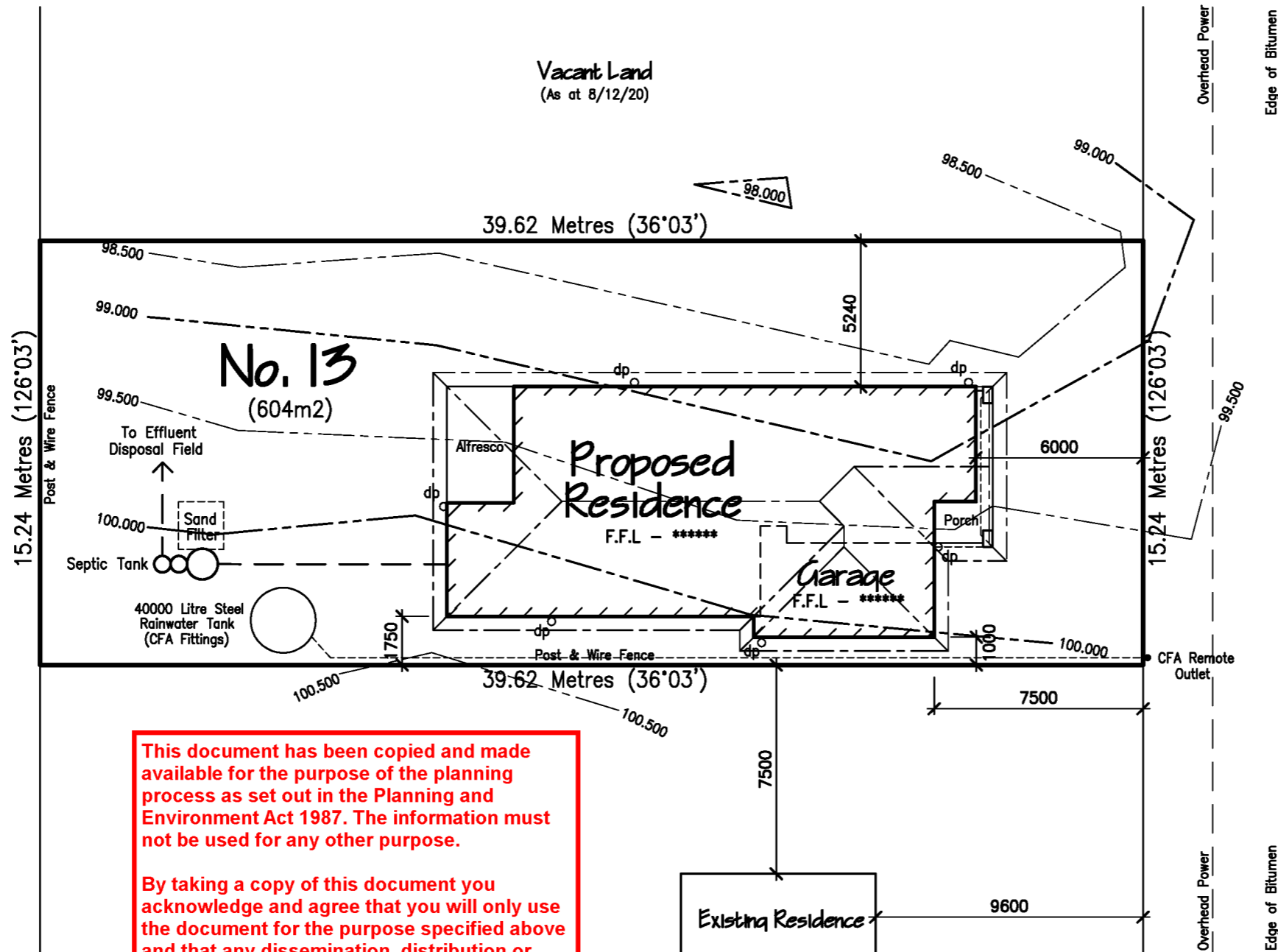


Note: 'BAL-29'

• TBM Top of Electrical Pit - RL 100.000



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Note:
Final location of all downpipes to be verified on site

Site Layout Plan 1:200

Note:
Stormwater to discharge into rainwater tank (tank overflow to legal point of discharge) Approved septic tank sewerage system to be installed to local authority approval

