTH OF THE RIDGE. WHERE LENGTH EXCEEDS THE LENGTH OF THE RIDGE CAULK THE BUTT ENDS GENEROUSLY AS REQUIRED

RIDGE VENT DETAIL 4

scale: 1 1/2" - 1'-0"



SECTION: VINYL SIDING AND EAVE SOFFIT 1

scale: 3" - 1'-0"

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

|PROJECT|
1446 Asbury Avenue

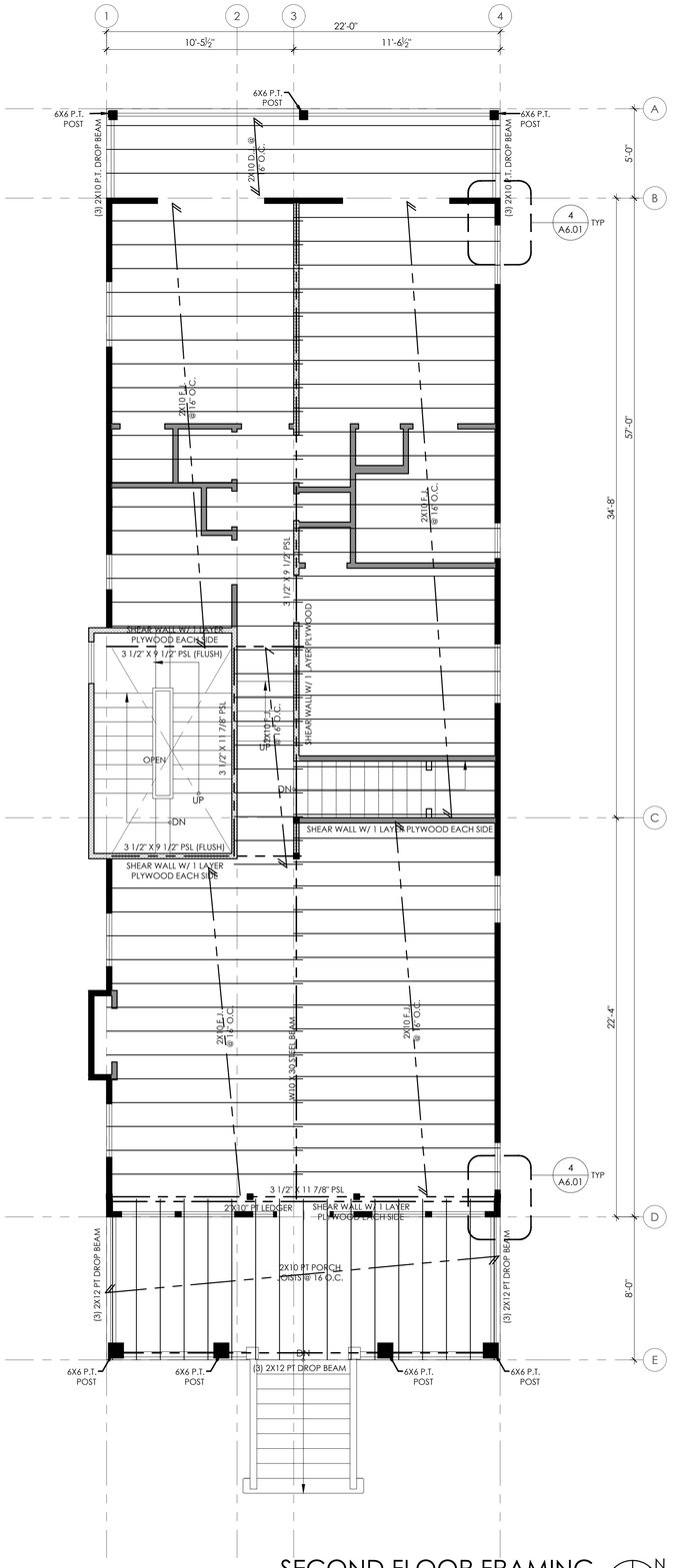
|PROJECT ADDRESS|
1446 Asbury Avenue
Ocean City, NJ
08226

