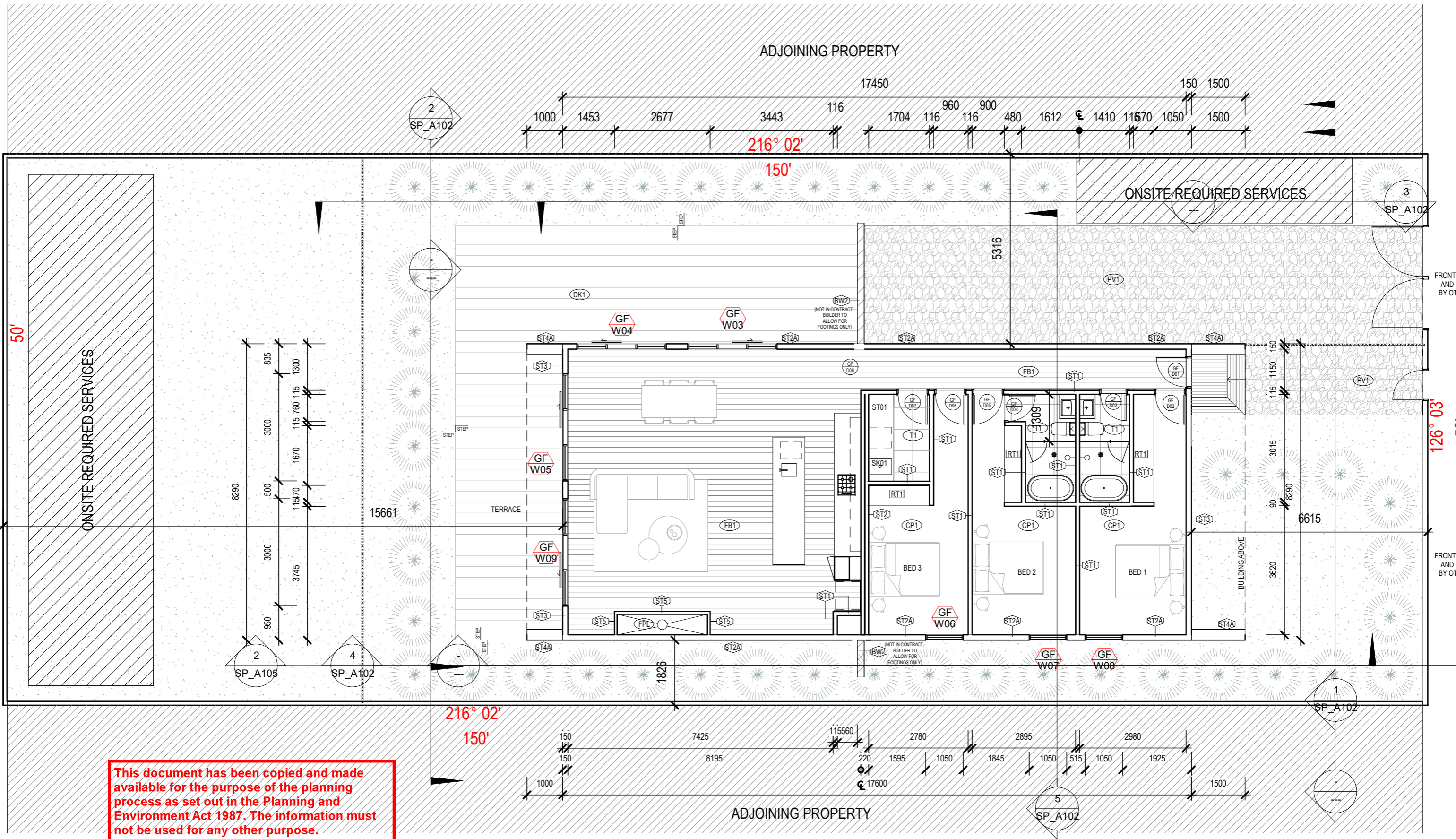


126° 03' 50"