Site Area Calculations:		
Total Site:	604 SqM	Paving: 0 SqM (0%)
Proposed Buildings:	161 SqM (27%)	Garden Area: 443 SqM (73%)

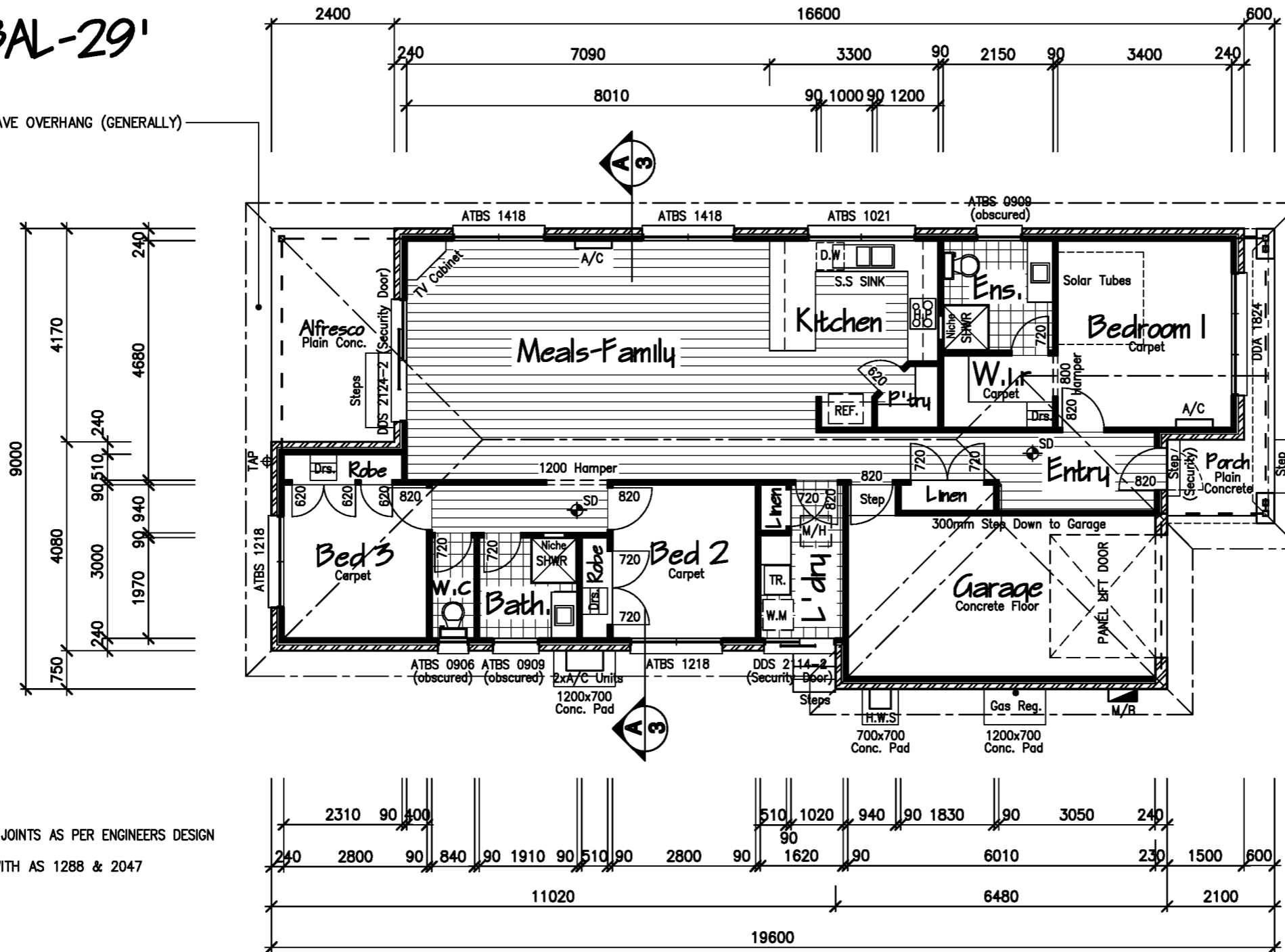
THIS IS SHEET _____ OF _____ DRAWINGS REFERRED TO IN THE CONTRACT DATED: _____ BUILDER: _____ PROPRIETOR: _____	Craig Wight - Registered Building Practitioner - DP AD 36750	Stonehaven 153 Barossa Facade © Copyright Exclusive To G.J Gardner Homes	G.J Gardner. HOMES APR Constructions Pty. Ltd. - CDB-U62062 Trading As G.J Gardner Central Gippsland 85 Macarthur Street, Sale VIC 3850 Ph: (03) 5143 1499 www.gjgardner.com.au		Proposed Residence At: 13 Spindrift Avenue, Golden Beach	DRAWN: C.A.W CHECKED: C.A.W SCALE: As Shown DATE: 15th Dec. 2020	DWG. No. 201010 SHEET: 7 of 7
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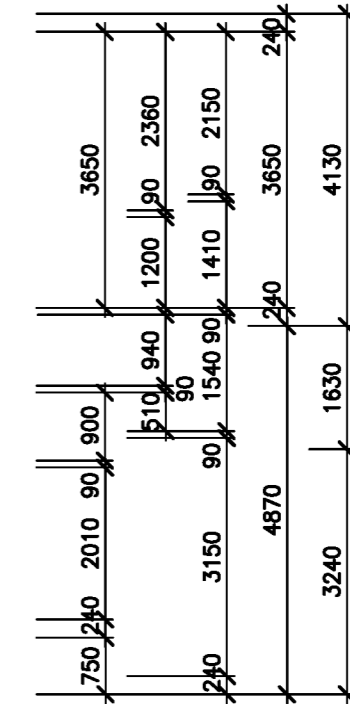
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Note: 'BAL-29'