|OWNER CONTACT|
Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

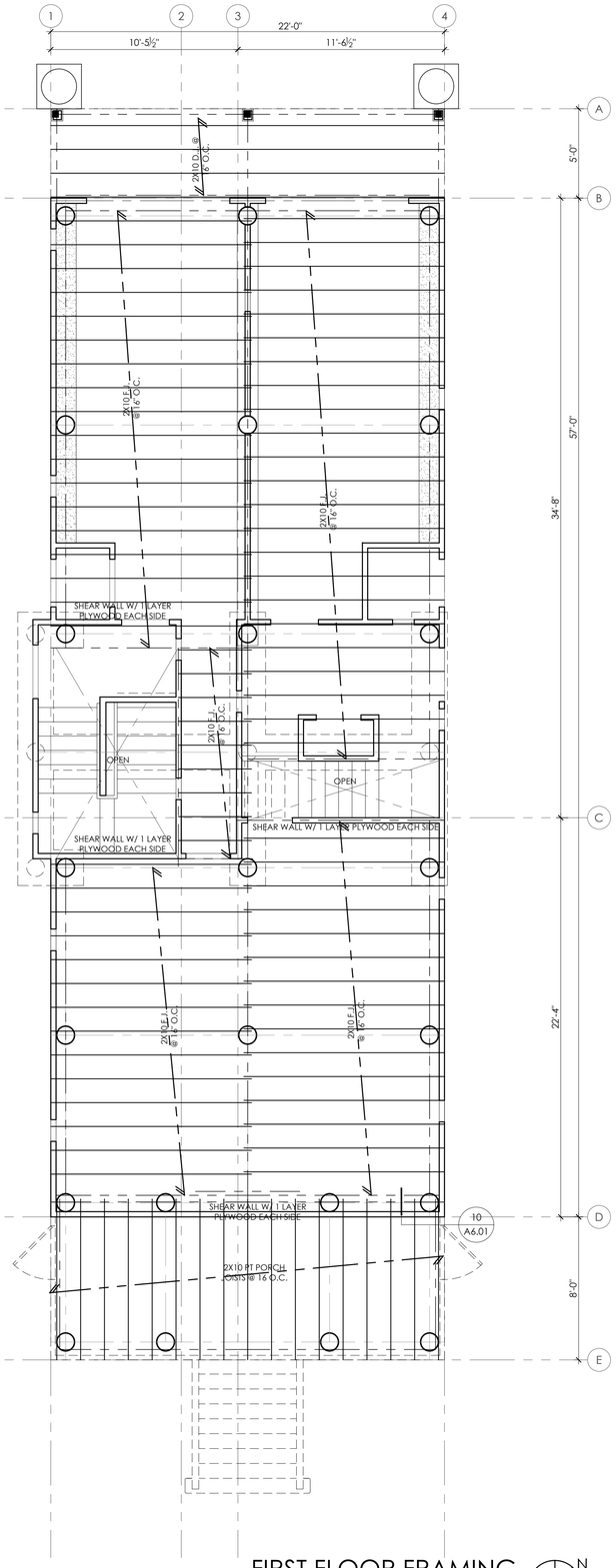
A6.02

Details



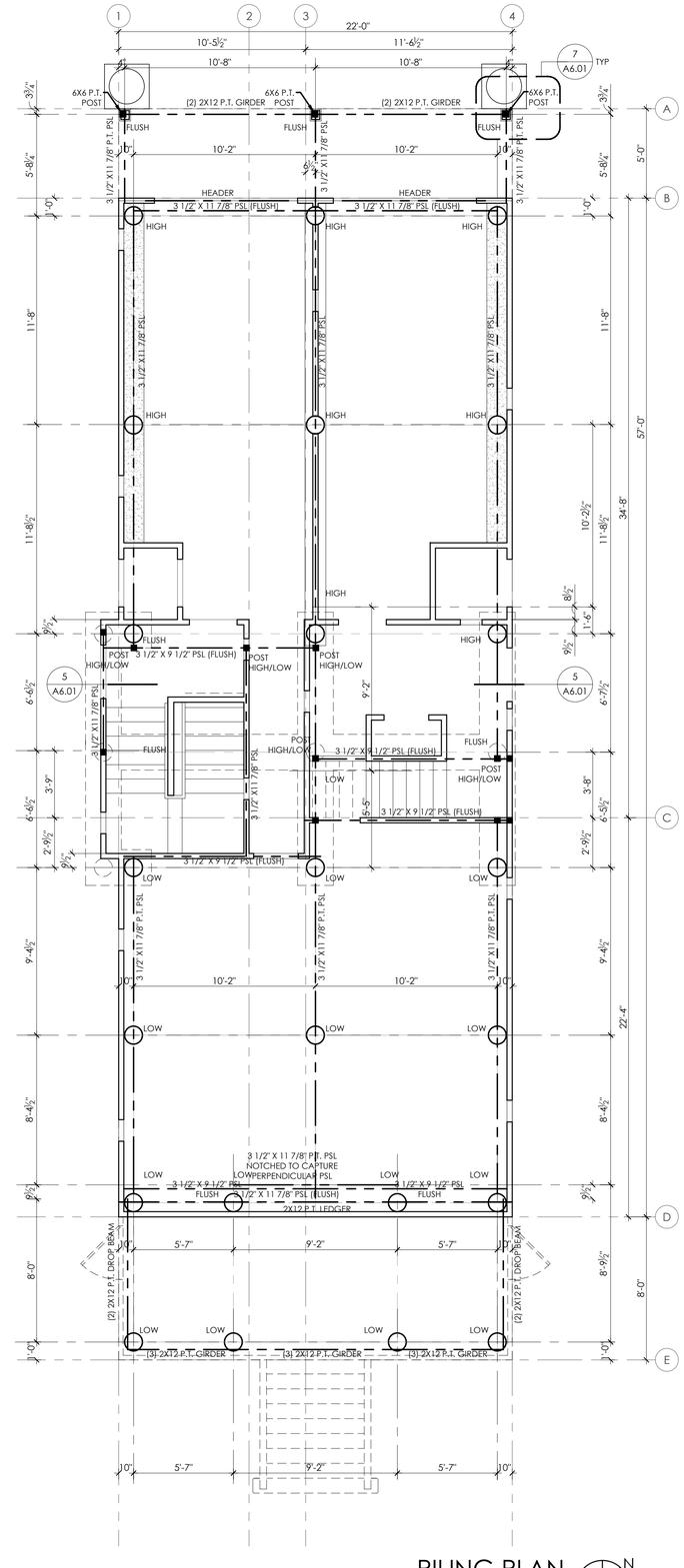
SECOND FLOOR FRAMING

scale: 1/4" - 1'-0"



FIRST FLOOR FRAMING

scale: 1/4" - 1'-0"



PILING PLAN

scale: 1/4" - 1'-0"