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TOWN PLANNING ISSUE

No.	Description	Date

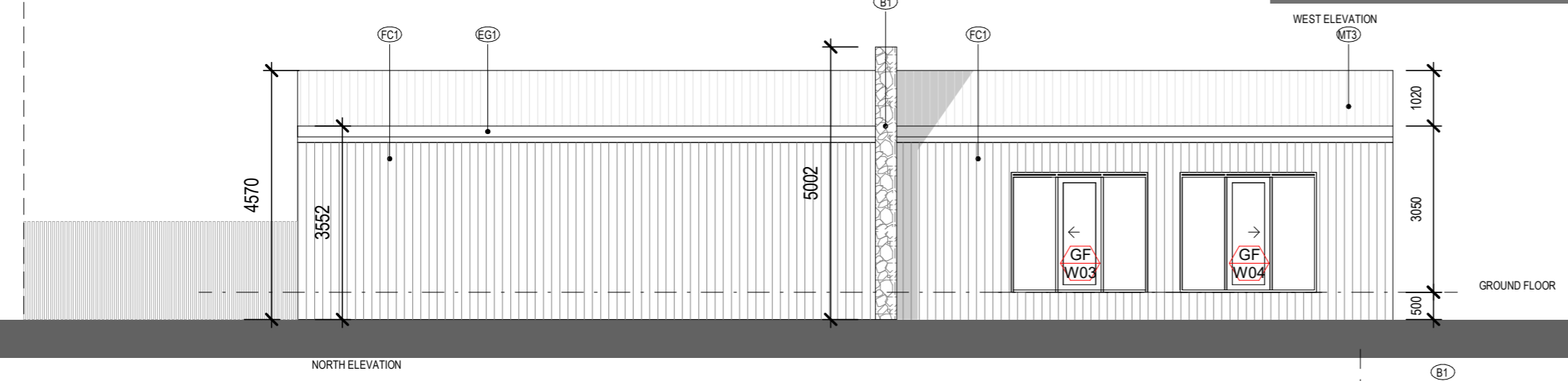