450mm BOXED OUT EAVE OVERHANG (GENERALLY)



Note:
PROVIDE TOILET DOORS WITH REMOVABLE HINGES WHERE INTERNAL LENGTH IS 1900mm OR LESS



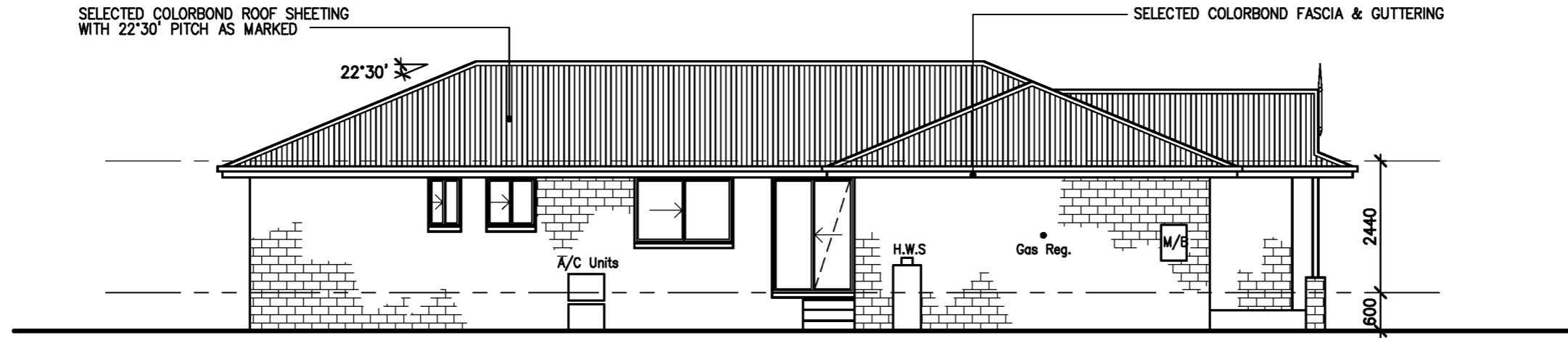
Note:
MASONRY ARTICULATION JOINTS AS PER ENGINEERS DESIGN
GLAZING TO COMPLY WITH AS 1288 & 2047