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

| PROJECT |

1446 Asbury Avenue

| PROJECT ADDRESS |

1446 Asbury Avenue
Ocean City, NJ
08226

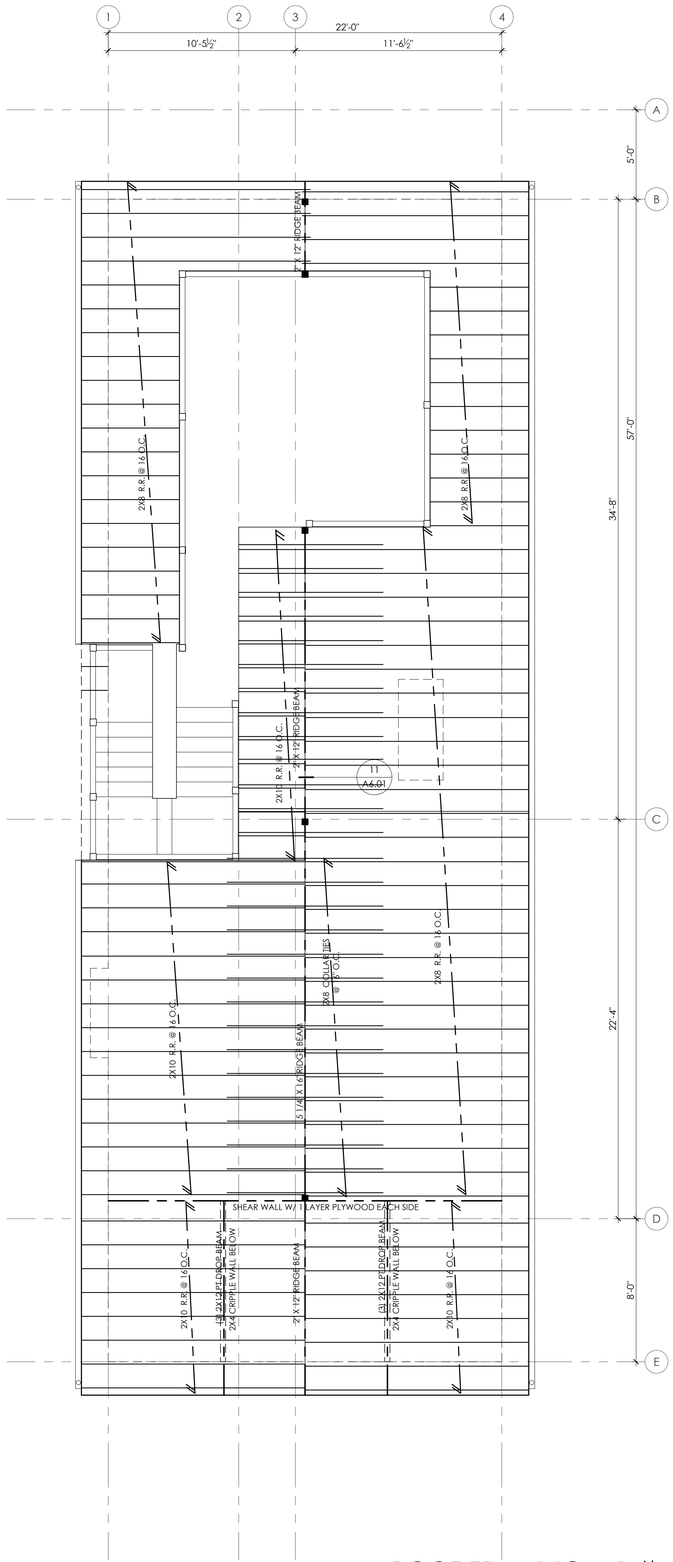
| OWNER CONTACT |

Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

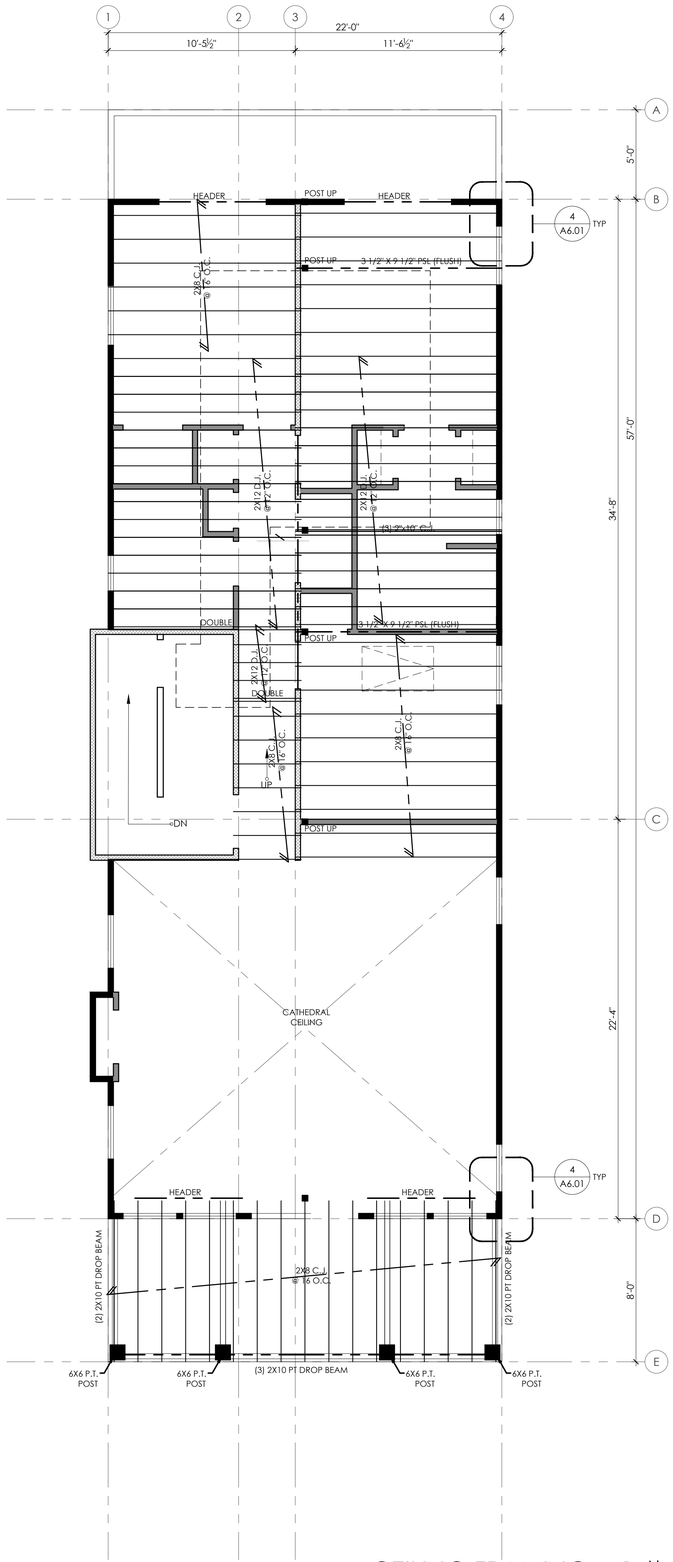
S.01

Framing Plans



ROOF FRAMING

scale: 1/4" - 1'-0"



CEILING FRAMING

scale: 1/4" - 1'-0"

Halliday Architects

email: chris@hallidayarchitects.com
Tel: 609.957.6789

All of the drawings and documents within these sheets are under the ownership of Halliday Architects and are for the sole use of the construction of the pertaining project. They are not to be traced,copied, scanned, reprinted, reproduced, or otherwise used without the expressed and written consent of Halliday Architects.

PROJECT TEAM:

SIGNATURE LI#21AI01936000

PROJECT INFORMATION:2068

DATE:09.03.2020 DRAWN BY: CMH

| PROJECT |

1446 Asbury Avenue

| PROJECT ADDRESS |

1446 Asbury Avenue
Ocean City, NJ
08226

| OWNER CONTACT |

Alley Oop LLC
Tel: 609.335.1544

SHEET NUMBER AND NAME:

S.02

Framing Plans