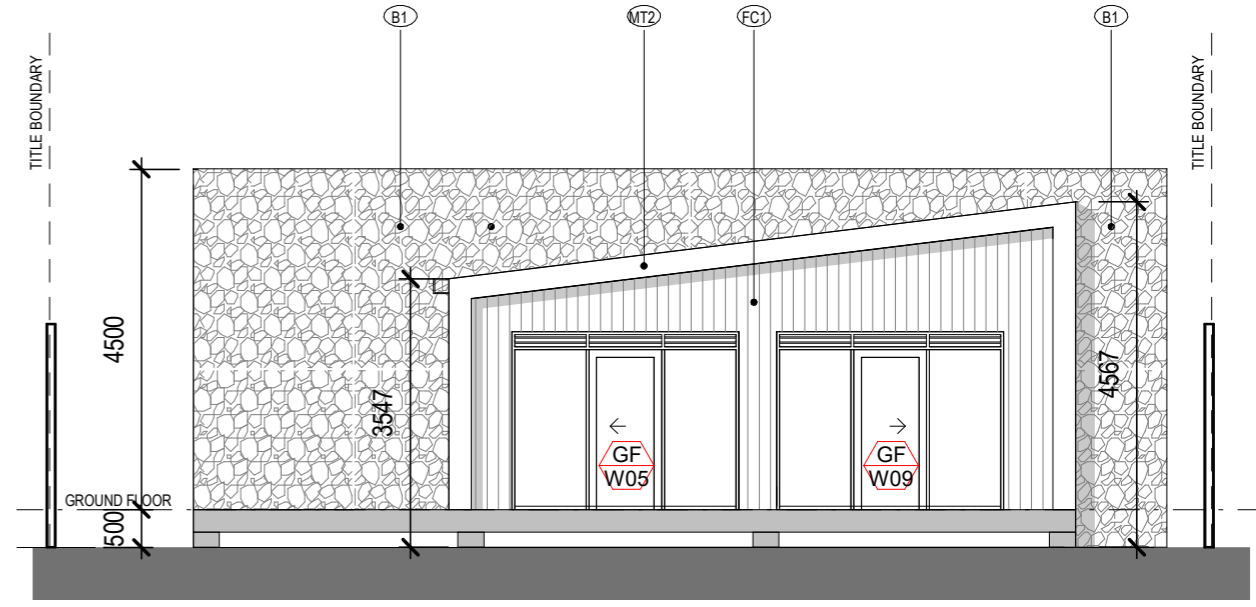
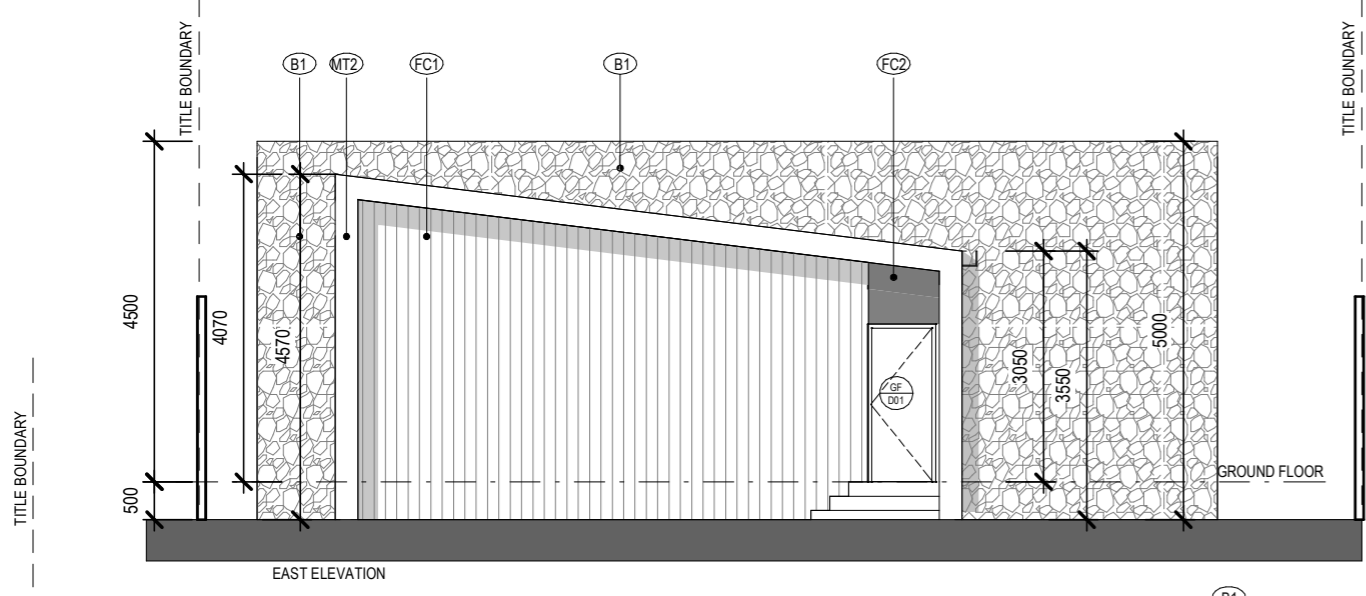
Project 7 SPINDRIFT AVENUE - GOLDEN BEACH
 Drawing Title FLOOR PLAN