Note:
SMART DROP MODULAR VINYL FLOORING TO ENTRY, KITCHEN, MEALS-FAMILY & PASSAGE AREAS AS MARKED

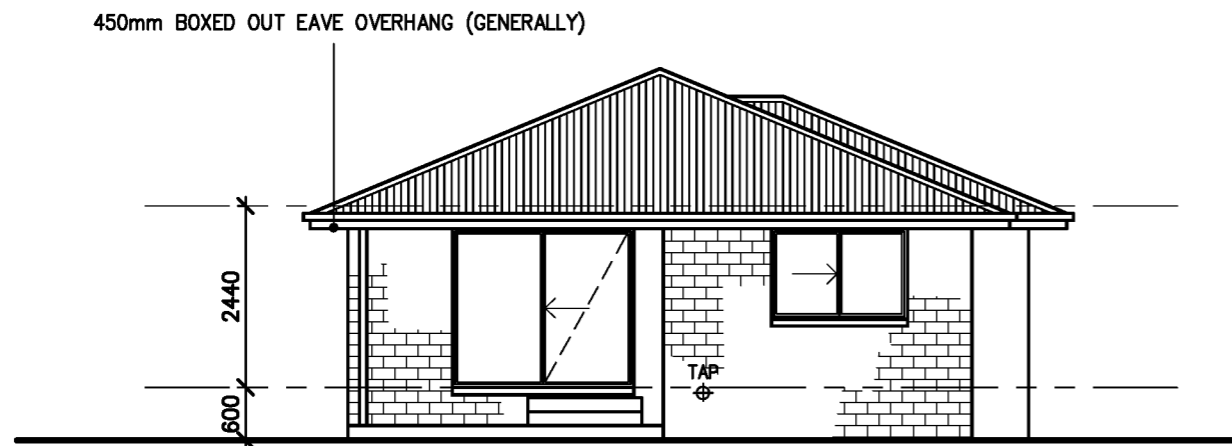
Area Calculation
 Residence: 123.52 Sqm (13.30 Sq's)
 Garage: 21.90 Sqm (2.36 Sq's)
 Alfresco: 10.00 Sqm (1.08 Sq's)
 Porch: 5.50 Sqm (0.59 Sq's)
 Total: 160.92 Sqm (17.32 Sq's)

Proposed Floor Plan 1:100

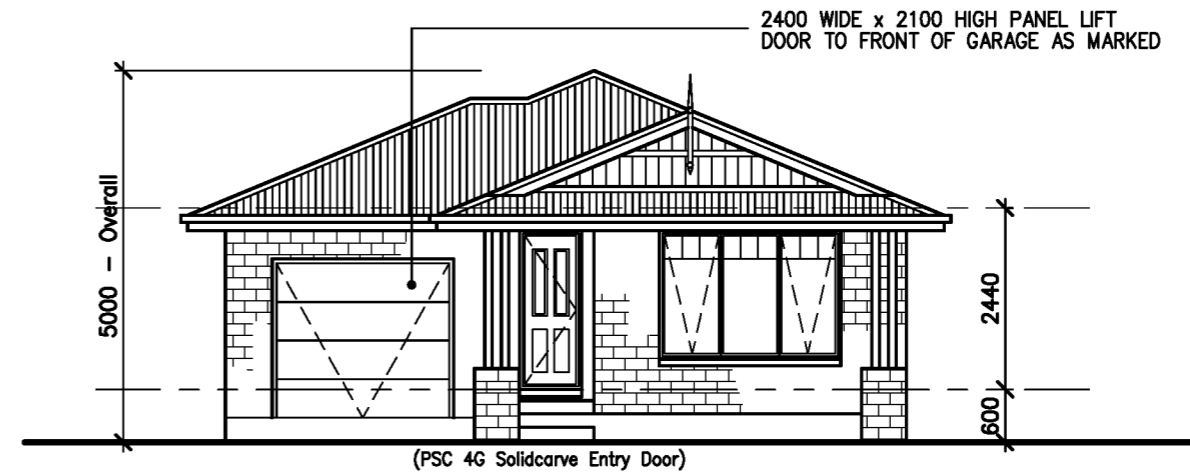
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		© Copyright Exclusive To G.J Gardner Homes			CHECKED: C.A.W	201010
					SCALE: As Shown	SHEET:
					DATE: 25th Nov. 2020	1 of 6



Left Side Elevation 1:100



Rear Elevation 1:100



Front Elevation 1:100



Right Side Elevation 1:100

Note:

MASONRY ARTICULATION JOINTS AS PER ENGINEERS DESIGN

SELECTED FACE BRICKWORK (GENERALLY)

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