Drawing Issue	Project number
Scale (A3) 1 : 100	Drawing Number SP_A101
Date OCT 2020	Rev A

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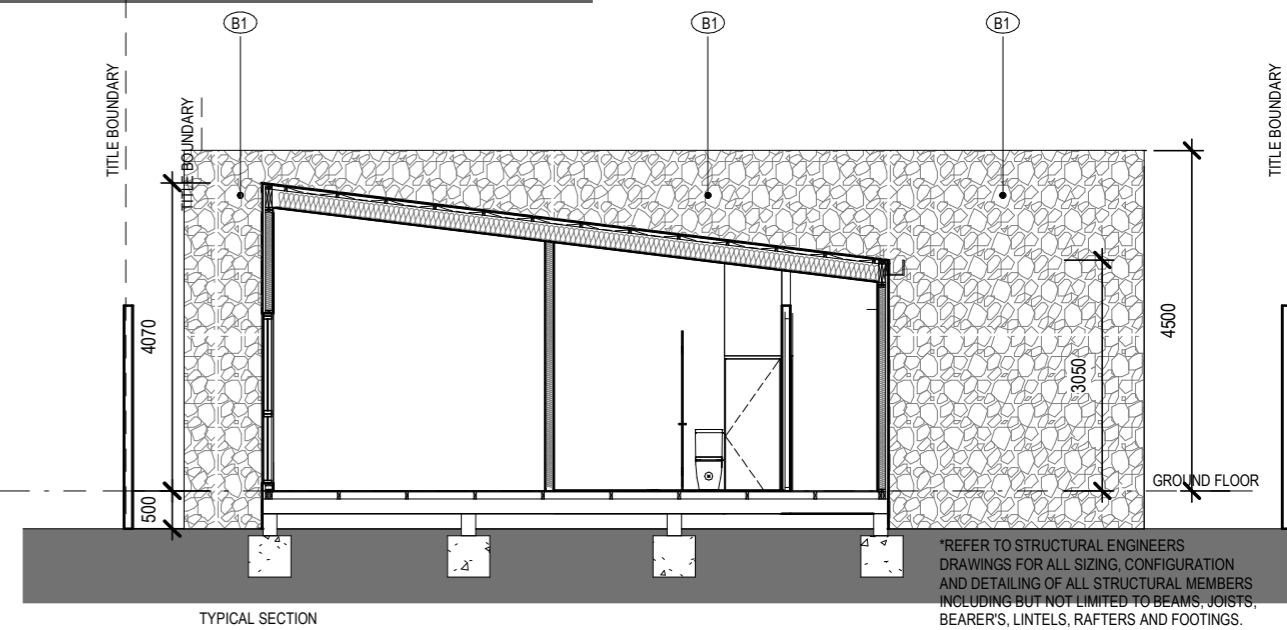
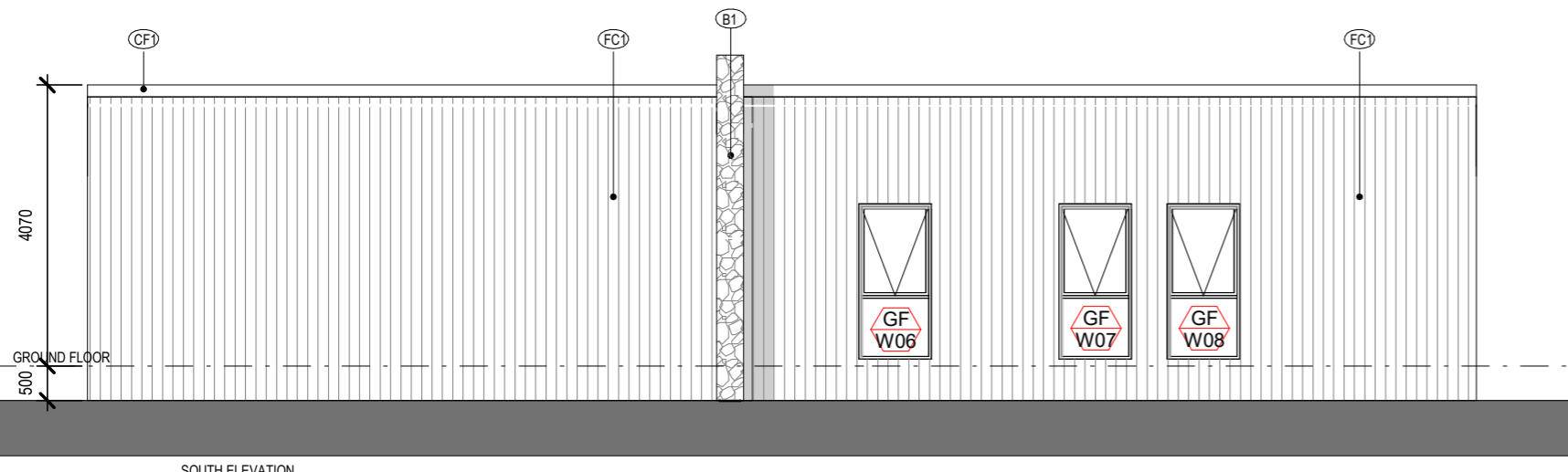


All dimensions must be verified on site prior to commencement of work or establishment of any shop drawings. Figured dimensions must take precedence over scaled dimensions. All scaled dimensions must be verified on site. These drawings are to be read in conjunction with all specifications, schedules, all other consultants documentation, Town Planning endorsed plans and Planning Permit.



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*REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR ALL SIZING, CONFIGURATION AND DETAILING OF ALL STRUCTURAL MEMBERS INCLUDING BUT NOT LIMITED TO BEAMS, JOISTS, BEARER'S, LINTELS, RAFTERS AND FOOTINGS.

FINISHES LEGEND:

TAG	PRODUCT	FINISH
FC1.	WALL CLADDING :WEATHERTEX WEATHERGROOVE SMOOTH 75mm	PAINT FINISH - DULUX VIVID WHITE
FC2.	WALL CLADDING : PROPRIETARY FC SHEET (BLUEBOARD OR SIMILAR APPROVED)	PAINT FINISH - DULUX GOLD RUSH

TAG	PRODUCT	FINISH
MT2.	COLOURBOND CAPPING/FLASHING	POWDERCOAT COLOUR: VIVID WHITE
MT3.	ROOFING : LYSAGHT KLIP-LOK 700	POWDERCOAT COLOUR: WINDSPREY
CF1.	COLOURBOND CAPPING/FLASHING	POWDERCOAT COLOUR:VIVID WHITE

TAG	PRODUCT	FINISH
EG1.	EAVES GUTTER	POWDERCOAT COLOUR:WINDSPREY
B1	FEATURE BREEZE BLOCK AUSTRAL MASONRY - BREEZE BLOCKS 15-937 WEDGE BREEZE	PAINT FINISH - DULUX VIVID WHITE

TOWN PLANNING ISSUE

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No.	Description	Date
A	POST TENDER ISSUE	18.11.2020

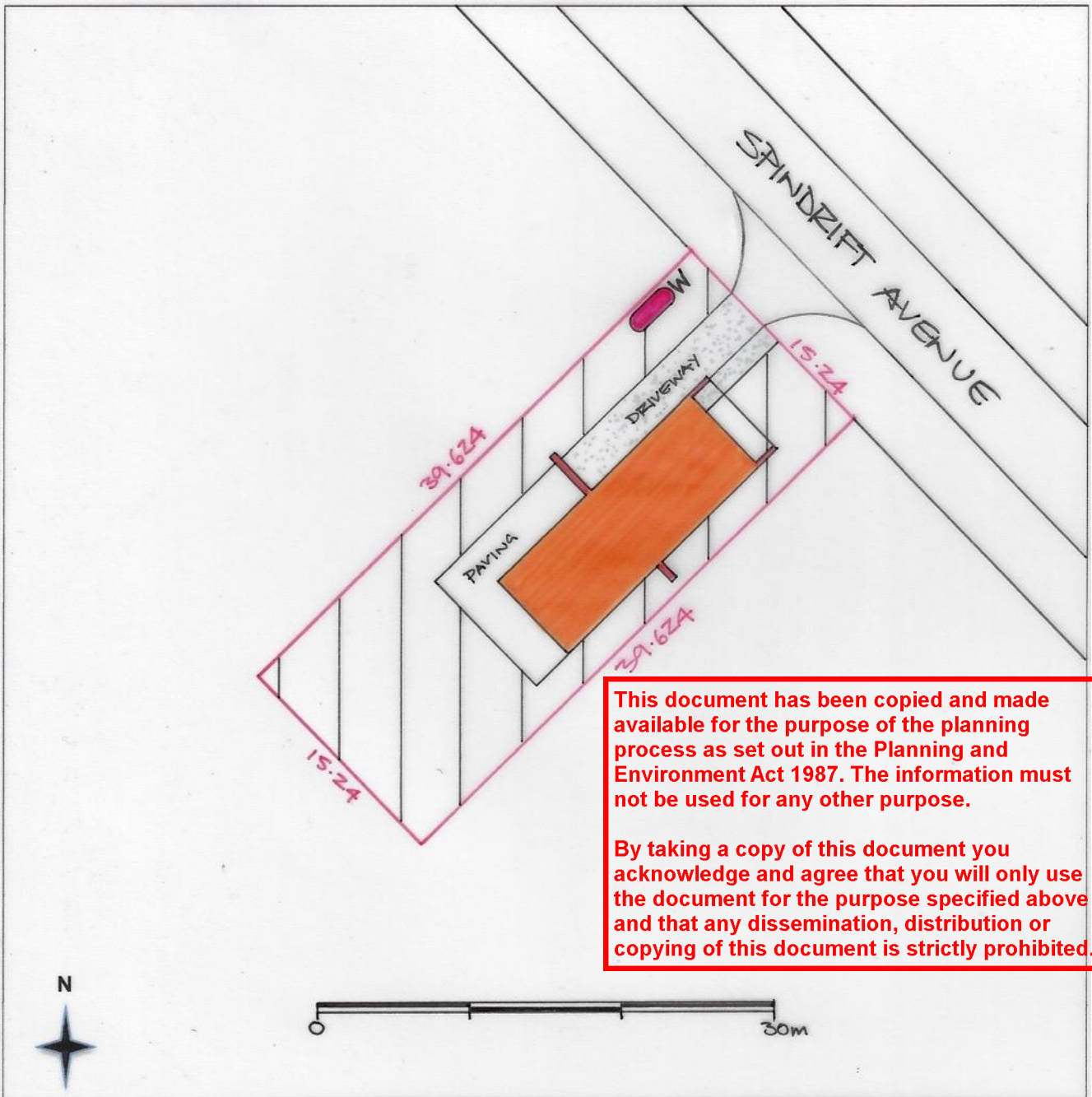
Project **7 SPINDRIFT AVENUE - GOLDEN BEACH**
Drawing Title **ELEVATIONS + SECTION**

Drawing Issue	Project number
Scale (A3) 1 : 100	Drawing Number SP_A102
Date OCT 2020	Rev A

BUSHFIRE MANAGEMENT PLAN

7 SPINDRIFT AVENUE, GOLDEN BEACH

VERSION A
19 October 2020





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
LEGEND


BMO SCHEDULE 2

 PROPOSED DWELLING

 TITLE BOUNDARIES

BAL 29 Construction Standard

 DEFENDABLE SPACE

 WATER SUPPLY (nominated location)

SCALE 1: 400

Refer to detailed BUSHFIRE PROTECTION MEASURES on the following page

BUSHFIRE PROTECTION MEASURES – BMO SCHEDULE 2

7 SPINDRIFT AVENUE, GOLDEN BEACH

A. Defendable Space

Defendable space is provided for a distance of 30 metres around the dwelling or to the property boundary whichever is the lesser and maintained in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building
- Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building.
- Shrubs must not be located under canopy trees.
- Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

B. Construction Standard

- Dwelling designed and constructed to a minimum Bushfire Attack Level of BAL 29

C. Water Supply

The following requirements apply:

- An effective capacity of 10,000 litres
- Be stored in an above ground tank constructed of concrete or metal
- Have all fixed above ground water pipes and fittings required for fire fighting purpose be made of corrosive resistant metal.
- Include a separate outlet for occupant use

Where a 10,000 litre supply is required, the following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the building
- The outlets of the water tank must be within 4m of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (65mm BSP) and coupling (64mm CFA 3 TPI male fitting)
- Any pipework and fittings must be a minimum of 65mm nominal bore (excluding CFA coupling)

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D. Access

Access Required

The following design and construction requirements apply:

- All-weather construction
- A load limit of at least 15 tonnes
- Provide a minimum trafficable width of 3.5 metres
- Be clear of encroachments for at least 0.5 metres on each side and at least 4m vertically.
- Curves must have a minimum inner radius of 10m.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50m
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle.